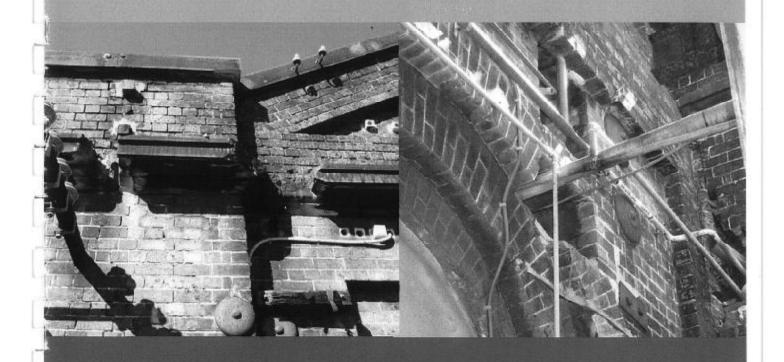


EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY



OTTO CSERHALMI + PARTNERS PL

AUGUST 2003

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Appendix A Stonework & Brickwork Repair Program (Facades Life Cycle Study)

APPENDICES

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1.0 EXECUTIVE SUMMARY

This Heritage Fabric Inventory is Volume II of the "Eveleigh Locomotive Workshops Conservation Management Plan" (CMP). It is a review of the 1996 version produced by Otto Cserhalmi + Partners for the Department of Public Works and Services. The workshops building was photographed and re-assessed in 2002 in order to document its condition, outstanding works and completed works. The inventory includes the significance, condition and recommended works on each bay, row and annexe. The roof and roof top additions have been only partially assessed. Following the introduction, a key and glossary are provided for ease of use. The inventory proper is also in electronic form in FileMaker Pro.

The CMP (Volume I) examines the history of the Eveleigh Locomotive Workshops and its extant building fabric to arrive at a statement of heritage significance from which conservation policies and strategies are developed. The report is supported by an inventory of building fabric (this volume). It builds on the Conservation Management Plan prepared for the site by the Heritage Group, Department of Public Works and Services (DPWS) in 1996. An additional volume, (III) "The Carers' Guide" is also currently being developed.

The Eveleigh Locomotive Workshops building, built in 1887 and closed, as a railway workshop, in 1988, operated as part of a large complex of railway workshops now considered to be one of the best surviving examples of their kind in the world.

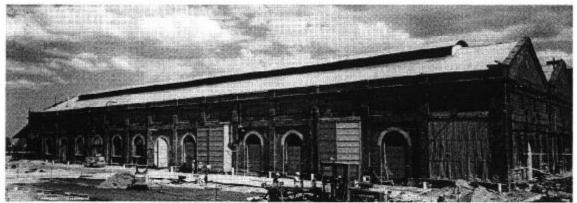
The place is of outstanding heritage significance on international, national, state, and local levels. The outstanding value of the Locomotive Workshops is dependent on the value of the place as a whole and in particular with its operating machinery. Few, if any, workshops of the late 19th Century, and of this size and quality, survive with operating machinery. The value of the machinery depends on the survival of systems, especially hydraulic and steam assemblages and collections. The loss of any of the parts diminishes the value of the whole. The place is further enhanced when it is considered in combination with the Eveleigh Carriage Workshops, sometimes refered to as the North Eveleigh Railway Workshops, as the combination of the two workshops is rare on an international scale.

The building is robust and has been adaptively re-used within the conserved building envelope.

Detailed levels of significance are ascribed in the CMP Vol. I. The general conservation policy recommends the retention of heritage significance in accordance with the principals of the Burra Charter (revised 1999). Such conservation should be achieved through minimal intervention with *maintenance* being the single most important conservation process. It is imperative that the internal spaces be conserved, that is, the grand industrial spaces that visually define workshops and factories of this era and size, and the design of which is generated by the overhead travelling cranes.

The policies are developed in detail for implementing and managing the conservation of the place, conserving the fabric, enhancing the cultural identity and undertaking new work. Detailed policies have been developed for treatment of the building fabric and machinery.

Initial works carried out from 1996 to adapt the place for new uses include stormwater collection and disposal and some building fabric conservation. Further work is required to conserve the building fabric, in particular the stonework, which was not conserved in the previous works. Detailed recommendations are being developed by Roger Parris for some of the machinery in a separate project undertaken concurrently with the preparation of this Conservation Management Plan.



The east wall of the Locomotive Workshops Building, Bay 1, Rows 1-15, during restoration works in 1996. Row 1 is at the left. The photo shows the many alterations to this wall. The wall was subsequently repaired and the original detail reinstated in most bays. Fire doors etc. were added in bays already altered.

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2.0 INTRODUCTION

2.1 AIMS OF THE INVENTORY

2.1.1 BACKGROUND

This Heritage Fabric Inventory has been commissioned by the Sydney Harbour Foreshore Authority (SHFA). It has been prepared by Otto Cserhalmi + Partners PL (OC+P) in 2002. The inventory report is Volume II of the Eveleigh Locomotive Workshops reports as Volume I is the "Conservation Management Plan (CMP)".

VOLUME II THE HERITAGE FABRIC INVENTORY

This document reviews the 1996 Fabric Inventory. The primary aim of this volume is to provide a detailed physical analysis for each bay, row and annexe as well as internally when appropriate. The building was photographed in the process and all the photographs in this inventory date from 2002. The database has been set up in such a way as to identify the levels of significance for each section of the building and to facilitate the identification of required works and recommended treatments. The inventory is available in this format as well as electronically in a FileMaker Pro database. The electronic version can be reviewed and data changed when necessary.

Volume II incorporates works identified in a "Stonework and Brickwork Repair Program" (Facades Life Cycle Study) prepared by OC+P for DPWS in 1998. That report included cost estimates which have not been updated in this CMP. The text of the program and cost estimates are included as an appendix. Note that the costs are 1998 prices and only external stonework and brickwork are included.

VOLUME I THE CONSERVATION MANAGEMENT PLAN

The CMP aims to be a practical document for the Eveleigh Locomotive Workshop to guide decisions which may affect the heritage values of the place. It will comprise one of the bases for future planning and provide a standard against which to assess the heritage impact of proposed developments. It should be used when planning development of proposals and when carrying out activities in the place.



A section of comice that has fallen from the building. Urgent works are a maintenance priority to ensure the safety of users of the ATP as well as to halt the deterioration of the building.



Cracks that affect a large portion of the wall, such as this one (shown above), require prompt repair in order to halt irreversable deterioration.

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The Australian ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter 1999) provides the Australia-wide accepted guidelines for heritage conservation. Section 2.0 (Conservation & Management) of the charter states:

- 2.1 Places of cultural significance should be preserved
- 2.2 The aim of conservation is to retain the cultural significance of a place
- Conservation is an integral part of good management of places of cultural significance
- 2.4 Places of cultural significance should be safeguarded and not put at risk or left in a vulnerable state.

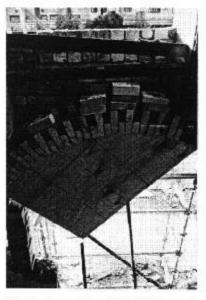
The NSW Heritage Council requires a Conservation Management Plan to be prepared for each item listed on the State Heritage Register. Once endorsed by the Heritage Council, this document will form the basis of exemptions from requirements to obtain approvals under Section 60 of the Heritage Act 1977.

The aim of the Eveleigh Locomotive Workshops Conservation Management Plan, therefore, is to set out:

- The cultural significance of the place
- Policies appropriate to enable the cultural significance of the place to be retained in any future development and conservation work
- Strategies for implementing these policies.

2.1.2 SCOPE OF THE INVENTORY

The inventory is concerned only with the main workshops building that is, Bays 1-16 of the former Eveleigh Locomotive Workshops. An assessment of the external fabric has been undertaken and, where accessible, the internal fabric has also been assessed. The roof and roof top additions have been only partly assessed.



Restoration of some missing or deteriorated features, such as this brick archway, is acceptable in some cases. The works should be undertaken by specialist tradespecole with proven skills to ensure that the result is of the same high standard of the original construction. Source: OC+P 1996.

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2.1.3 METHODOLOGY AND STRUCTURE

The assessment of the building was made by close visual inspection, with the use of a scissor lift to access the upper walls, pediments and parapets. Photographs of each item, that is, bay, row or annexe, were taken and the recommended treatment of elements added. Drawings of each item were also produced, which document the required repairs etc. of the brick and stonework.

2.1.4 USE OF THE INVENTORY

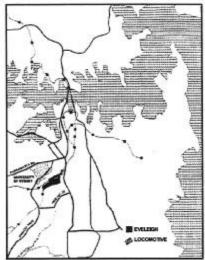
In its electronic form, the inventory is a database and can be used to sort to a relatively fine level of definition. The items that make up the building, that is, bays, rows or annexes, can be sorted according to type, significance, condition, required works and/or material, either individually or in groups. Similarly, the units that make up the items or the elements that make up the units can also be isolated. For instance, all urgent works can be sorted for, or, all urgent stonework repairs on pediments and parapets only. Areas where the brickwork requires repointing can be sorted from works where other specialist skills are required. In this way particular treatments for, or areas of, the building can be isolated from the database for maintenance expediency. Thus the building has been broken down into the following categories: Item; Unit; Material; Element (see 2.6.1 Describing the Building). See "How to use the database".

2.2 SITE AND OWNERSHIP

2.2.1 LOCATION AND PHYSICAL CONTEXT

The Eveleigh Railway Workshops are located in the inner city immediately to the south of Sydney's CBD and Central Station. The workshops are situated on either side of the main southern and western rail lines and between Redfern, Erskineville and Macdonaldtown Stations and between the suburbs of Darlington to the north and Alexandria to the south. The immediate surroundings contain densely developed residential suburbs and mixed commercial and industrial areas. The site is relatively flat, falling to the southeast towards Botany Bay and Mascot.

The subject of this inventory is the Eveleigh Locomotive Workshops (ELW) building which is located on the southern side of, and adjacent to the main rail lines. This inventory is limited to the building but refers also to its immediate setting. The ELW building is on a long level bench with a major step down on its southern side.



Plan showing the location of the site.

The site south of the ELW building and the Alexandria Goods Yard have been extensively cleared since 1988. Below it, along its southern boundary is the tunnel for the Eastern Suburbs Railway. Immediately to the east is an open area, Innovation Plaza, and to the east of this is the National Innovation Centre (former New Engine Shop) and to the north-east the location of the former Works Manager's Office. To the west are a roadway, the location of the former traverser and the large Erecting Shed and other buildings used by the State Rail Authority (SRA).

This report does not address Innovation Plaza (to the east), nor the lines to the north (all recently relaid with altered levels) or the coal structures and bomb shelters close to the main lines.

2.2.2 OWNERSHIP AND USAGE

The building was in continuous use as a railway workshop until its closure in 1988 and in continuous State Government ownership since its construction in 1887. The Sydney Harbour Foreshore Authority (SHFA) assumed control of the site from the City West Development Corporation (CWDC) in August 2000. The SRA still retain other portions of the Eveleigh Railway Workshops in their ownership.

The Australian Technology Park now occupies the Locomotive Workshops and other parts of the site. The surrounding land includes an area that was developed for housing in the late 1980s and is managed by the Department of Housing.

2.3 TERMINOLOGY AND ABBREVIATIONS

2.3.1 DESCRIBING THE BUILDING

The Eveleigh Railway Workshops have been the subject of a number of reports and studies, historically as well as recently. The extant structure was originally two buildings and the bay numbers began at the eastern end. Bays 1 - 4 were separated by a gap from Bays 5-15. Bays 16 - 25 continued at the Carriage Workshops on the northern side of the main line. In 1903 the gap between Bays 4 and 5 was enclosed and this bay was numbered 4a. In c. 1998 the bays were renumbered and Bay 4a became Bay 5 and Bays 5-15 became Bays 6-16. Note that the renumbering has resulted in two Bay 16s. As a consequence, some inconsistencies in terms, bay numbers and rows exist between reports. In order to retain consistency and for ease of cross referencing between historical and modern references the following system has been used in this CMP:

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Eveleigh Railway Workshops - refers to the whole of the original workshops site on both sides of the main line. That is, the Locomotive as well as the Carriage Workshops sites. In other sources, the site has been referred to as the "Eveleigh Railyards" and the "Eveleigh Rail Yards".

Locomotive Workshops - refers to the entire building, original Bays 1-15, present Bays 1-16 on the southern side of the main line.

Carriage Workshops - refers to the former Carriage and Wagon workshop Bays 16 - 25 on the northern side of the main line. The Bays and Rows are shown on the plan on page 14.

Bays - Structurally, the Locomotive Workshops building is divided transversely into bays. Bays 1 - 4, 4a, 5 - 15 - refers to the original bay numbers. This system is used in the *Historical Analysis* to facilitate references to historic plans and other documents. Bays 1 - 16 - refers to the modern bay numbering system at the Locomotive Workshop building. These bay numbers are used in the *Policies* in Volume 1 with the old bay numbers in brackets. The database uses the original numbering system, that is, Bays 16 - 25.

Rows - Structurally, the workshops building is divided longitudinally into rows. Some rows have rails and some do not.

Rows 1 -15 - The original Railways row identification system is 1 - 15 with Row 1 starting at the southern wall.

Rows A - Q - More recently, the Department of Public Works and Services identified the Rows with a grid reference system A - R (excluding the letters I and O) starting at the northern wall. The grid lines pass through the centre of each pilaster.

Annexes on the south wall are numbered from right to left. The missing numbers denote annexes that have been demolished.

Item - the fabric of the building. These are the bays, rows and annexe walls. Each item is made up of "units".

Unit - a group of features that make up the item. Each unit comprises of a number of elements. In this inventory units are pediments or parapets, pilasters, upper and lower walls, windows, doors, thresholds, steelwork and timber wall frames. Additions such as service pipes are also considered units although they are not architectural. Lantern roofs and roof top additions are also units but are not dealt with in individual detail in this inventory.

Elements - architectural features that make up units. Example of element are cornices, coping and sills (see diagrams following pages).

2.3.2 CONSERVATION TERMINOLOGY

The terms place, cultural significance, fabric, maintenance, compatible use, preservation, reconstruction, restoration, adaptation and conservation used throughout this report are as defined in the Australia ICOMOS Charter for the Conservation of Places of Cultural Significance ("The Burra Charter") 1999, Article 1.0 to 1.17.

- 1.1 Place means site, area, land, landscape, building or other works, group of buildings or other works, and may include components, contents, spaces and views.
- 1.2 Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects. Places may have a range of values for different individuals or groups.
- 1.3 Fabric means all the physical material of the place including components, fixtures, contents and objects.
- 1.4 Conservation means all the processes of looking after a place so as to retain its cultural significance.
- 1.5 Maintenance means the continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction.
- Preservation means maintaining the <u>fabric of a place</u> in its existing state and retarding deterioration.
- 1.7 Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.
- 1.8 Reconstruction means returning a place to a known earlier state and is distinguished from restoration by the introduction of new materials into the fabric.
- 1.9 Adaptation means modifying a place to suit the existing use or a proposed use.
- 1.10 Use means the functions of a place, as well as the activities and practices that may occur at the place.
- 1.11 Compatible use means a use which respects the cultural significance of a place. Such use involves no, or minimal impact, on cultural significance.
- 1.12 Setting means the area around a place, which may include the visual catchment.

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- 1.13 Related place means a place that contributes to the cultural significance of another place.
- 1.14 Related object means an object that contributes to the cultural significance of a place, but is not that place.
- 1.15 Associations mean the special connections that exist between people and a place.
- 1.16 Meanings denote what a place signifies, indicates, evokes or expresses.
- 1.17 Interpretation means all the ways of presenting the cultural significance of a place.

2.6.3 ABBREVIATIONS

AO NSW State Records (formerly Archives Office)

ATPPM Australian Technology Park Precinct

Management PTY LTD

ATPSL Australian Technology Park Sydney Limited

BC Better Cities Program

CMP Conservation Management Plan

CWDC City West Development Corporation

DOP Planning New South Wales (formerly

Department of Planning)

DPWS Department of Public Works and Services

ELW Eveleigh Locomotive Workshops

EP Eveleigh Precinct

HOff NSW Heritage Office

ICOMOS International Council on Monuments and Sites

LEP Local Environment Plan

MP Master Plan

ML Mitchell Library

NSW SR NSW State Records

SHFA Sydney Harbour Foreshore Authority

REP Regional Environment Plan

SRA State Rail Authority

SRAO State Rail Archives Office (records now

transferred to NSW State Records)

SSCC South Sydney City Council

SSHS South Sydney Heritage Study

UDP Urban Development Plan

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2.4 CONTRIBUTORS AND ACKNOWLEDGMENTS

This report was prepared by Otto Cserhalmi + Partners Pty. Ltd. The project team consisted of:

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assistant/research/layout

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SHFA

Eugene Besh

Adrienne Cray

Richard Davies

Wayne Johnson

Maria Evans

lan Kelly

Stephen Montgomery Matthew Woodman

David Sheedy

Architect

Lucy Taksa

University of New South Wales

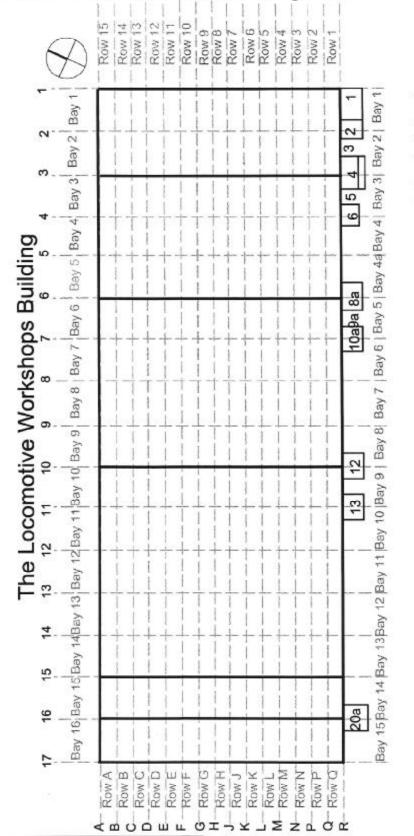
2.5 CONSTRAINTS AND LIMITATIONS

The primary constraint on this report was the difficulty in accessing some parts of the workshops building, particularly the west wall and the internal walls that have been fitted out for current use.

2.7 FURTHER RESEARCH

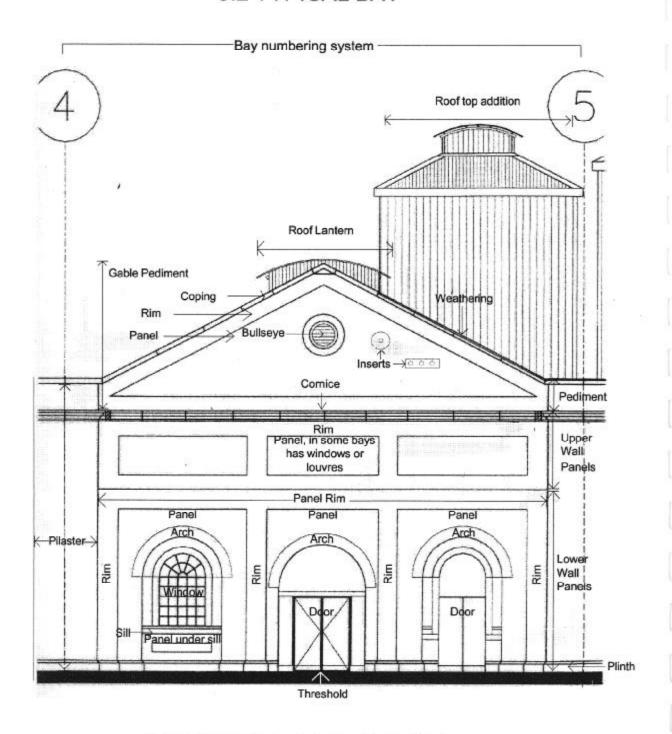
It is important that the Eveleigh Locomotive Workshops building be assessed on a regular basis, either once every two years, or when it is otherwise required such as after major storms, earthquakes or when otherwise necessary. As conservation, maintenance and repairs must be undertaken by proven methods, it is recommended that treatments for heritage buildings are researched regularly.

3.1 ARCHITECTURAL KEY: Building Plan



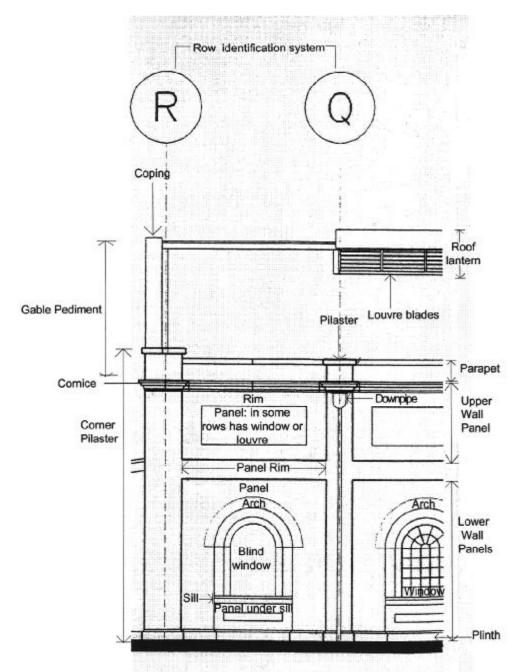
The layout of the main Locomotive Workshops building at Eveleigh. At the top is the post - 1996 numbering; the bottom is the original numbering system. The rows are identified in two ways in various documents. The Conservation Management drawings. Those remaining are shown on the above plan. Where new annexes were built in 1995 they have been given a Plan 2002 uses the system shown on the right. In previous reports annexes on the south side were numbered from 1 to 21. Most were intrusive additions and were demolished. The grid reference system on the left is used on the architectural number with the suffix "a".

3.2 TYPICAL BAY

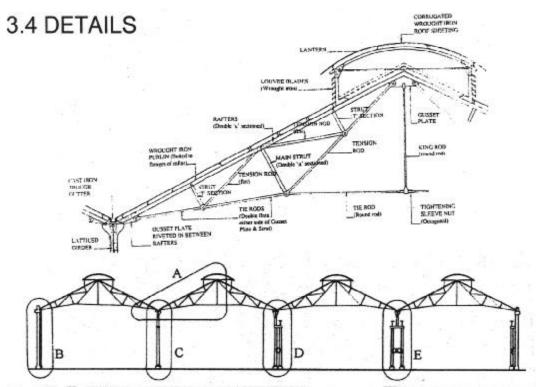


Composite bay showing typical architectural features.

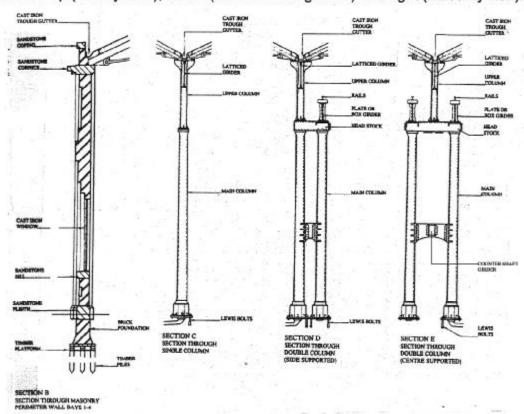
3.3 TYPICAL ROW

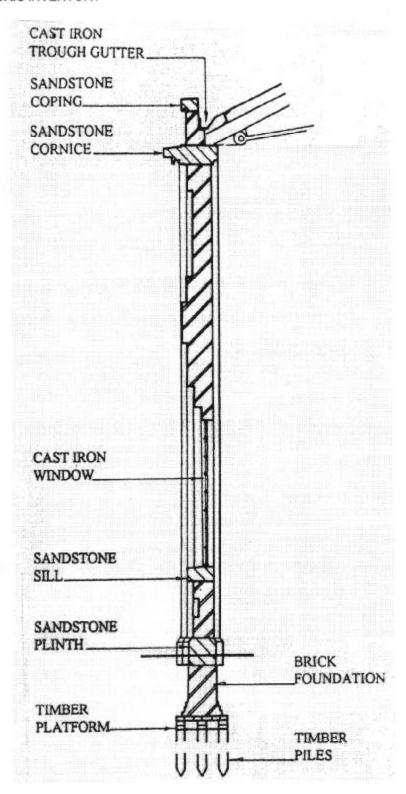


Composite row showing typical architectural features.

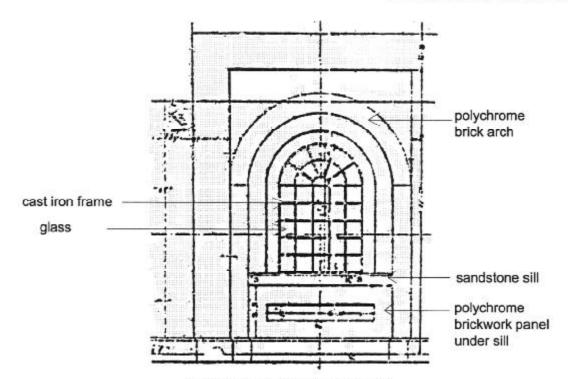


Above is a sectional elevation of Bays 1-4 indicating the locations of the details shown top (roof system), below (columns and gutters) and right (masonry wall).



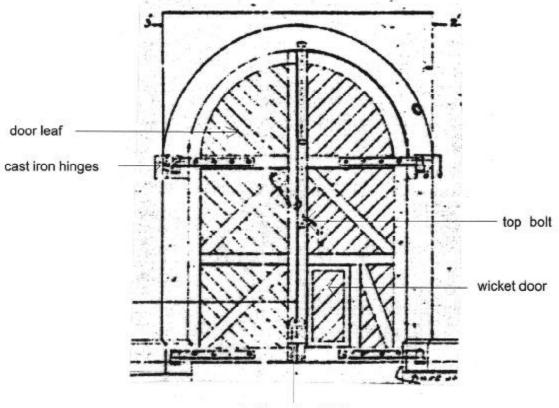


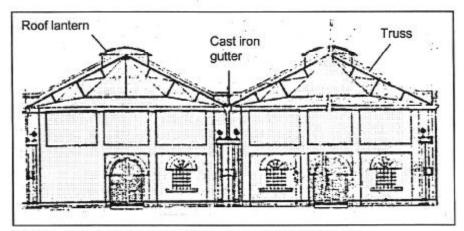
Detail through the masonry wall, shown as Section B on the sectional elevation at left.



Above: Cast Iron-framed window

Below: Main bay door





Section showing the roof system, Source: SRAO ELW3.

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4.0 THE ANALYSIS

The purpose of this report is to provide specific advice relating to the long-term maintenance of the building fabric of the Former Eveleigh Locomotive Workshops.

The investigation was limited to the inspection of the building fabric only. It does not cover new building fabric introduced during the Australian Technology Park refurbishment, such as fitout, except in the case where replacement was essential to the integrity of the building.

The investigation was carried out mainly from ground level and, where the surrounding ground and other circumstances permitted, from an elevated platform. The building is mostly occupied and large areas were not accessible for close inspection. It can be assumed that the typical and general defects and problems identified in the inspection apply to those areas also. The exact extent of the necessary works can only be established when suitable access platforms are provided or when revealed by demolition works.

Modification to the fabric in order to incorporate changing technology and the provision of extra amenities while the building was operating as a Locomotive Workshops are part of the phases of the place and should be treated accordingly. Such items are identified as significant and recommended for conservation.

The inspection does not address the original machinery and fittings etc. that remain on site. A separate machinery report has been prepared by Roger Parris to facilitate the conservation of historic machinery.

4.1 THE BUILDING

The Eveleigh Locomotive Workshops is a full brick building comprising 16 bays and 15 rows with the long axis running approximately east-west. Full-brick annexes were erected on the south side. Only a few of the original annexes survive (N°s 2, 4, 6, 12 & 13). Sandstone was used for coping, cornices, window sills and thresholds.

Large double-leaf timber doors and multi-paned cast iron windows filled in the openings. New mezzanine levels and timber windows were introduced, as the changes in technology or other circumstances required.

The internal loadbearing structure is made of steel crane girders supported by double cast iron columns with single columns and lattice girders above. Cast iron gutters (now bypassed) sit on the lattice girders and discharged into the columns.

The roof structure is constructed of steel trusses, which carry Custom Orb roof sheeting and metal-louvred lanterns at the ridges.

The roofing and the stormwater discharge have been completely refurbished and the lanterns have been closed off by translucent sheeting as air conditioning was introduced during refurbishment.

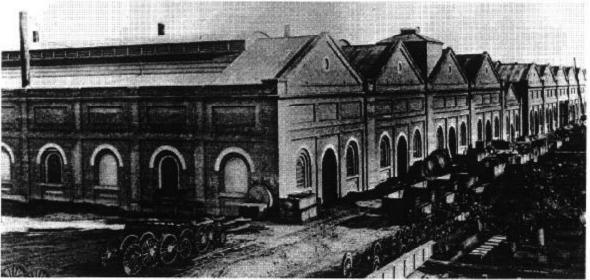
The workshops were refurbished for the Australian Technology Park in 1995, excepting Bays 1 and 2. Although the exterior of the East Wall of Bay 1 was superficially repaired, the interior still requires work, with particular attention to structural stability and water damage.



A view of the north wall looking west, also showing the rail lines.



Looking west along the south elevation of the Locomotive Workshops during their adaptation to the Australian Technology Park in 1996. Half of Bay 11 (old Bay 10) is visible to the right of the photo. Source: OC+P 1996.



View of Eveleigh Locomotive Workshops from the north showing original configuration. Note Bay 4a and the original skilights on Bay 1. (Photo cropped) Source: ML GPO Video Disk 1 06678

4.2 CONDITION ASSESSMENT OF THE BUILDING FABRIC

4.2.1 BRICKWORK

The brickwork is generally in good condition however localised cracks are evident and these need to be addressed in order to prevent further accelerated deterioration.

The major cracks on the north-east corner of the building have been repointed following underpinning of that area. No new cracks have developed since the underpinning was completed.

Some major cracks are still left unattended on the north side (Bays 1 & 2) and on the south side (Annexe 2 and Bay 2). A structural engineer's report addressing the stability and the recommended remedial works of the affected areas is required.

Some lintel-seats in the upper wall panel around the timber windows are cracked.

Numerous vertical hairline cracks in the main pilasters have developed, typically in the centres, due to lack of movement joints and/or corroding embedded downpipes. These cracks should be regularly monitored and repointed, as funds are available.

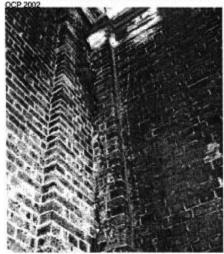
The general discolouration (mainly soot) of the brick walls is not a major concern as it is a result of the activities of the building as a railway workshop. It may be monitored but no action is required unless the sediments or encrustation adversely affect the brickwork. Cleaning may also be necessary prior to repointing to ensure the mortar adheres to the brickwork.

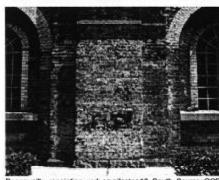
The pointing of the brickwork is in a reasonable condition. The areas to be repointed are indicated on the accompanying drawings. Some brickwork has been recently repointed, particularly on the south wall. Poor quality craftsmanship has left unfinished and intrusive patches of mortar. In future, any repointing work should be carefully monitored for quality, and undertaken by skilled tradespeople, as outlined in Policy 2.2.9.

A large number of brackets and other support structures and elements are attached to the walls via various fixing methods and materials inside as well as out. Most of the fixing elements are made of ferrous metal in various states of corrosion. In some cases the levels of corrosion have resulted in the insert expanding and "exploding" the material it is inserted into. These inserts require prompt attention.



External cracks on the west wall of annexe 2, over arch (above and at the junction between bay and annexe (below.) Source





Poor quality repointing work on pilaster 13, South. Source: OCA 2002.



Numerous ferrous metal inserts, bolts and brackets on a s

In addition, some walls have an abundance of ferrous inserts, such as nails, the purpose of which is unclear. These nails and other smaller objects do not have a clear function but appear to date from the workshops phase. They are not causing damage (unless otherwise stated) and should be left intact.

Where inserts are deemed intrusive and warrant removal, it is noted in the inventory. Unless otherwise stated, the treatment for most of the ferrous inserts is monitoring and rust proofing in order to prevent further deterioration. In general removal is not recommended unless specific inserts are damaging the surrounding fabric. These items are visible in the photographs but have not been included in the drawings.

Numerous flues and pipes – as part of the machinery they belong to – penetrate the walls. Most of them are in a well-advanced state of corrosion. However, they are considered historically significant and should therefore be conserved. The locations of the penetrations should be monitored for brickwork condition. Many cast or wrought iron elements have surface rust but are stable and may be left intact.

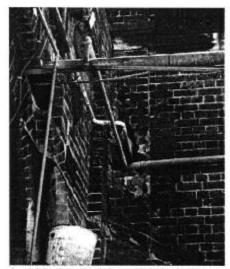
Timber blocks, that supported the external electrical cables, have been inserted into the brickwork at the top part of every pilaster on the north and south sides. Some have either been removed or have fallen out, leaving large holes in the brickwork. It is recommended that the holes, particularly those on the south side, be filled in to prevent water ingress. New infills should make reference to the historical function of the originals.

Note that some of the wood inserts still in situ are in a state of advanced decay. Thus the joint between the wall and the insert creates a potential for water ingress. The regular swelling and shrinking of the wood blocks is potentially damaging to both the wood blocks and the brick walls.

The porcelain "cubes" inserted directly into the brickwork high above ground level, are electricity insulators and provided a conduit for the passage of wires and cables into and out of the workshops. All the porcelain inserts are part of the significance of the building and all are in good condition. They are to be maintained.

There are occasions where the porcelain insulators formed rows without support (lintel) for the brickwork above (1½ to 2½ brick length). These places are to be monitored and action taken when necessary.

These items are visible in the photographs but have not been included in the drawings.



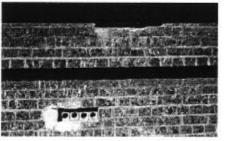
Inserted pipes have severely damaged the brickwork at this junction where Bay 2 meets the west wall of Annexe 2. Source: OCP 2002.



Timber inserts and brookets should be monitored for damage to brickwork and water ingress. Photo Bay 13 North Wall. Source: one age.



(Above) Extruded porceion inserts. (Below) inserts are supporting brickwork. Carefully monitor, secure as required. Photos from Bay 10 North. Source: OCP 2002.



Many of the Bay numbers painted on the brick wall outside of the doorways survive in various states of deterioration. In some cases the paint is cracked and flaking off. As these are the last physical remnant of the original bay numbering system, it is important that they be conserved. Bay numbers were painted on either side of doorways on the north and south walls only.

These items are visible in the photographs but have not been included in the drawings.

Similarly, on some areas of the south wall, paint from the walls of former annexe buildings is visible. These paint remnants reflect the historical use of this facade and should be conserved. Also consider interpretation.

The original brickwork shows remnants of cement weathering on the ledges of the rims. It is recommended that the weathering be reinstated in an improved manner to minimise water entry.

The inside of the perimeter wall was inspected in Bay 1 (from ground level) and several cracks have been observed. These are to be monitored and repointed as funds are available.

Only the lower part of the inside of the south wall is easily accessible as all the newly installed pipework runs along that wall.

The inside of most pediment walls require repointing.

Many of the installations of the Locomotive Workshops associated with the building's functions are still in place. These are to be monitored and special attention should be paid to the fastening elements by which those structures are fixed to the walls.

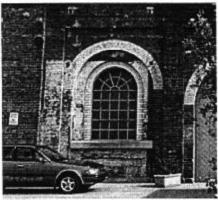
On other wall surfaces minor imperfections are evident which need monitoring and repair when funds are available, as deterioration may make the wall unsafe.

Where Bays 4 and 5 meet, different brickwork is apparent, indicating the change in phase of the workshop when Bay 4a (now Bay 5) was added. This may be interpreted.

Steel traverser beams are apparent on both the north and south walls of Bays 8 and 14. On the north wall the traverser bay 14 was filled to match existing brickwork in 1901. Three arched windows were installed, varying slightly from the arched doorway and adjacent window configuration of the other bays. This change of phase may be interpreted. In the 1920's Bay 8 was infilled with timber panels and south wall openings were fitted with contemporary materials during the 1996 construction work.



Remnents of original bay number on Bay 16, south. Source OCP 2002.



Remnant paint from a former annexe wall. Bay 13 South. Source OCP 2002.



Subtle changes in brickwork where Bay 4 (right) meets Bay 5/4a (left) may be interpreted. Source: OCP 2002.



Infilled traverser bay 14. north wall. Source: OCP 2002.

4.2.2 STONEWORK

Particular attention to the stonework is required. The "make safe" works, that is, the removal of unsafe and potentially dangerous fragments and layers, were completed at the beginning of the refurbishment works.

The recommendations of the previous investigation reports have been only partially carried out.

The stonework is still, in general, original material and in a deteriorated condition. All stones are "through" stones. Most of them are in a highly exposed position.

The causes of deterioration are:

- ferrous inserts into the stonework to support cables, pipes etc. and sub-standard modifications of the stonework.
- environmental damage as a result of the industrial nature of the site. Coal used in the locomotives, boilers etc. emitted smoke that has resulted in an aggressive atmosphere directly around the site
- natural erosion due to wind and rain.

The coping stones are in the most exposed location. All three damaging causes are evident.

A large number of inserts are still in place most of which are badly corroded. Complete removal of the inserts is not recommended however, because chiselling or drilling out an insert has the potential to do more harm to the stone. Removal of inserts is recommended only where the stonework has been damaged by their presence.

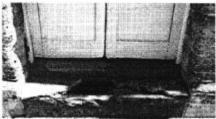
In many cases the pointing material between the coping stones has leached out, permitting stormwater into the structure below.

Some coping stones are badly exfoliated as a result of their high salt content (particularly on the southern side). Open joints should be filled with lime mortar to match existing. All joints on the horizontal surfaces have to be re-pointed using elastomeric sealant on the top only. The stones that are beyond repair (shown in the drawings) should be replaced.

Where they are damaging to the stone, replace the traditional cast iron fixing and connecting elements (ie. cramps, dowels etc.) with stainless steel.

Stones of the comice course show the most damage.

Modifications are still evident in the inserts. The treatment of these areas is similar to that detailed for the coping stones: monitor and rectify where and when it is essential.



tracked threshold. West wall of annexe 6. Source:OCP 2002.



Missing comice stones, Pilaster 8, North wall, Source: OCP 200;



Eroded coping stones, Source: OCP 2002



Traditional cast iron toggles, shown in the parapets above and below, should be replaced with stainless steel fixings if damaging the stone. Source: OCP 1995.



The underside of the cornice stones have deteriorated extensively due to the polluted air, the salt content and acidic stormwater. Most of the loose particles have been removed, resulting in safe but significantly damaged elements. The long-term strategy of the building maintenance should include the replacement of the affected stones. Note that replacement means indent repair, ie. cutting out and replacing the external part of the cornice stones only. There are, however, stones of the cornice that show cracks at the seating of the roof trusses internally. It is necessary to replace these whole stones.

In general all the stone joints are to be re-pointed, using elastomeric sealant on the top of the horizontal surfaces and pointing lime/cement/sand mortar elsewhere. This has been only generally noted on each drawing.

The three sandstone corbels on the southern facade of Bay 16 are intact and in excellent condition. This is the only bay where these remain as Bay 7 corbels have been removed. The corbels are believed to have formerly supported first floor amenities and should be conserved.

The plinth along the north wall is severely exfoliated and should be repaired. Initial treatment may be with a sacrificial render. The final repair treatment needs further investigation. Care should be taken not to breach the asphalt damp proof course. The deterioration occurs along most of the wall. The repair should be considered high priority, but has not been noted on line drawings for specific bays.



Piping penetrating comice. Also note damage to underside of stonowork. Planter A. West wall. Source: OCP 2002



Broken corbel. Also shows damaged brickwork. Bay 7 /South Source: OCP 2002.



Remaining intact corbel, Bay 16 / South, Source:OCP 2002.



Damage to underside of comice. Stones missing. South wall of annexe 13. Source: OCP 2002.

4.2.3 WINDOWS

The original windows of the building, including the annexes, are cast iron multi-paned windows with semi-circular heads and a pivoting sash in the centre. During its operation as Locomotive Workshops, many new openings were cut into the upper brick walls of the building and new timber windows were inserted when mezzanine levels were introduced.

A large number of the metal windows were damaged or deteriorated during the operation of the building as the Locomotive Workshop and all of them have undergone repair or replacement during refurbishment.

Some of the problems associated with the original windows have not been rectified. In most cases there is an unsealed gap between the bottom rail of the window and the top of the stone sill (not only the deteriorated ones) which allows water into the joint. As a result some of the new metal windows already show signs of corrosion.

Some timber windows have a ferrous metal lintel which rests on the brickwork. The metal has corroded and cracked the lintel seats, which are listed under "brickwork" in the inventory. Some of the timber window frames show deterioration, possibly termite damage, which needs monitoring and repair. Apart from these deficiencies the windows are in reasonable condition.

4.2.4 WINDOW SILLS

The original cast iron windows all have sandstone sills. Every sill piece is damaged or deteriorated although the levels of deterioration vary. Note that there has never been a drip groove on any of the stone sills, however, when replacing old sills with new, drip-grooves could be considered. Some sills have been replaced, mostly on the eastern wall.

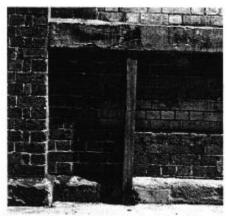
Many sills both on north and south sides are yet to be replaced. In some cases, at the junction with the window, exfoliation is well advanced and very deep. The result is that water ponds and makes the bottom rails of the windows susceptible to premature corrosion. This process has affected a large number of susceptible sills.

This deterioiration should be rectified by replacing the stone sills or in some cases by epoxy repair. The window sills to be replaced are shown on the drawings. The detail between the metal frame and the stone sill should be considered when replacing the sills.

Most top side joints between the sills and the brick walls need re-pointing and it is recommended joints be finished with elastomeric sealant with backing rod.



Spiintered timber window. Possibly termite damaged. Bay 9 / North Wall. Source: OCP 2002



Broken sill supported by timber wedge. Bay 12 / South. Eastern window. Source: OCP 2002.



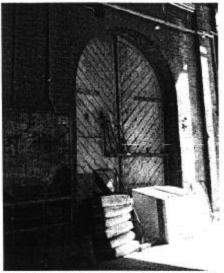
(Above) This still is exholiating and damaged by weathering and graffitt. (Below) An example of water damage to the still underside. This could be avoided by incorporating drip grooves into new stills. Source: OCP 2002.



4.2.5 DOORS

All the original double-leaf timber doors were in deteriorated condition before refurbishment. Most of them have been replaced during refurbishment with doors in various designs. In many cases the original hinges have been maintained; these should be preserved.

The doors on the south side in Bays 1 and 2 are the only remaining originals but are in an advanced state of deterioration and not operational. The doorjambs show extensive termite damage and require replacement. The door leaves in Bay 1 have numerous penetrations and the replacement of those must be coordinated with the conservation of the machinery, which the penetrating pipes are connected to. These doors should be preserved rather than replaced.



The gate into Bay 1/South has been severely damaged by termites and excessive penetrations. Both original timber doors in this bay are in very poor condition. Source: OCP 2002.

4.2.6 COLUMNS AND GIRDERS

The cast iron double columns and the steel girders are in good condition. The main loadbearing structures of the building were inspected before refurbishment and should be monitored for corrosion on a regular basis. See general repair notes.

The silver paint on the internal columns and other elements was applied when the workshops were used as Paddy's Markets. The original finish has not been fully investigated.

4.2.7 ROOF TRUSSES

Although they show signs of surface corrosion, the steel roof trusses are in a good state of repair. Generally the surface corrosion on the cast and wrought iron has formed a stable protective coating and no treatment is required. Some trusses, such as across the new Bay 8 entrance, were recoated during the refurbishment. Regular inspections to monitor the corrosion are required. A structural engineer's report will also be required when obvious further corrosion threatens the stability of the roof trusses. See proceeding general repair notes.

4.2.8 LOUVRES

The wought iron fixed louvres of the ridge vents/lanterns have only light surface corrosion thus no urgent work is required. The vents were blocked when air conditioning was installed. Regular monitoring is required. See notes for general repair to roof monitors.

4.2.9 ROOF SHEETING

The original roof sheeting has been left in place and roofed over with new "Zincalume" sheeting in matching profile. Thermal insulation (which works as a layer of sound attenuation as well) has also been installed over the old roofing. No immediate work is required.

New gutters have been installed above the original cast iron gutters. The original gutters have surface rust that is not damaging, but should be monitored. Both the original and new gutters should be retained in situ. (See 'Stormwater Drainage' below.)

See general repair notes for roofing.



An example of new external downpipes on the east wall. Source OCP 2002.

4.2.10 STORMWATER DRAINAGE

The original stormwater drainage system has been bypassed so that water no longer enters the column downpipes, but is instead collected in new plastic pipes and discharged into new drains. The old cast iron gutters and downpipes are now disused but remain intact and should be preserved. The new external downpipes on the east wall and on the annexes of the south wall should be retained.

4.2.11 TIMBER

The various timber brackets attached to the brickwork should be monitored for stability then repaired and stabilised. If brackets that are severely splintered or deteriorated are considered dangerous, these may be removed.

The large bracket attached to the south-west corner of Bay 16 and Row Q is deteriorating dangerously. It is not considered significant and should be repaired or removed urgently.

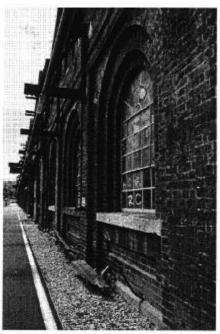
All timberwork, including windows, doorways and jambs should be inspected for termite damage and treated accordingly.

The remnants of timber seating along the North Wall should be conserved, although reconstruction is not required. This seating is historically significant and should also be interpreted.

The timber beam inserted into the upper panels of Bays 11 and 12 South is a remnant of a former annexe building. This beam should be retained and interpreted if desired.



The large timber bracket hanging precariously from the corner of Bay 16 South / Row Q West should be repaired or removed urgently. Source: OCP 2002.

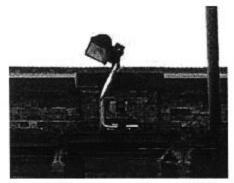


Timber seating, in various states of decay, runs along the north wall from this point (bay 14 looking east). Reconstruction is not required, but preservation and interpretation are recommended. Source: OCP 2002.

4.2.12 LIGHTING

The north, south and west walls have been fitted with a range of modern lighting, particularly spotlighting and fluorescent tubes with intrusive orange cabling. Although these fittings cause no physical damage to the building fabric they are visually intrusive and a more sensitive lighting solution may be considered as funding permits.

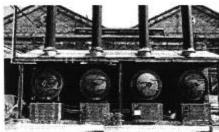
Original internal lights were removed during the refurbishment, except in Bays 1 and 2. The remaining original lights should be retained and may be reused or not as required.



An example of lighting on the west wall. Source: OCP 2002.

4.2.13 MACHINERY

A machinery report has been compiled by Roger Parris to assess the physical condition of historic machinery and associated pipe work. In particular, machinery on the north wall is rusting with some holes and requires urgent attention to prevent further corrosion. The boilers on the south wall are also in very bad condition. Asbestos dust is leaking through holes in the body of some boilers and will obviously require professional attention immediately.



Original machinery, such as the boilers, requires urgent preservation. See separate machinery report. Annexe 4a South. Source: OCP 2002.

4.2.14 BULLSEYES

On the south wall, the bullseye windows have been covered with modern signage, displaying the bay numbers. No conservation work has been done on the bullseyes, or the louvres. If other work is carried out in the vicinity then the opportunity should be used to remove the mesh signs and conserve the bullseyes and louvres as required. Louvres should be reinstated if missing. The signage is considered to be of neutral significance and may be replaced after the conservation work is carried out if desired.

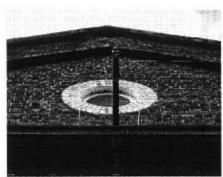
Missing louvres on the north wall may be reinstated when funding permits.



An example of the modern mesh signage covering bullseyes on the south wall. Source: OCP 2002.

4.2.15 PAINT

As recommended in the CMP, internal walls should retain their industrial character and finishes not 'cleaned up'. However any finishes that are lead based or peeling off the wall may need to be stabilised. Masonry should not be painted with non porous paint, as it inhibits evaporation of moisture and can cause rising damp, efflouresence and salt deterioration. For a more detailed specification for treating and repainting see the separate report prepared by Jean Rice in January 2002.



White paint dripping from a bullseye on the north wall. In future, such inationtion to detail should be avoided and these drips should be cleaned. (See Policy 2.2.9). Source OCP 2002.

DRAFT 2003

BUILDING FABRIC INVENTORY

4.3 GENERAL REPAIR NOTES

This section addresses the units of the building that have not all been specifically inspected . Sample elements have been inspected and an approach developed for the item. The units in this section are the roofing, roof monitors and louvres, trusses, and the internal downpipe and column system. While these units are considered to be in very good condition, more detailed inspections and regular monitoring is required. These items are not individually covered in the inventory so these notes should only be considered a general guide. Each unit should be inspected and treated individually as funding permits.

4.3.1 ROOFING

Roofing may be replaced or repaired as required, excepting the areas of original or early sheeting. These areas can be recognised by a larger pitch and thicker gauge sheeting. Closer inspection may also reveal a maker's stamp. Such sheeting should be monitored and rust proofed if required.

Inspections in 1995 found most of the corrugated iron roofing to be less than 20 years old, and subsequently of low historical significance. In 1996, the whole roof was oversheeted to create an insulation layer over original roofing. Although this new fabric is not considered significant, this roof should be maintained and repaired as required to protect the original sheeting.

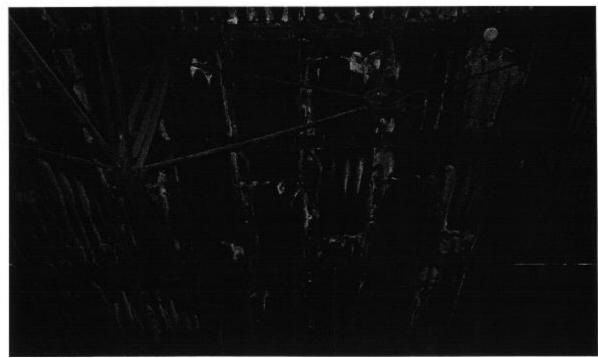
Natural light originally entered the workshops through clear panels along the roof. In recent works, these skylights have been covered with corrugated iron and the roof monitors have been fitted with perspex panels to allow light into the workshops. When roofing is replaced in years to come, consider reinstating the original configuration of skylights. [See photo].

For further details into the roof construction, see the 2002 Conservation Management Plan Section 4.2 Building Construction and Section 4.4 which describes the original and highly significant roofing of Bays 1 and 2.



Original roofights viewed from outside (shown above) and inside (shown below). These were removed in 1996 and may be reinstated in future. Source: OCP 1995.





Underside view of deteriorating corrugated sheeting. Bay 14. Source: OCP May 2002

4.3.2 ROOF MONITOR AND LOUVRES

Roof monitors will require more detailed inspection to determine the specific repairs. These notes have been provided as a general guide.

Junctions between roof and monitor have been haphazardly repaired over time and may require attention. New flashings were installed in 1996 and should be maintained. Rust converter should be applied to metal fittings as required.

For the 1996 adaptation of the workshop, some of the curved corrugated iron sheeting was replaced with corrugated perspex to create skylights. Failing joints have developed as a result.

The roof sheeting was fixed to existing timber purlins which are seated in the metal "Z" purlins. Some of these are deteriorated and fixings have failed. A special detail has been developed to hold down the roofing and should be implemented as required. In the long term, deteriorated timber purlins should be replaced and coverings at the end of each monitor detailed to protect them from the weather.

In future work, if roofing is replaced, consider reinstating the original configuration of skylights along the roof and replacing the metal sheeting.

In some instances, metal louvres and moulded timber details were removed, during overzealous repairwork in 1996. These may be reinstated, funds permitting. Remaining timber details should be inspected for termite damage and treated accordingly. Rust proof original metals if required.

All other original elements in monitors should be preserved following a more detailed inspection. Elements may include cast iron gutters, some heavy gauge and large profiled corrugated iron roof sheeting and heavy gauged louvre blades.

Where monitors have been enclosed to facilitate air conditioning, original fabric should remain visible as much as possible and intrusive additions minimised.

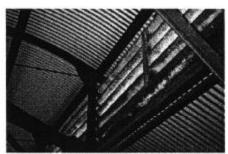
See the Eveleigh Locomotive Workshops Conservation Management Plan 2002, section 4.4 Building Exterior for further descriptive detail.



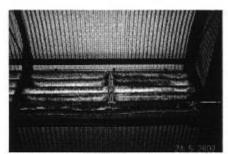
Figure 4.13: Detail of end of roof monitor showing metal louvres. These may have been removed in 1996. In some instances the corrugated iron shown has also been replaced with perspex sheeting, such as along Bav 8. Photo: OC+P 1996.



Figure 4.32: Detail of end of roof lantern showing contigated sheeting and moulded imber detailing. These may have been removed in 1996. Photo: OC+P, 1996.



Interior view of roof monitor and louvres. Bay 14. Source: OCP May 2002.



Interior view of louvres, Bay 14, Source: OCP May 2002.

4.3.3 TRUSSES

Wrought iron trusses and diagonal wind bracing are generally in good condition. This original steelwork should be preserved. In some instances steel purlins have been replaced with timber purlins, for ease of repairing the roof. Trusses in the Bay 5 are slightly different to the rest of the workshop, since they were installed at a later date. Consider interpretation of this change.

Surface rust has been observed on some trusses. The rust is not flaking and is generally stable but if further rust develops and flaking is evident, rust converter may be applied to affected areas.

A structural engineer's report will be required if obvious further corrosion threatens the stability of the roof trusses.

For further descriptive and structural information see Section 4.2 and especially section 4.5 of the Eveleigh Locomotive Workshops CMP 2002.



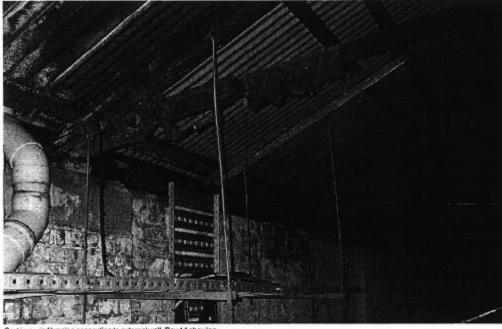
Internal view of Bay 14 showing truss system. Source: OCP May 2002



Internal view of Bay 14 showing roof trusses and ceiling. Source: OCP May 2002



A timber roof purlin has replaced the original cast iron purlin when the roof sheeting was replaced. Source: OCP May 2002.



Cast iron wind bracing connecting to external wall, Bey 14 showing surface rust. Source: OCP May 2002.

4.3.4 INTERNAL DOWNPIPES AND COLUMNS

Hollow cast iron columns were designed to act as the internal downpipes for the workshops. The innovative structures are highly significant and should be preserved. The cast iron is generally in good condition and during the 1996 construction work no paint or repairs were required.

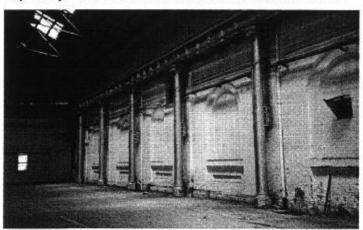
During the workshops phase various brackets were attached to the columns to support service lines. These have been welded or screwed into the cast iron. While these holes and attachments have caused no immediate damage, areas may be problematic in the future and should be monitored for corrosion and water ingress.

Further research is required to obtain a clearer understanding of the significance of all the layers of supply and exhaust lines attached to the building structure. This research will also be able to assist the formation of policy guidelines for the future use of columns, ie, to determine their load bearing capacity.

Columns were painted silver during the Paddy's Market phase of the building. Although the paint is not considered significant, removal may damage the downpipe surfaces so should not be attempted at present. As funds permit, the original finish may be investigated and appropriate action considered in consultation with a paint specialist.

Corrosion of the internal downpipes along the east wall of Bay 1 caused vertical cracking in most of the intermediate engaged piers along that wall. The cracks have since been repaired and new external downpipes were installed in 1996. The original downpipes and cast iron gutters were bypassed, but remain intact and should be preserved.

See Eveleigh Locomotive Workshops CMP 2002 Section 4.4. for a further detailed description of the columns. See especially Section 4.5 for structural and historical outline.



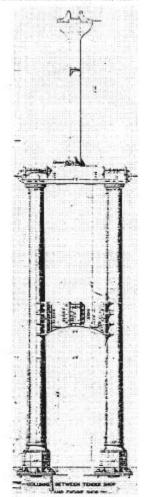
Western view of the wall dividing Bays 4 and Bay 5, looking south. This was originally an external wall. The columns and crane rail were added when the bay was enclosed to form Bay 4a (now Bay 5). Note that the columns have been painted aliver. Source: Jean Rice 1995.



View along Bay, showing a series of double cast iron columns. Source



Column grid, Bay 6 looking north-west, Part of this area has since been enclosed with construction and the horizontal counter shaft girders removed from the columns. Source: Jean Rice, 1995.

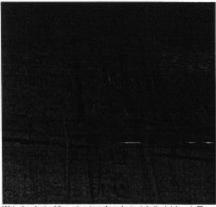


Elevation of double columns. Source: SRAO ELW19

4.3.5 INTERIOR WALLS

Inspection of the interior walls was made difficult by obstructing machinery and new built work and as a result, has been limited to Bays 1-3 and 10-14 and some rows on the west wall. This inventory should be used as a guide only and further detailed inspection of other walls should be undertaken as access is provided.

The severe internal cracking on Bays 2 and 3 South and in Annexe 2 generally corresponds with the external cracking indicated on the line drawings. A structural engineer's report is required for these bays. Along some cracks the leaking water has caused stains to the brickwork.



Water has leaked through external cracks to stain the brickwork. These areas should be monitored for further damage. Bay 2 South. Source: OCD 2002



Severe internal cracking above an upper panel window of Bay 2 South. Source: OCP 2002

The air conditioning system installed through the blind window of Bay 3 South is intrusive and may also be the cause of severe cracking extending from this opening. This air conditioning unit should be removed in consultation with the structural engineer's report and the window made good.



The intrusive air conditioning unit installed in the eastern window of Bay 3 South may have caused the severe cracking. Source: OCP 2002

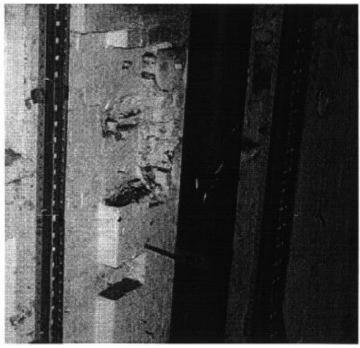
Commonly at the apex of the gable pediment, horizontal cracking has occurred. This recurring problem may be associated with the building structure so should be addressed by the structural engineer. Cracks on the pediments of Bays 11,12 and 14 South should be repointed.



This type of cracking at the apex of the gable pediment is a recurring problem and should be addressed by a structural engineer. Bay 11/South. Source: OCP May 2002

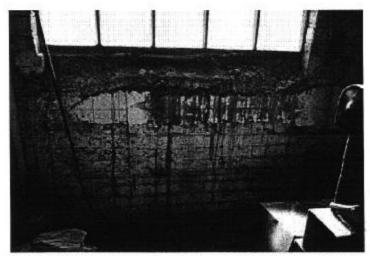
Bricks are missing on some bays, particularly on rims and pilasters. These should be replaced, especially at Bays 11, 12 and 13 South. The brick stitching required to Pilaster 12 South should be considered high priority.

Hairline cracks in pilasters should also be urgently repaired.



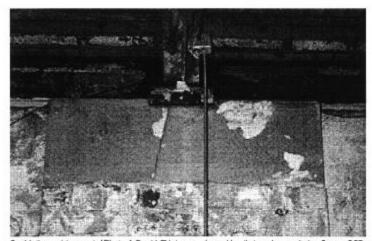
Interior brickwork on Plaster 11.1 South requires stitching. Source: OCP May 2002.

Window sills to be replaced or repaired have generally been noted on the external line drawings. Internal repairs to stone should be undertaken at the discretion of maintenance staff. Specifically, the westernmost sill of Bay 12 South, requires a stone insert. Elastometric sealant should be applied to all exposed joints on the top side of horizontal stone surfaces and any cracks in cornices should be repointed.

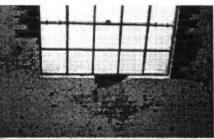


This sill is severely damaged and should be replaced. Annexe 2. In most cases, similar repairs are noted on the line drawings. Source: OCP 2002.

The sandstone seats atop pilasters display cracks, erosion and damage from exploding inserts. Access permitting, these stones should be monitored and cracks sealed. If the problem develops further a structural engineer's report may be required.



Crack in the sandstone seat of Plaster A, Bay 14. This is a recurring problem that requires monitoring. Source: OCF 2002.



The damaged sill of the western window of Bay 12 South

As indicated on the external photographs, all historic metal fittings should be preserved. Throughout the interior, bolts and brackets have been painted over when the walls were painted. This was common practice during the workshops phase. Paint should not be removed.



Historic bolts have been painted over during the workshops phase. Note the discolouration of the paint. The square gaps in the brickwork may be significant and should not be filled. Further research is required as to function. Bay 11/ South, upper western rim. Source: OCP 2002.

Discolouration to the paintwork is a result of the building's function as a workshop and should remain unchanged.

All historic signage painted or attached to the interior walls should be preserved. If conservation work is required, a paint specialist should be consulted.



Preserve historic signage painted on the interior wall of Bay 14 North, Source: OCP 2002.

Historic pipework and associated brackets should be preserved and rust proofed as required.

Porcelain inserts are generally in good condition and should be preserved. As externally, loose cables should be removed and the inserts left unfilled. Points where the inserts provide lintel support to the brickwork above should be monitored and suitable action taken as required.



Severe damage to the upper western brickwork of Bay 11 North. The sandstone comice is corroded and inserts exploding. Note also the porceion inserts providing lintel support to brickwork. Source: OCP 2002.

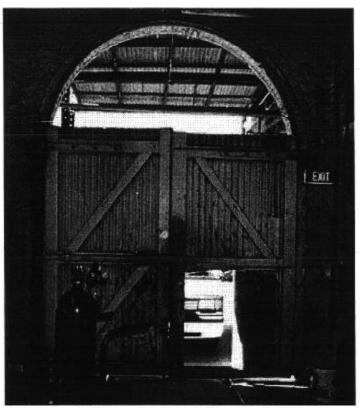
At the traverser Bays 8 and 14, brackets are attached to the traverser beam. These should be preserved and interpreted as desired.



Interior view of the former traverser Bay 14 South. The brackets attached to the beam should be preserved and interpreted as desired. The historic pipework should also be preserved and may be interpreted if function is established. Source: OCP 2002,

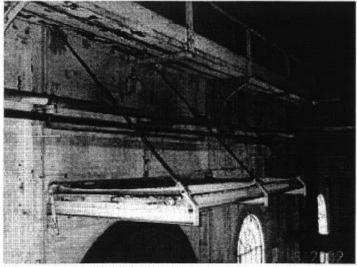
Timber brackets and pulley systems attached to the interior walls should be monitored for stability. These are considered to be of low significance and may be repaired or removed as required.

Original door hinges should also be preserved.



While this gate has been clad with corrugated sheeting, the original hinges remain and should be preserved. Bey 2 South. Source: OCP 2002.

Additions such as mezzanines, awnings and the timber walkway along the north wall were generally installed during the workshops phase. These should be monitored for stability and corrosion and repaired as required. All timber structures should also be inspected for termite damage and treated accordingly.



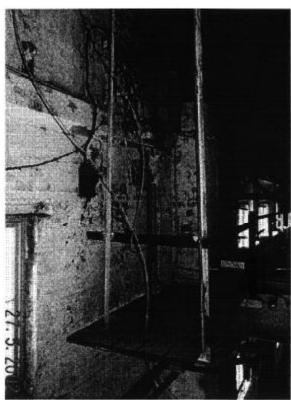
The awring over a chooway and the timber footbridge running along the north wall are part of the workshops phase and should be preserved, should be preserved. Bey 11 North, Source, CCP 2002.



A wooden footbridge supported by steel brackets runs along the north wall, it is part of the workshops phase and should be preserved. Inspect regularly for lemite damage and treat accordingly. Rust proof brackets if required. Bay 12, North Wall. Source: OCP 2002.



Discolouration to the brickwork of Pilaster 12, North Walf, Source: OCP 2002.

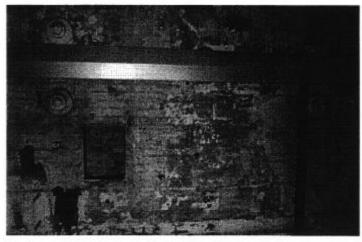


Mezzanine levels should be inspected for termitie damage and monitored for stability. Bay 13 mezzanine. Source: OCP 2002.

The partition wall dividing Bays 14 and 15 is in varying states of deterioration. Exploding inserts have caused extensive damage to the brickwork. Cracking and discolouration have resulted. These areas should be carefully monitored and repointed if further cracks develop.



Discoloured brickwork around an exploding insert. Eastern side of the partition wall dividing Bay 14 and 15. Source: OCP 2002.



Discoloured brickwork around an exploding insert. Bay 14. Source: OCP 2002.

As with the perimeter walls, many bricks are missing in the partition wall. In general, replacement bricks should be inserted. Regularly shaped gaps should be retained until further research determines the former function.

4.3.6 BAYS 1 & 2 SERVICES

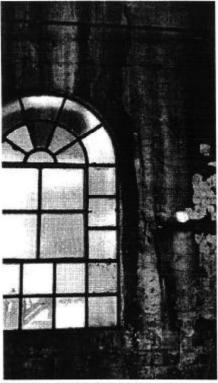
Major cracking, leaks and a partially dropped ceiling indicate severe structural damage in Bays 1 and 2. Although the external surface of the east wall was superficially repaired during the 1995 works for the Australian Technology Park, these bays still require extensive work to stabilise the structure and prevent further damage.

As indicated in the line drawings, major cracking has occurred along the south wall of Bays 1 and 2 and in the associated annexes (1,2 and 4a). Cracks should be repointed and the walls urgently rectified.

Between the two bays, a dip of the supported roof trusses indicates that two internal columns have settled, causing structural damage and water ingress. The settlement may have been due to local weakness in the soil and/or heavy dynamic loads from the work operations. It appears to have stabilised but should be monitored as the columns have not been underpinned. The resulting damage to the roof and downpipies has caused leaking. In consultation with the engineer, the columns in this area should be underpinned and the roof repaired. Drainage pipes should be cleared and repaired. The possibility of diverting stormwater should also be assessed in the short term.

The structural faults in Bays 1 and 2 may be interrelated and should be addressed urgently to prevent further damage. Any work should be done in consultation with the structural engineer.

The original internal lights in Bays 1 and 2 are significant and should be retained. They may be reused or not as required.



This large vertical crack in the South Wall of Annexe 2 is one example of structural damage in Bays 1 and 2, Source OCP 2002.

4.3.7 MASONRY GABLES

As indicated in the CMP, it is common practice to strengthen heritage buildings against horizontal earthquake loads, in order to prevent injury, loss of life and excessive damage to the building fabric in the event of an earthquake. In particular, the masonry gables on the north and south walls of the Eveleigh Locomotive Workshops are slender and unrestrained and therefore considered at risk of collapse. The gables should be tied to the roof structure, following an engineering assessment.

Horizontal cracking of the gable has occurred along the coping courses of brickwork in Bays 1 to 4 South. The courses are split on the bed planes. Cracks should be repointed and the gables monitored for further damage. If this is a sturctural fault, the problem may recur along the South Wall, so all gables should be monitored for similar cracks.

Similar cracks have occured along the interior coping courses where cast iron roof purlins are embedded into the brickwork. These areas should be carefully monitored and repaired as required. Existing cracks should be repointed immediately.



An example of how the coping courses are split on the bed plane. Source: OCP 1996.



A detail showing the split bed planes on the coping. Source: OCP 1996.



cast iron roof purins embedded in the gable pediments have caused some brick courses to crack. Source: OCP 2002.

5.0 THE DATABASE

An electronic database has been created in Filemaker Pro to facilitate the maintenance of the building fabric. It is most effective in its digital format, although printed copies are also available. The electronic database should be updated as work is completed.

Each record is formatted with an annotated photograph, line drawing and a tabulated maintenance plan addressing each element of the building fabric for each individual external bay or row wall. The annotated photographs detail historical significance of the fabric and identify non-structural elements to be preserved, removed or interpreted, such as a historical sign or an intrusive cable. The line drawings show specific repairs and maintenance work that affect the building structure, such as brick repointing or stitching. This is also indicated in an accompanying key to enable searching and collating.

The proceeding inventory documents the levels of significance, fabric condition and required repair work for each unit of the building fabric. In its electronic form, this section can be used to search for specific types of repairs, such as glazing or brick patching. The resulting records can then be printed and distributed to appropriate tradespeople or maintenance staff.

Significance is classed as S1 High, S2 Moderate, S3 Low or S4 Intrusive. Highly significant elements should be preserved and interpretation considered. Elements of moderate significance should be conserved. Low significance elements should generally be left intact, unless damaging to the building fabric. Remove intrusive elements unless this process could damage building fabric.

Fabric condition has been classed into C1 very bad, C2 poor and C3 good. C1 refers to fabric that is dangerous, structurally unstable, or excessively corroded. C2 refers to fabric that requires general repair. C3 indicates that fabric is in good condition, requiring little conservation work.

Rectification work has been classed into three categories: R1 maintain, R2 urgent work and R3 repair. In this instance the term repair has been used to include 'restoration' and 'reconstruction' as well as general localised repairs, as outlined in the Burra Charter. Urgent work refers only to dangerous materials, for instance a splintered timber bracket. All other work has been labelled 'maintain', indicating general monitoring, repair and preservation as required.

Regular monitoring of all building fabric has been assumed and has thus not been included as a category.

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BUILDING FABRIC INVENTORY

The 'recommended works' section of the table details specific methods of repair, and should be consulted in conjunction with the line drawing and photos. In the 'notes' section, terms such as 'intrusive', 'HP' [high priority] and 'urgent' have been used to indicate the hierarchy of importance of some repairs. Options for historic interpretation have also been suggested in this column. These categories have also been divided into check boxes on the first page of the record to facilitate an efficient search.

Some of the recommended works are recurring problems throughout the workshops and have been included here as general notes, rather than shown on successive line drawings. These general notes are:

- The top side of all exposed horizontal stone joints should be filled with mortar and pointed with elastometric sealant.
- The plinth along the North Wall is severely exfoliated and requires urgent repointing and repair.

5.1 THE BUILDING KEY

A key accompanies the line drawings to explain the proposed methods of repair. The key is arranged with an abbreviated code on the left, followed by a more detailed description to the right. It can also be used to search the inventory for specific repairs. These methods have been explained in detail below:

- R Replace stone Where stonework is damaged beyond repair, replace the whole stone, to match the existing.
- Indent stone Where the whole of the visible part of the stone isdamaged beyond repair, indent stone 150mm into wall (or as determined by Structural Engineer). Finish to match existing.
- H Hairline-jointed stone insert Where part of the visible stone surface is damaged beyond repair, insert stone to the extent of damage only approximately 150mm deep into wall using tight (hairline) joints. Finish to match sound part of existing stone.
- Rp Repoint brickwork or stonework using lime mortar.

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- CI Corroded Insert A corroded ferrous insert is rusting and expanding and may be causing cracking, water ingress and structural damage to the building fabric. The insert should be removed with care and the surrounding area patched with epoxy resin.
- Ps Patch (small) Apply a small (up to 30mm diameter) epoxy patch without reinforcement to the area indicated. This method is recommended for the holes left by the many nails, screws and other inserts that have since corroded or been removed.
- Pr Patch (reinforced) Patch damaged stone with epoxy resin and reinforce with stainless steel wire (3.2 mm diameter)reinforcement. This is particularly recommended for when cracks or holes have caused stone to break.
- Insert Brick Where bricks are missing or severely damaged, insert a full, half or quarter brick, as indicated, to fill the gap. These bricks should endeavour to match the existing brickwork and be fixed with lime mortar.
- Els Elastometric Sealant Fill the joint with mortar then apply elastometric sealant to the top on horizontal surfaces. A backing rod may also be required. This method is generally recommended for horizontal stone joints, particularly along window sill, cornice and coping stones.
- In Inject epoxy resin mixture along the entire length of any cracks. This has been particularly recommended for deep cracks to prevent further structural damage.
- Rc Rust Converter Apply rust converter to corroded ferrous metal inserts to prevent further deterioration. This method is preferred to removing the inserts when removal may cause structural damage or where the metal has heritage value. Rust converter hasalso been recommended for the ferrous window heads.
- Tme **To Match Existing** Repair the fabric with the introduction of a new material to match the existing fabric (eg. replacing sandstone coping stones to match existing).
- Zac Zincalume Capping Install a new Zincalume capping to replace the existing corroded roof capping
- Rv Remove Vegetation Remove vegetation growing in the masonry. Rake out the joints 20mm deep to prevent further growth. Repointing of the raked-out joints is required (as for Rp).

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BUILDING FABRIC INVENTORY

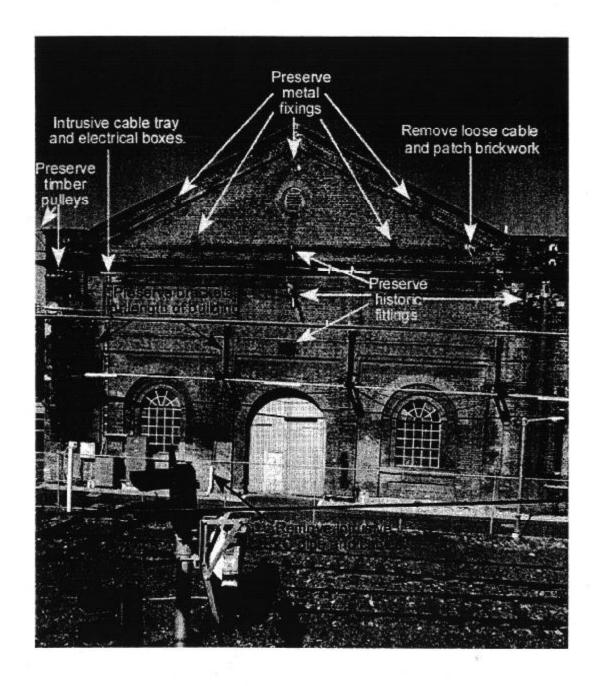
- MS Make Safe Make safe by removing precariously hanging elements or loose stone
- Pb Patch Brickwork Where the brickwork is cracked or chipped, patch using composition mortar [1:2:9, cement:lime:sand]
- Rb Reconstruct Brickwork Reconstruct the brick surface of the wall. This method will be suggested only where the brickwork is structurally unsound. During reconstrution, original bricks should be reused as much as possible. Introduced materials should match the exisitng brickwork.
- Ot Other, see "Notes"

The following pages are a printed version of the electronic database.

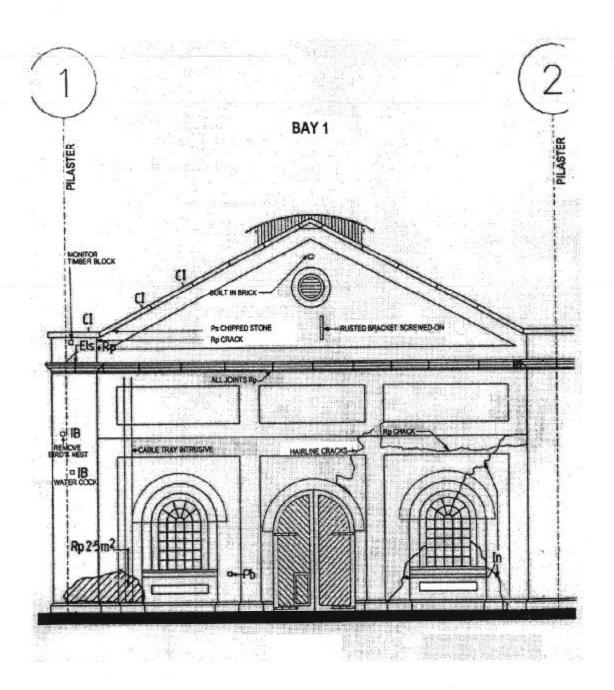
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NORTH WALL INVENTORY SHEETS

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LOCATION	Bay I/I north	•	RECO	ORD#	I
	⊠ BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST		20	
	☑ URGENT WORK	HP [HIGH PRIORITY]	☐ INTERPRET		



Record # I	Bay I/I north	AND SILLS	OPEN JOINTS IN STONE COPING, CORNICE WITH LIME MORTAR & POINT TOP OF JOINT TOMETRIC SEALANT AND BACKING ROD.
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☐ I Indent stone	even, will be	Rc Apply rus	t-converter to corroded ferrous metal insert
H Hairline joint	ted stone insert	Tme To match	
Rp Re point			calume capping to replace corroded capping
CI Corroded in	isert, remove and epoxy patch	Rv Remove	vegetation and rake out joints 20mm deep
Ps Small epoxy		MS Make safe	by removing loose stone
	with reinforcement	Pb Patch bri	
IB Insert Brick		Rb Reconstr	uction of brick surface of wall
	int, elastometric sealant and backing rod to top	Ot Other, s	ee "Notes"

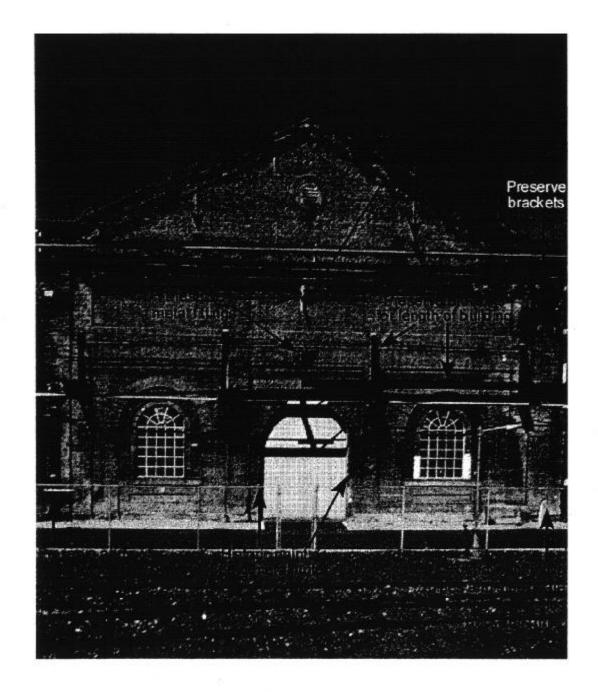
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BULISITE SI C3 RI Monitor louvres for comosion, rust proof as required. UPPER WALL SI C3 RI Light wash and repoint as required STONEWORK comice SI C2 R3 Repoint cracks as indicated BRICKWORK rims SI C3 RI Light wash and repoint as required panels SI C3 RI Light wash and repoint as required inserts S3 C3 RI Monitor bracket for comosion WINDOWS N/A LOUVES N/A LOUVES N/A LOUVER WALL BRICKWORK rim SI C3 RI Repoint crack Light wash and repoint as required HP arches SI C1 R2 Repair major cracks in arch. See drawing. URI panel under SI C3 RI Light wash and repoint as required URI sil inserts SI C3 RI Light wash and repoint as required URI STONEWORK window sills SI C3 RI plinth SI C3 RI plinth SI C3 RI corbel N/A inserts N/A	87775	-			the state of the s	
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STONEWORK comice SI C2 R3 Repoint cracks as indicated BRICKWORK rims SI C3 RI Light wash and repoint as required panels SI C3 RI Light wash and repoint as required inserts S3 C3 RI Monitor bracket for comosion WINDOWS N/A LOURES N/A LOURES N/A LOURES N/A LOURES SI C3 RI Repoint crack Light wash and repoint as required HP arches SI C1 R2 Repair major cracks in arch. See drawing. URI panels SI C3 RI Light wash as required URI panel under SI C3 RI Light wash and repoint as required IN panel under SI C3 RI Light wash and repoint as required STONEWORK window sills SI C3 RI STONEWORK window sills SI C3 RI corbel N/A inserts N/A	BULLSEYE	SI	G	RI	Monitor louvres for comosion, rust proof as required.	3500000
Repoint cracks as indicated BRICKWORK rims S1 C3 R1 Light wash and repoint as required panels S1 C3 R1 Light wash and repoint as required inserts S3 C3 R1 Monitor bracket for corrosion WINDOWS N/A LOUVRES N/A LOUVRES N/A LOUVRES N/A LOUVRES S1 C3 R1 Repoint crack Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. URI panels S1 C3 R1 Light wash and repoint as required URI panel under S1 C3 R1 Light wash and repoint as required URI sill inserts S1 C3 R1 STONEWORK window sills S1 C3 R1 plinth S1 C3 R1 corbel N/A inserts N/A	UPPER WALL	SI	СЗ	RI	Light wash and repoint as required	
BRICKWORK rims S1 C3 R1 Light wash and repoint as required panels S1 C3 R1 Light wash and repoint as required inserts S3 C3 R1 Monitor bracket for corrosion WINDOWS N/A LOUVRES N/A LOUVER WALL BRICKWORK rim S1 C3 R1 Repoint crack Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. URI panels S1 C3 R2 Inject cracks. Light wash as required URI panel under S1 C3 R1 Light wash and repoint as required URI sil inserts S1 C3 R1 STONEWORK window sills S1 C3 R1 plinth S1 C3 R1 corbel N/A inserts N/A			-22 11111		Market 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	
rims S1 C3 R1 Light wash and repoint as required panels S1 C3 R1 Light wash and repoint as required inserts S3 C3 R1 Monitor bracket for corrosion Windows N/A LOUVRES N/A LOUVRES N/A LOUVREWALL BRUCKWORK rim S1 C3 R1 Repoint crack. Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. panels S1 C3 R2 Inject cracks. Light wash as required URI panel under S1 C3 R1 Light wash and repoint as required isil inserts S1 C3 R1 STONEWORK window sills S1 C3 R1 plinth S1 C3 R1 corbel N/A inserts N/A	comice	SI	C2	R3	Repoint cracks as indicated	
panels S1 C3 R1 Light wash and repoint as required inserts S3 C3 R1 Monitor bracket for corrosion WINDOWS N/A LOUVRES N/A LOUVRES N/A LOUVREWALL BRICKWORK rim S1 C3 R1 Repoint crack. Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. UR panels S1 C3 R2 Inject cracks. Light wash as required UR panel under S1 C3 R1 Light wash and repoint as required ill inserts S1 C3 R1 STONEWORK window sills S1 C3 R1 plinth S1 C3 R1 corbel N/A inserts N/A	BRICKWORK					
inserts \$3 C3 R1 Monitor bracket for corrosion WINDOWS NVA LOUVRES NVA RI Repoint crack Light wash and repoint as required HP arches \$1 C1 R2 Repair major cracks in arch. See drawing, UR panels \$1 C3 R2 Inject cracks. Light wash as required UR panel under \$1 C3 R1 Light wash and repoint as required sill inserts \$1 C3 R1 STONEWORK window sills \$1 C3 R1 plinth \$1 C3 R1 corbel N/A inserts NVA		SI		RI		
WINDOWS N/A LOWER WALL BRICKWORK rim SI C3 RI Repoint crack. Light wash and repoint as required HP arches SI C1 R2 Repair major cracks in arch. See drawing. UR panels SI C3 R2 Inject cracks. Light wash as required UR panel under SI C3 RI Light wash and repoint as required sill inserts SI C3 RI STONEWORK Window sills SI C3 RI corbel N/A inserts N/A	, panels	SI	C3	RI	Light wash and repoint as required	
LOWER WALL BRICKWORK rim S1 C3 R1 Repoint crack Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. URI panels S1 C3 R2 Inject cracks. Light wash as required URI panel under S1 C3 R1 Light wash and repoint as required sill inserts S1 C3 R1 STONEWORK Window sills S1 C3 R1 corbel N/A inserts N/A	inserts	S3	C3	RI	Monitor bracket for corrosion	
LOWER WALL BRICKWORK rim S1 C3 R1 Repoint crack. Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. UR panels S1 C3 R2 Inject cracks. Light wash as required UR panel under S1 C3 R1 Light wash and repoint as required sill inserts S1 C3 R1 STONEWORK Window sills S1 C3 R1 corbel N/A inserts N/A	Windows	N/A	1			
BRICKWORK rim S1 C3 R1 Repoint crack. Light wash and repoint as required HP arches S1 C1 R2 Repair major cracks in arch. See drawing. URI panels S1 C3 R2 Inject cracks. Light wash as required URI panel under S1 C3 R1 Light wash and repoint as required sill inserts S1 C3 R1 STONEWORK Window sills S1 C3 R1 corbel N/A inserts N/A	Louvres	N/A				
rim SI C3 RI Repoint crack. Light wash and repoint as required HP arches SI C1 R2 Repair major cracks in arch. See drawing. URI panels SI C3 R2 Inject cracks. Light wash as required URI panel under SI C3 RI Light wash and repoint as required sill inserts SI C3 RI STONEWORK Window sills SI C3 RI corbel N/A inserts N/A	LOWER WALL					
arches \$1 C1 R2 Repair major cracks in arch. See drawing. URI panels \$1 C3 R2 Inject cracks. Light wash as required URI panel under \$1 C3 R1 Light wash and repoint as required sill inserts \$1 C3 R1 STONEWORK window sills \$1 C3 R1 plinth \$1 C3 R1 corbel N/A inserts N/A	10				green production of the second	
panels SI C3 R2 Inject cracks. Light wash as required URI panel under SI C3 RI Light wash and repoint as required sill inserts SI C3 RI STONEWORK window sills SI C3 RI plinth SI C3 RI corbel N/A inserts N/A	nm			RI	Repoint crack. Light wash and repoint as required	HP
panel under \$1 C3 R1 Light wash and repoint as required sill inserts \$1 C3 R1 STONEWORK window sills \$1 C3 R1 plinth \$1 C3 R1 corbel N/A inserts N/A	arches	SI	CI	R2	Repair major cracks in arch. See drawing.	URGENT
STONEWORK SI C3 RI	panels	51	C3	R2	Inject cracks. Light wash as required	URGENT
Inserts SI C3 RI		SI	C3	RI	Light wash and repoint as required	0.222202
window silfs S1 C3 R1 plinth S1 C3 R1 corbel N/A inserts N/A		SI	СЗ	RI		
plinth \$1 C3 R1 corbel N/A inserts N/A	Stonework					
plinth \$1 C3 R1 corbel N/A inserts N/A	window sills	SI I	C3	RI		
corbel N/A inserts N/A		Comment of		2001 (200)		
inserts N/A	pino		C3	D.I.		
	corbel	N/A			The second secon	
Windows SI C3 RI	inserts	N/A	-		1	
CONTROL PAGE TO THE STATE OF TH	Windows	SI	C3	RI	was seemed the com-	
Door(s) SI C3 RI				Above welling		-

Record #	Bay 1/1	north		key S1 - high, S2 - moderate, S3 - low, S4 - int C1 - bad, C2 - poor, C3 - good.	trusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RI - maintain, R2 - urgent work, R3 - repair RECOMMENDED WORKS	r NOTES
ower wall continued		Operation and ordered an	ACCUSED SHIPS STATE OF	NECESSIONAL CONTRACTOR OF THE SECTION OF THE SECTIO	
GLAZED INFILL	SI	C3	RI		1
THRESHOLD	SI	C3	RI		L
TIMBER FRAMED	N/A				I
WALL SERVICE PIPES	N/A	1			1
1000	ALBERT OF THE	C3	RI	Monitor steel bracket for the length of the building	Interpret
STEELWORK	SI	C	(N)	Profitor see pracket for the length of the bollong	птергес
PILASTER	SI	C3	RI	Light wash and repoint as required	1
STONEWORK	W.				
coping	SI	C2	R3	Patch stone with reinforcement	
comice	SI	C2	R3	Els top of horizontal joints. Repoint crack.	
plinth	SI	C3	RI	Light wash and repoint as required	
inserts	52	C3	RI	Monitor timber blocks for termites and splintering	
parapet body down pipes	SI SI	C2 C3	R3 R3	Repoint as indicated Repair major crack. See line drawing.	
	N/A				
inserts	\$1	Lin	RI		
END PILASTER STONEWORKS	\$1	C2	RI	Light wash and repoint as required	l
coping	SI	C3	RI	Light wash and repoint as required	
comice	SI	C3	RI	Mortar fill,& els top of open horizontal joint	
plinth	SI	C3	RI	Light wash and repoint as required	1
inserts	S3	C2	R3	Remove corroded insert and patch stone.	
BRICKWORK					F
Backwork parapet	SI	C2	R3	Repair crack	1
	SI SI	C2	R3 RI	Repair crack Light wash and repoint as required. See drawing.	I
parapet					I
parapet body	51	C2	RI	Light wash and repoint as required. See drawing.	
parapet body pipes	51 52	C2 C3	RI RI	Light wash and repoint as required. See drawing.	
parapet body pipes inserts	\$1 \$2 \$3	C2 C3 C3	RI RI	Light wash and repoint as required. See drawing. Preserve pipework	

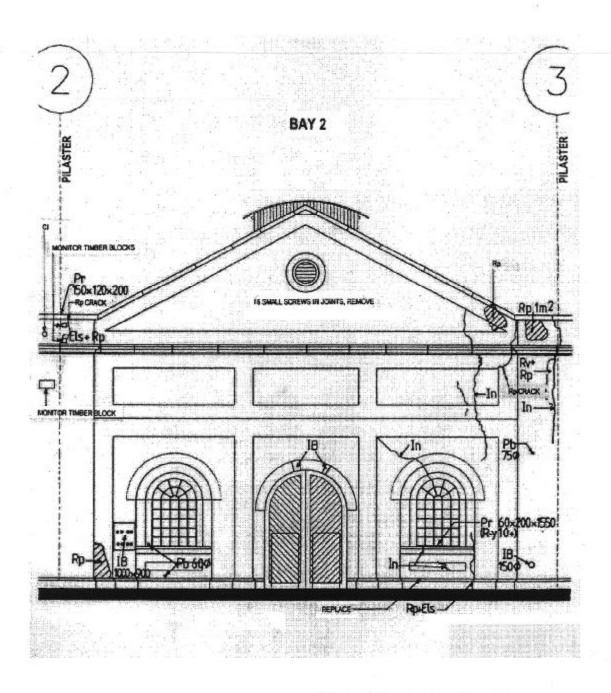
EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

Consider a more sympathetic lighting solution for the North physical damage to the brickwork at present, but is aesthetically	Wall. The fluorescent tube lighting is not causi unappealing.



LOCATION	Bay 2/2 north				RECORD #	2
1	∑ BAY ☐ ROW ☐ ANNEXE	NORTH SOUTH EAST WEST				
	URGENT WORK	☐ HP [HIGH PR	RIORITY	INTRUSIVE	☐ INTERPRET	

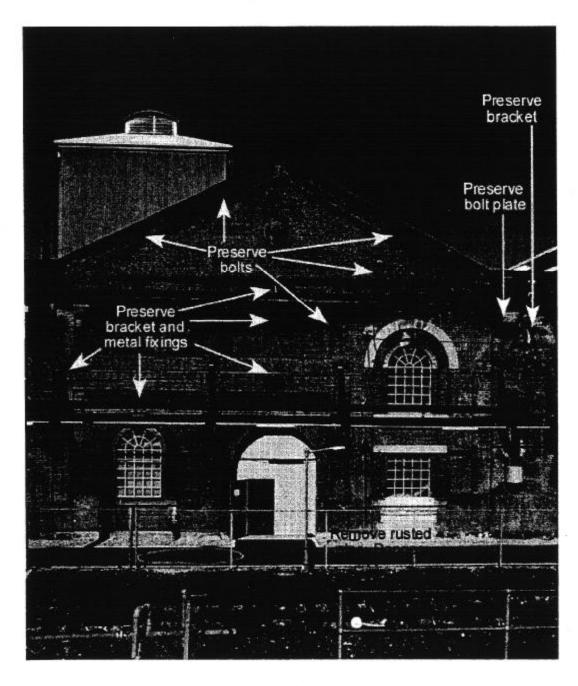


Recon	d# 2	Bay 2/2 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
	Re point Corroded	ne nted stone insert insert, remove and epoxy patch	
☐ Pr ☐ 8	Insert Brick	ne with reinforcement	MS Make safe by removing loose stone Pb Patch brickwork Rb Reconstruction of brick surface of wall Other, see "Notes"

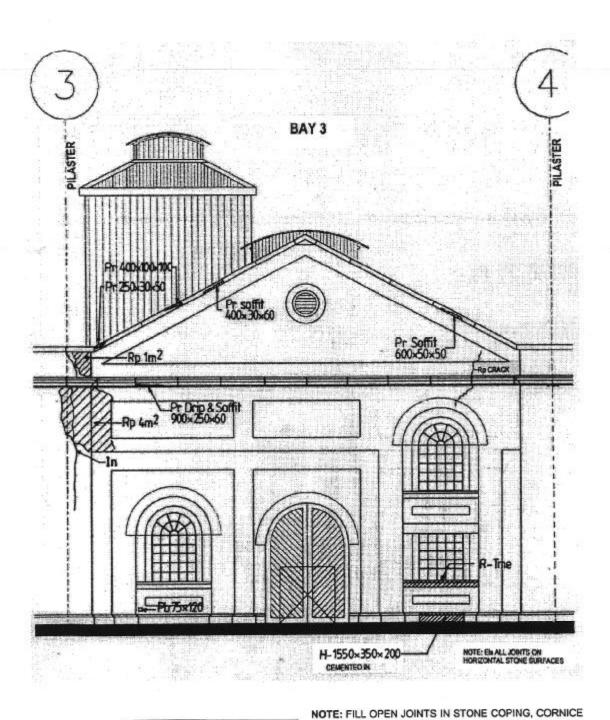
key ST - high, SZ - moderate CT - bad, CZ - poor, C3 RT - maintain, R2 - urge	- good		<u>.</u>	Bay 2/2 north Record #	2
DESCRIPTION	SIGNFICANCE	NOLIGINON	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	RI	Light wash and repoint as required	W55512
STONEWORK		STEEL COL			
coping	SI	C3	RI		
weathering	N/A		11-0-1-1	Here we have a second residence and the second seco	
inserts	N/A				
BRICKWORK					
rims	SI	C2	R3	Repoint as indicated in line drawing	
panels	SI	C3	RI	Light wash and repoint as required	
inserts	53	C3	R3	Remove small screws in joints.	
BULLSEYE	SI	C3	RI	Monitor for corrosion. Rust proof as required.	
UPPER WALL					450
STONEWORK					
comice	SI	C2	R3	Repoint cracks	
BRICKWORK	200				
nims	SI	C2	R3	Repoint cracks as indicated in drawing.	HP
panels	SI	C2	R3	Repoint cracks. Light wash.	HP
inserts	NA				
1130112				The second secon	
WINDOWS	NVA				
Louvres	N/A			The state of the s	
LOWER WALL					
BRICKWORK					
rim	SI	C2	R3	Repair crack. Repoint as indicated. Light wash.	HP
arches	51	CI	R2	Insert bricks in doorway arch.Epoxy inject crack in window	URGENT
panels	SI	C2	R3	Repair cracks, repoint as indicated, light wash.	
panel under	SI	C2	R3	Patch, inject and repoint as indicated in drawing.	HP
sill inserts	N/A				
STONEWORK					
window sills	SI	C2	R3	Patch with reinforcement, repair cracks, Els stone joints.	
plinth	SI	ĊI	R3	Replace plinth where indicated in drawing.	
corbel	N/A	10 - 300			
inserts	N/A	-		Prince the second and the second	
WINDOWS	SI	C3	RI		
DOOR(s)	SI	C3	RI		

Record # 2	Bay 2/2	north		key S1 - high, S2 - moderate, S3 - low, S4 - int	trusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repai	NOTES
lower wall continued	PATTIBLIS WOLLD.				
GLAZED INFILL	SI	C3	RI		
THRESHOLD	SI	C2	RI	Patch & monitor exfoliating threshold. Els stone joints.	1
TMBER FRAMED WALL	N/A	1		Lancardon H. C. Company	
SERVICE PIPES	N/A				1
STEELWORK	SI	C3	RI	Preserve brackets for length of the building.	Interpret
PILASTER	SI	C2	R3	Repair cracks as indicated in drawing. (See also Bay 3 North).	
STONEWORK	1186227	TWI CAN	les-o	The second of th	2 9
coping	SI	C2	R3	Repair cracks with epoxy resin	
comice	SI	C2	R3	Repair crack with epoxy resin.	
plinth	51	C3	RI		L
inserts	Nil		L		
BRICKWORK					
parapet	51	C2	R2	Repair major cracks and repoint as indicated in line drawing	URGENT
body	SI	CI	R2	Repair major cracks, repoint and fill as indicated in line	URGENT
down pipes	N/A	1	1		
inserts	52	СЗ	RI	Monitor inserts for corrosion.	
END PILASTER	N/A	Ī	4	f T	ř.
STONEWORKS	ISWS		1	Liber section of the section of the section of	Name of Street, of
coping	N/A	Γ	1		
comice	N/A	r	1		F
plinth	N/A				1 111 21 21 21 2
inserts	Nil	1000	(*******	AND COME CONTROL OF THE CONTROL OF T	
BRICKWORK					
parapet	N/A	gen e	9	11	
body	N/A	-	7		
pipes	N/A			N	
inserts	Nil	T		The second resonance control of the second	
POS ASSOCIATO VI	201				1
OTHERI	\$4			Remove intrusive pipes and fill hole in plaster brickwork. See photo.	
OTHER 2	153.50	1		Par series and the series of t	
OTHER 3		1		Harmonia a se suado.	1

COMMENTS	countaine and consumer that is a supplied to the supplied to t	Bay 2/2 north	Record # 2
A section of plinth below were installed in sections of this is not known but is The repair of plinths nee	this sill is also noted for of the east wall in 1995. So likely to be inferior stone ds further consideration.	replacement. See general notes in ome of the stone is already crack or chemical treatment to the sto It may be preferable to treat we to breach the asphalt damp produce	ne plinths. New stone plinths ed and exfoliating. The cause one at the time of installation. ith sacrificial render prior to



LOCATION	Bay 3/3 north				RECORD #	3
	BAY ROW ANNEXE	NORTH □ SOUTH □ EAST □ WEST	*			
	URGENT WORK	HP [HIGH PRIORITY]	□INTRUSIVE □	INTERPE	RET	



Record	# 3	Bay 3/3 north		TH ELASTOMETRIC SEALANT AND BACKING ROD.
I Ind	point proded inse nall epoxy p atch stone v sert Brick	d stone insert ert, remove and epoxy patch atch with reinforcement t, elastometric sealant and backing rod to top	☐ Tm ☐ Zac ☐ Rv	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert e To match existing : New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

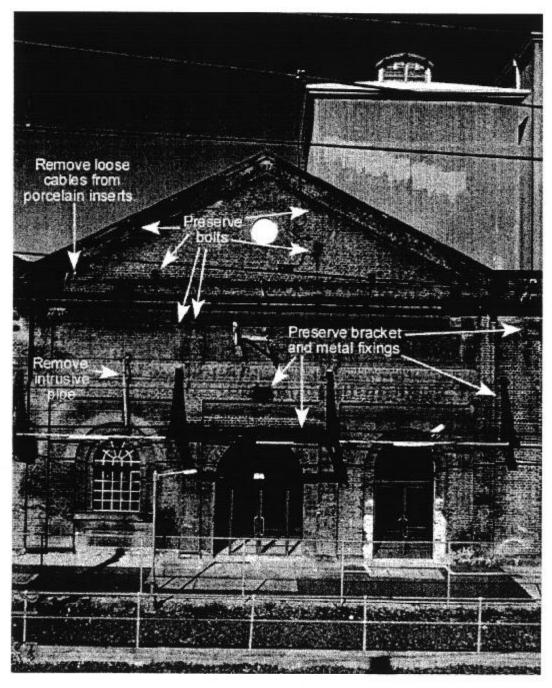
key 51 - high, S2 - moderate C1 - bad, C2 - poor, C3	- good		e.	Bay 3/3 north Record #	3
RI - maintain, R2 - urge DESCRIPTION	SIGNFICANCE ASSESSMENT OF STREET	NOLI QUO	RECTIFICATION	RECOMMENDED WORKS	NOTES
	DOSH SET STRANSFORM	ACTIVITIES TO SERVE	PENNAMEN A	Bell SWANT COMMITTEE OF THE EX HYSLEPHY FACE HAS AND A P.C.P.T. AND BY COMMITTEE OF SOME OF HISTORY FOR THE AND A PARTY OF A PARTY O	an artist confidence of the
PEDIMENT/PARAPET	\$1	C3	RI	Light wash and repoint as required	
STONEWORK		-1		ABADDO	
coping	SI	C3	R3	Patch stone with reinforcement as indicated in drawing.	
weathering	S3	C3	RI		
inserts	N/A				
BRICKWORK		-			
rims	SI	G	R3	Repair crack where indicated.	
panels	SI	C3	RI	Light wash and repoint as required	
inserts	N/A		14 () Here (Mr. 10 Mr.		
BULLSEYE	SI	CZ	R3	Rust proof immediately. Monitor for corrosion.	
UPPER WALL	SI	G	RI	Light wash and repoint as required	
STONEWORK					
comice	SI	C2	R3	Patch with reinforcement and repoint crack as indicated.	
Brickwork					
rims	SI	C3	RI	Repair minor crack. Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required	
**************************************	Service may	<u> </u>	N	Light wash and repoint as required	
inserts	N/A		10/12/15		
WINDOWS	SI	C3	RI	Repoint minor crack in upper arch.	
LOUVRES	N/A		-		
LOWER WALL BRICKWORK					
rim	SI	C3	RI	Light wash and repoint as required	10000
arches	SI	СЗ	RI	Light wash and repoint as required	
panels	SI	G	RI	Light wash and repoint as required	
panel under sill	SI	C3	RI	Patch brick where indicated.	
inserts	N/A			L	
STONEWORK					
window sills	SI	CI	R3	Replace sill of double storey window. Els other sill.	
plinth	SI	C2	RI	Hairline jpinted stone insert	
corbel	N/A			The second secon	1919
inserts	N/A	1000 B			922
		. 23	D.		
WINDOWS	SI	C3	RI	I	l land of
Door(s)	SI	C3	RI	Door reinstated 1995.	Done

Record # 3	Bay 3/3	north		key S1 - high, S2 - moderate, S3 - low, S4 - int	trusive.			
	SIGNIFICANCE	CONDITION	RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repair				
DESCRIPTION	×	გ	22	RECOMMENDED WORKS	NOTES			
lower wall continued		LOS DE SE		S 1808 37-1838	The Unit			
GLAZED INFILL	SI	C3	RI					
THRESHOLD	SI	C2	R3	Els joints.				
TIMBER FRAMED WALL	N/A			1				
SERVICE PIPES	SI	C3	RI	Monitor for corrosion.	Li			
STEELWORK	SI	C3	RI	Preserve brackets for length of building. Rust proof as	Interpret			
PILASTER	N/A	CZ	R3	Light wash and repoint. See line drawings for Bay 3 and Bay				
STONEWORK								
coping	SI	C2	R3	Patch stone with reinforcement. Els joints.	1 1			
comice	SI	C2	R3	Repair crack. Light wash.	[]			
plinth	SI	C3	RI	Els top side of horizontal joints.	L			
inserts	Nil							
BRICKWORK	-	60	200	Secretary and a second				
parapet	SI	C2	R3	Repoint whole top of parapet. Light wash.				
body	SI	C3	RI	Repoint as indicated. Light wash.	1			
down pipes	N/A							
inserts	S2	C3	RI	Monitor.				
END PILASTER	N/A	100	4 4					
STONEWORKS			'/	Value of the second sec				
coping	N/A		1-11-1		F 7			
comice	N/A	1	F1		1			
plinth	N/A	1	,		1			
inserts	Nil				I 1			
BRICKWORK								
parapet	N/A		P. 33	E CONTRACTO MONTH ENGINEER				
body	NVA				(1			
pipes	N/A		l		IJ			
inserts	Nil	Γ	[]	V	1]			
OTHERI	53	CI	R2	Remove dangerous pipe urgently. See photo.	URGENT			
OTHER 2		1			[
OTHER 3	111111111111111111111111111111111111111	l e		The state of the s				
OTHER 3	10000000		100000		\$			

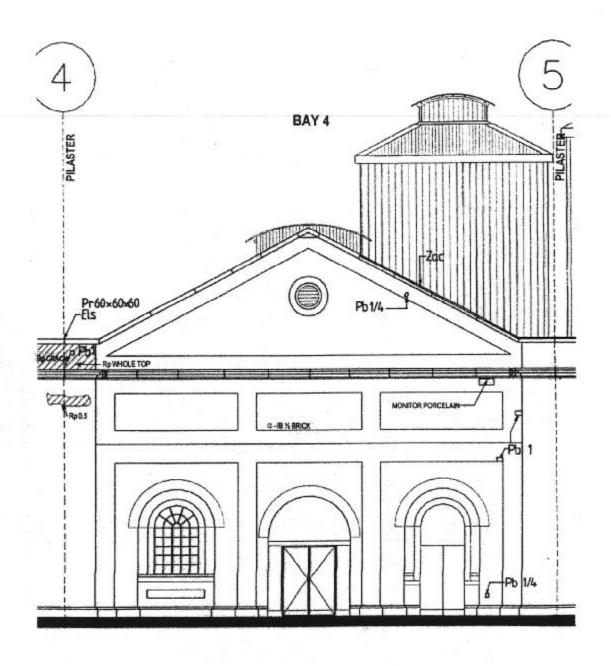
EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

OMMENTS	Bay 3/3 north	Record # 3
OMMENTS	MATCHING TO THE TOTAL TO THE PART OF THE P	
**		



LOCATION	Bay 4/4 north	RECORD #	4
	⊠ BAY □ ROW □ ANNEXE	NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	



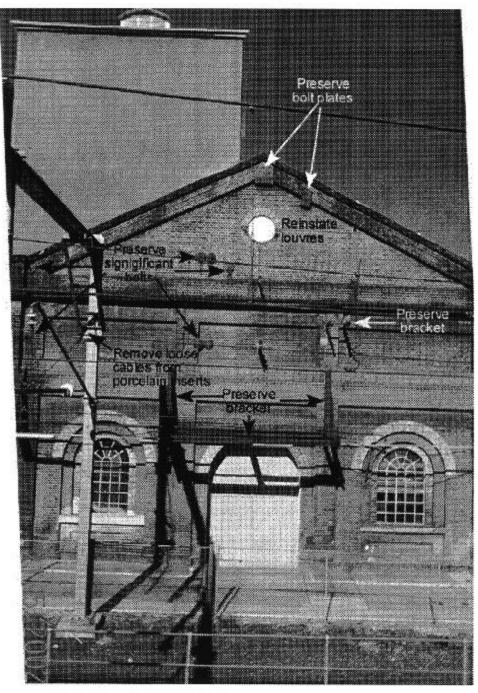
Record # 4	Bay 4/4 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epox Pr Patch stor	ne nted stone insert insert, remove and epoxy patch ky patch ne with reinforcement	In

key ST - high, S2 - moderat CT - bad, C2 - poor, C	3 - good		isive.	Bay 4/4 north Record #	‡ 4
RI - maintain, R2 - urge	SGNFICANCE SGNFICANCE SURVEY REPORT OF THE SURVEY STATES OF THE SURVEY REPORT OF THE SURVEY S	3 - repair	RECTIFICATION	RECOMMENDED WORKS	NOTE
PEDIMENT/PARAPET	SI	C3	RI		Spilis
STONEWORK					
coping	SI	C2	RI	Els top of exposed horizontal joints. Light wash.	
weathering	52	C3	R3	New Zincalume capping to replace corroded capping.	
inserts	S2	C3	RI	Monitor for corresion.	10.00
BRICKWORK	500 000	120	K 625	Company of a property of the company	
rims	SI	C3	RI	Patch brick as indicated. Light wash and repoint as required.	1
panels	SI	C3	RI	Light wash and repoint as required	1
inserts	SI	C2	R3	Remove loose cables from porcelain inserts. Do not fill.	
BULLSEYE	SI	CI	R3	Eventually reinstate missing louvres, funds permitting.	Low
UPPER WALL	SI	C3	RI	Light wash and repoint as required	1
STONEWORK					
comice BRICKWORK	SI	C2	R3	Repoint and patch where indicated. Light wash.	
rims	SI	C3	RI	Patch brick as indicated. Light wash and repoint as required	177
panels	SI	C3	RI	Insert brick as indicated. Light wash and repoint as required.	
inserts	SI	C3	RI	Monitor porcelain inserts.	
1334			1 101	Politor porceasi inserts.	
WINDOWS	N/A			<u> </u>	
LOUVRES	N/A	1	1		Į
OWER WALL BRICKWORK					
nim	SI	C3	RI	Patch brick as indicated. Light wash and repoint as required	
arches	SI	C3	RI	Light wash and repoint as required	
panels	SI	C3	RI	Light wash and repoint as required	
panel under	SI	C3	RI	Light wash and repoint as required	
sil inserts	52	C3	RI	egric real and reporte as required	
STONEWORK					
window sills	SI	C2	R3	Els top of horizontal stone joints.	-
plinth	SI	C3	RI	Light wash and repoint as required	
corbel	N/A		14-14	- 1	
inserts	N/A				
WINDOWS	SI	C3	RI		
				The second secon	
Door(s)	53	C3	RI	New glazed doors added in 1995.	Done

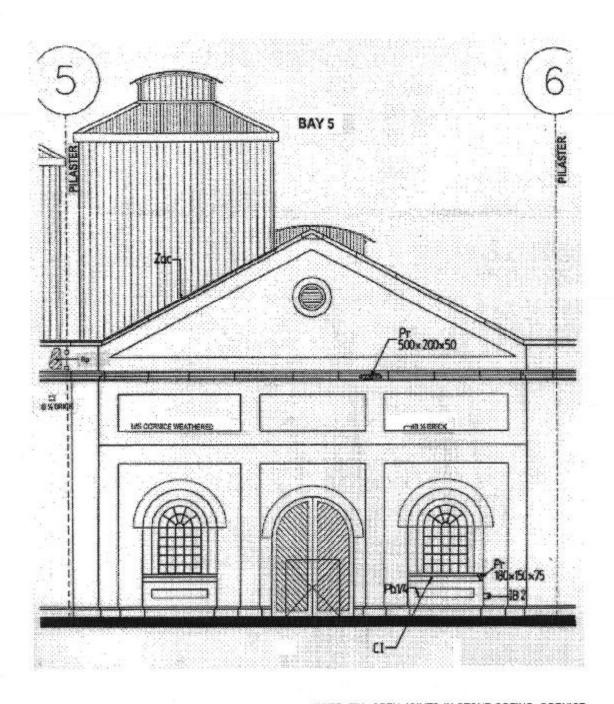
Record # 4	Bay 4/4 north			key S1 - high, S2 - moderate, S3 - low, S4 - in	trusive.
orrespondent (SIGNIFICANCE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	ir NOTES
DESCRIPTION		0	2	MONTH THE PROPERTY OF THE PROP	anni anni anni anni anni
lawer wall continued		45000	KEY III		Ē.
GLAZED INFILL	SI	C3	RI	La company of the contract of	
THRESHOLD	SI	C2	R3	Els horizontal joints.	
TIMBER FRAMED WALL	N/A	l			
SERVICE PIPES	N/A				
STEELWORK	SI .	C3	RI	Rust proof brackets and piping and monitor for corrosion	1 1
2					
PILASTER	SI	C3	RI	Light wash, repoint as required. See also Bay 5/North	L]
STONEWORK				Mar 2004 All and Annual Control of the Control of t	grecomong
coping	SI	C3	RI	Light wash and repoint as required	
comice	51	C3	RI	Light wash and repoint as required	1
plinth	SI	C3	RI	Light wash and repoint as required	
inserts	Nil	1			
BRICKWORK					
parapet	SI	C2	R3	Repoint as indicated. Light wash.	
body	SI	СЗ	RI	Insert brick as shown in line drawing. Light wash and repoint.	
down pipes	N/A	1777	1		
inserts	Nil		L. I	1	1
END PILASTER	N/A	1			
STONEWORKS		-	Same and A		
coping	N/A				1
comice	N/A	1	F 7		1
plinth	N/A	1			1
inserts	Nil				
BRICKWORK					
parapet	N/A	1	1	E CONTRACTOR CONTRACTO	[]
body	N/A				1-1
pipes	N/A				
inserts	Nil		L		L
OTHERI	ŠĪ	C3	RI	Monitor significant bolts and brackets. Rust proof if required.	
OTHER 2		- mineron	1		1
		N 11-1			E
OTHER 3				14.44	J

EVELEIGH LOCOMOTIVE WORKSHÖPS

		Вау	4/4 north		Record # 4
OMMENTS	AC KANDOL ARE SUMMANIO LARGO SANDANIA	HAVE TO TO SHARE THE SHARE	o notation track out of the subsection	#CSUI-HIGGI HIGGI HIGGINA	gandi-Richard n-distininhan
		12			



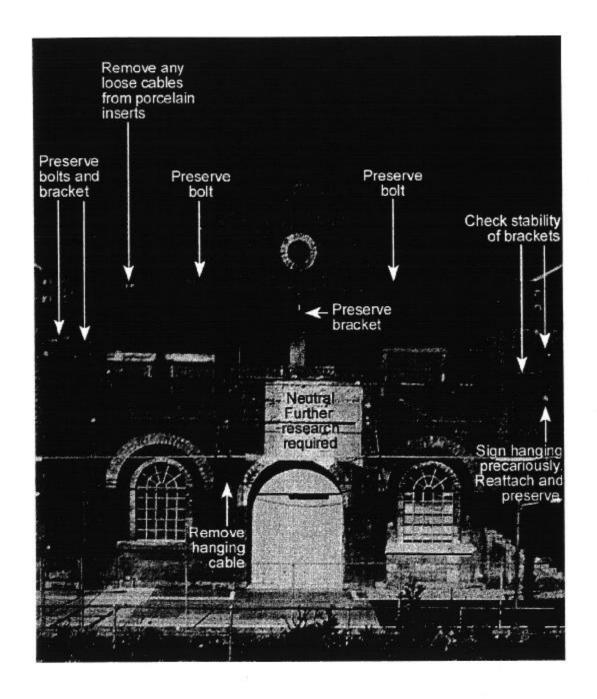
CATION	Bay 5/4a north		RECORD #	5
	⊠ BAY □ ROW □ ANNEXE	NORTH □ SOUTH □ EAST □ WEST		
	URGENT WO	RK HP [HIGH PRIO	RITY] INTRUSIVE INTERPRET	



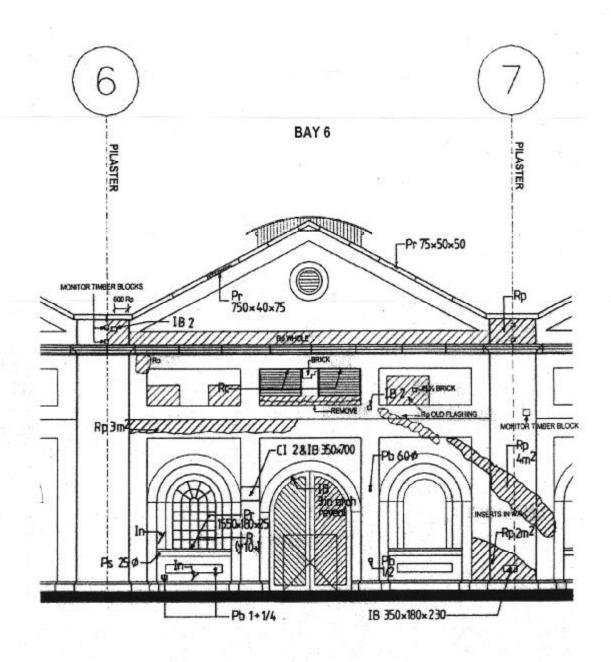
key SI - high, S2 - moderate C1 - bad, C2 - pcor, Ci RI - maintain, R2 - urge	3 - good		•	Bay 5/4a north Record #	5
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIRCATION	RECOMMENDED WORKS	NOTES
			-		***************************************
PEDIMENT/PARAPET	SI	C3	RI		
STONEWORK				minum management and a second management of the second management and second management	
coping	SI	C3	RI	Light wash and repoint as required.	
weathering	S2	C2	R3	New Zincalume capping to replace corroded capping.	
inserts	N/A	l Li	L		
BRICKWORK	(2)	[C3	2202000000		,
rims	SI	to the second second	RI	Light wash and repoint as required. Preserve metal fittings.	
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Monitor significant bolts for corrosion.	
BULLSEYE	SI	CI	R3	Eventually reinstate louvres, funds permitting.	Low
UPPER WALL	SI	C2	R3	Light wash and repoint as required.	
STONEWORK	7400.000			NoTX contracts and American Contracts and the second second	
comice	SI	C2	R3	Patch as indicated. Mortar fill and els joints.	
	in the second	Listenson I	in annound	rattras nucleed Florar Illiant es jons.	
BRICKWORK	SI	C3	RI		
rims	***************************************	- Aurenouseur	Anniconstraint of	Light wash and repoint as required.	
panels	S2	C3	RI	Light wash and repoint as required. Insert brick	(111.11611-00041
inserts	SI	C2	R3	Remove loose cables in porcelain inserts. Do not fill.	
Windows	N/A		L		
Louvres	N/A		[]		
LOWER WALL BRICKWORK					
nim	SI	C3	RI	Light wash and repoint as required.	+ (-)
		[C3	2010011111111		
arches	SI	ATTENDACTOR	RI	<u></u>	
panels	SI	C3	RI		
panel under sill	SI	C2	R3	Patch brick and repoint as indicated in drawing.	
inserts	N/A				
STONEWORK					
window sills	SI	C2	R3	Els horizonal surface. Patch sill as indicated in drawing.	2) -H-H-H-H-12
pinth	SI	СЗ	RI	Light wash and repoint as required.	
corbe	N/A				
inserts	N/A				
WINDOWS	SI	C3	RI]		
Door(s)	SI	C3	RI	Door reinstated in 1995.	

Record # 5	Bay 5/4a north			key S1 - high, S2 - moderate, S3 - low, S4 - in	trusive.
DESCRIPTION	SIGNIHCANCE		RECTIFICATION	CI = bad, C2 - poor, C3 - good. RI = maintain, R2 - urgent work, R3 = repa	NOTES
lower wall continued					
GLAZED INFILL	SI	C3	RI		L
THRESHOLD	SI	C	R3	Els joints.	Ĺ
TIMBER FRAMED WALL	N/A]	[]	[]		L
SERVICE PIPES	N/A				
STEELWORK	SI	C3	R3]	Rust proof and monitor significant pipes and brackets.	
PILASTER	SI	C3	RI	Light wash, repoint as required. See also Bay 6/North	
STONEWORK	,	-	***************************************		, ,
coping	SI	C3	RI	Els horizontal stone joints.	
comice	SI	C3	RI	Light wash and repoint as required. Els horizontal joints.	i L
plinth	SI	C3	RI	Els horizontal joints.	
inserts	Ni] []
BRICKWORK					
parapet	SI	C2	R3	Repoint as indicated.	j []
body	SI	СЗ	R2	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil		11		
END PLASTER	N/A	[]] []
STONEWORKS					
coping	N/A				
comice	N/A				
plinth	N/A				
inserts	Nil] [
BRICKWORK					
parapet	N/A	[] [
body	N/A		-		1 [
pipes	N/A	lamana.) (
inserts	NI	[Language Control		l L
OTHERI	1 1	1			I (
OTHER 2	10000000	· · · · · · · · · · · · · · · · · · ·	Posterior and		1 1
		L			1
OTHER 3	1	l.	L		1

OMMENTS	Bay 5/4a north	Record # 5
	 ***************************************	***************************************



LOCATION	Bay 6/5 north	RECORD #	6
	BAY ROW ANNEXE	NORTH □ SOUTH □ EAST □ WEST	
	 ⊠URGENT WORK	☑ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	



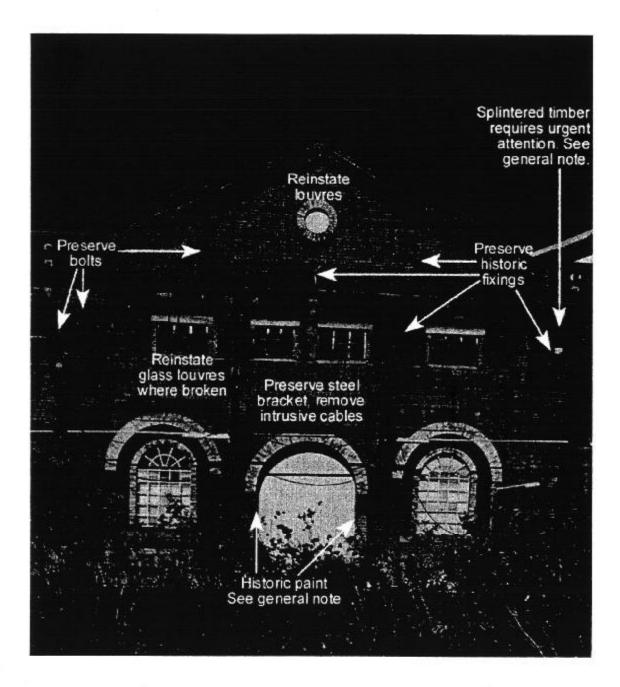
Record	#	6	Bay 6/5 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CO AND SILLS WITH LIME MORTAR & POINT TOP OF WITH ELASTOMETRIC SEALANT AND BACKING RO	JOINT
H RP CO ST	dent arlin e poi orro mall o atch	int ded ins epoxy (stone Brick	ed stone insert sert, remove and epoxy patch	In	

key SI - high, S2 - moderat CI - bad, C2 - poor, C RI - maintain, R2 - urge	3 - good		sive.	Bay 6/5 north Record #	6
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	ŠI	C2	R3		· · · · · · · ·
STONEWORK	-				
coping	SI	C2	R3	Patch with reinforcement as indicated.	
weathering	N/A	4	1 1		
inserts	N/A				
BRICKWORK	COUNTRIES COUNTRIES - NO				
rims	SI	C2	R3	Repoint whole rim. Light wash.	
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A				
Buuseye	SI	C2	R3	Rust proof and monitor for corrosion.	
	Seminary d	-	-		
UPPER WALL	SI	C2	R3		
STONEWORK					
comice	SI	C3	RI		
BRICKWORK				10 THE REPORT OF THE THE REPORT OF THE REPORT OF THE REPORT OF THE REPORT OF THE REPOR	
rims	SI	C3	RI	Repoint as indicated in drawing.	700000000000000000000000000000000000000
panels	SI	CI	R3	Specific repointing required: see drawing. Insert brick.	HP
inserts	N/A	Y			
WINDOWS	SI	a	R3	Apply rust converter to window frame.	
Louvres	SI	C2	R3	Apply rust converter to louvres.	L
LOWER WALL BRICKWORK					
rim	SI	CI	R3	Repoint as indicated.	HP
arches	SI	C3	RI	Repair crack in window arch. Insert bricks in door arch.	HP
panels	SI	C3	RI	Light wash and repoint as required.	- The last
panel under	SI	C3	RI	See drawing for minor repairs. Light wash, repoint as	
şill	N/A		1	occ drawing for minor repairs. Light wast, repoint as	
inserts	IWA		10	P	that ma
STONEWORK					
window sills	SI	C3	R3	Replace sill or patch with reinforcement. See drawing.	.,
plinth	SI	C3	RI	Els horizontal joints.	1 (a. 19)
corbel	N/A			1	
inserts	N/A				
Windows	SI	C3	RI		+ 11
Door(s)	\$1	C3	RI	g the states to the second of the second of	+11 1 1 1
330000000000000000000000000000000000000	7		a Company of the	The state of the s	-

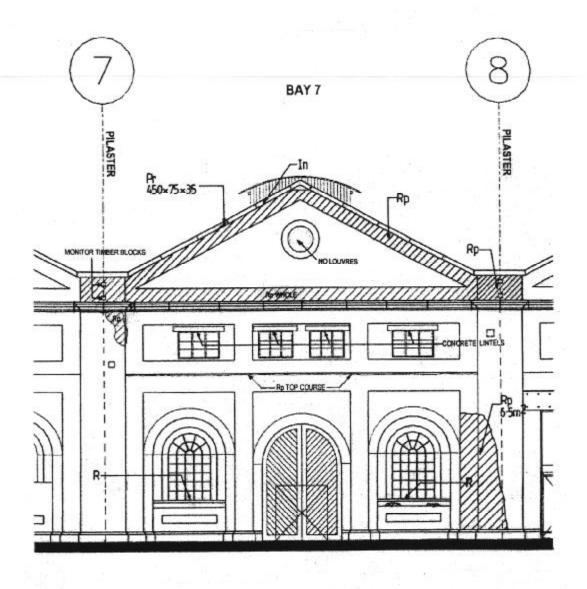
Record # 6	Bay 6/5	north		kcy S1 - high, S2 - moderate, S3 - low, S4 - intr	usive.
DESCRIPTION	SIGNFICANCE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repair RECOMMENDED WORKS	NOTES
THE SHARE OF THE SHARE S	A. T. C.		a .		
lawer wall continued GLAZED INFILL	51	СЗ	RI	EX.	
THRESHOLD	51	C2	R3	Els horizontal joints.	
				CIS FIGURE JUINES.	1
TMBER FRAMED WALL	N/A	L	1		
SERVICE PIPES	N/A	L			
STEELWORK	\$1	C3	RI	Rust proof and monitor significant steel work.	1 1
PLASTER	SI	C3	RI	11	LI
STONEWORK	- 225 - 250 - 25				
coping	SI	C3	RI	Light wash and repoint as required.	
comice	\$1	C3	RI	Light wash and repoint as required.	
plinth	SI	C3	RI	Light wash and repoint as required.	
inserts	Nil			A Secretary and the second sec	
BRICKWORK					
parapet	SI	CI	R3	Repoint whole parapet	
body	51	C2	R3	Repoint where indicated. Light wash.	HP
down pipes	N/A				[
inserts	S3	C2	RI	Monitor for corrosion	L
END PILASTER	N/A			1	
STONEWORKS			-		
coping	NVA	100		The second contract the second	
comice	N/A				[
plinth	NA				1 1
inserts	Nil		-		
BRICKWORK					
parapet	N/A	-	1 67		
body	N/A				T)
pipes	N/A				
inserts	NI	Ĺ	L	J	Lj
OTHERI	SI	ci	R2	Sign on plaster hanging precariously. Reattach immediately.	URGENT
OTHER 2	51	C3	RI	Monitor significant bolts and metal fixings. Rust proof as required.	
OTHER 3]	

Eveleigh Locomotive Workshops

COMMENTS		Bay 6/5 north		Record # 6
an konstruerius, et al anternyome intelligensialeria illustrialeriariari de la comunicación de la comunicación	ar Drodovania i radruk esti arte. Librali esta esti su et test	Huwani optislaren (KW) wiet	error South County I South of the County	denting alternative and according
		*		
	•			



OCATION	Bay 7/6 north	RECORD #	# 7
	⊠ BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. Bay 7/6 north Record # 7 Inject crack with epoxy mixture R replace stone Apply rust-converter to comoded ferrous metal insert ☐ I Indent stone ☐ H Hairline jointed stone insert Indent stone Time To match existing ☐ Time To match existing ☐ Zac New Zincalume capping to replace corroded capping Rp Re pointed stone lists: Rp Re pointed stone lists: Cl Corroded insert, remove and epoxy patch Ps Small epoxy patch Pr Patch stone with reinforcement □ Rv Remove vegetation and rake out joints 20mm deep □ Ps Small epoxy patch □ MS Make safe by removing loose stone □ Pr Patch stone with reinforcement □ Pb Patch brickwork □ IB Insert Brick □ Rb Reconstruction of brick surface of w □ Bs Mortar fill joint, elastometric sealant and backing rod to top □ Ot Other, see "Notes" Reconstruction of brick surface of wall

key 51 - high, S2 - moderate C1 - bad, C2 - poor, Ci R1 - maintain, R2 - urge	3 - good		we.	Bay 7/6 north Record #	7
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint brickwork and reinstate louvres. Light wash.	
STONEWORK					
coping	SI	C2	R3	Patch coping as indicated in drawing.	
weathering	N/A		1	Harmonian or commencer was serviced and the service of the service	4
inserts	N/A				
BRICKWORK	V2	P	200	Extra records a secondario e a secondario mista constituire.	1044 500 00
rims	SI	CI	R3	Repoint entire rim. Light wash as required.	HP
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A		-	A CONTRACTOR OF THE PARTY OF TH	1
BULLSEYE	SI	CI	R3	Reinstate louvres, funds permitting.	
UPPER WALL					
STONEWORK					
comice	SI	C2	R3	Patch stone with reinforcement as indicated.	-
BRICKWORK	CI.	C3	RI	i (maximization of the polytical control of the	
rims	SI SI	C3	RI	Light wash and repoint as required.	-
panels	21	C3	KI	Light wash and repoint as required.	341111-111
inserts	N/A	1			
WINDOWS	SI	C3	RI		
LOUVRES	SI	CI	R3	Replace broken and missing glass louvres.	L
LOWER WALL BRICKWORK					
rim	SI	C2	R3	Repoint top course. Generally repoint & light wash as	1
arches	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C3	RI		
sill inserts	N/A	<u> </u>	KI	Light wash and repoint as required.	
STONEWORK					
window sills	51	CI	R3	Replace sills.	
plinth	SI	C3	RI	Els horizontal joints.	
corbel	N/A				
inserts	N/A				
Windows	SI	C3	RI		14.
Door(s)	SI	C3	RI	Door reinstated in 1995.	Done

Bay 7/6	north		key \$1 - high, \$2 - moderate, \$3 - low, \$4 - int	rusive.	
SONDITION		RECTIFICATION		ir NOTES	
WARRY CANADA	Carrellative and all 1 (1)	CONTRACTOR SANCTOR		NAME OF THE PERSON	
SI	C3	RI		1	
SI	C3	RI	Els joints		
N/A		1	L	L	
N/A					
51	CZ	RI	Monitor significant metal fittings. Rust proof if required.	1	
	1	L			
200011				4	
SI	C3	RI	Light wash and repoint as required.	1	
SI	C3	RI	Light wash and repoint as required.		
SI	C3	RI	Light wash and repoint as required.		
Nil	T	[]			
SI	C2	R3	Repoint entire parapet		
SI	C2	R3	Repoint as indicated in line drawing	L	
N/A				F	
Nil			Living a communication of the control of the contro	1	
N/A	[
September 1		· · · · · · · · · · · · · · · · · · ·			
N/A	1 -				
N/A	1	(*******	+ - 14 + 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	1	
N/A			B a see wax respectates too	1	
Nii				L	
N/A		[11	1	
N/A					
				1	
N/A		The second second second			
N/A Nii		1	to construct the statement of the statem		
	CI	RZ	Splintered timber bracket requires urgent attention. See photo.	URGENT	
Ni	CI	R2	Splintered timber bracket requires urgent attention. See photo.	URGENT	
	SI S	SI C3 N/A N/A SI C3 SI C3 SI C3 SI C3 SI C3 NII SI C2 NII NII NIA NIA NIA NIA NIA NI	SI	SI C3 RI Els joints N/A SI C3 RI Light wash and repoint as required. SI C3 RI Light wash and repoint as required. SI C3 RI Light wash and repoint as required. SI C3 RI Light wash and repoint as required. SI C3 RI Light wash and repoint as required. NI Light wash and repoint as required.	

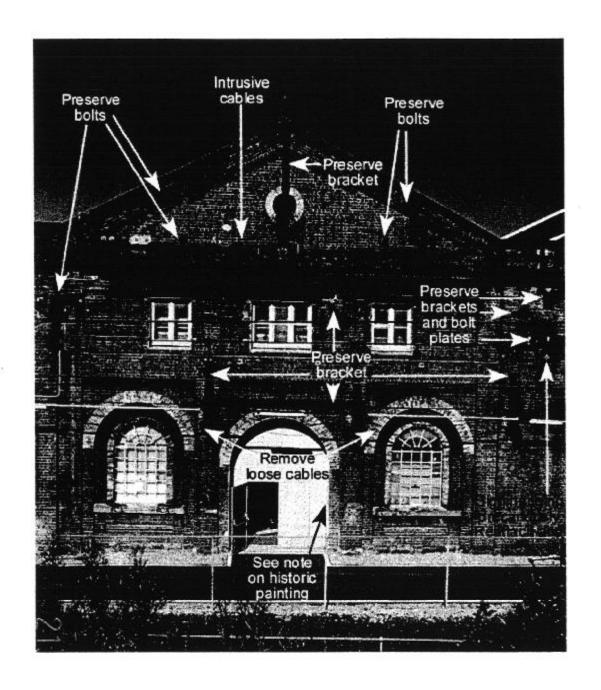
EVELEIGH LOCOMOTIVE WORKSHOPS

OMMENTS	Bay 7/6 north	Record # 7
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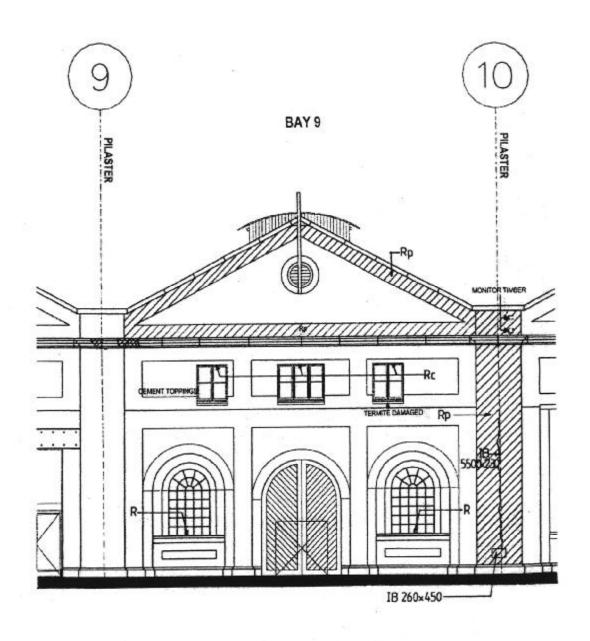
Record # 8	Bay 8/7	north		key S1 - high, S2 - moderate, S3 - low, S4 - intr	usive.
DESCRIPTION	SIGNIFICANCE CONDITION RECTIFICATION		RECTIFICATION	C1 - bad, C2 - poor, C3 - good, R1 - maintain, R2 - urgent work, R3 - repair RECOMMENDED WORKS	NOTES
lower wall continued	ALCOHOLOGICAL TO	A CONTRACTOR OF THE PARTY OF TH	ARREST PRODUCTS SOFT	File descriptions to the control of	HUNDEL VIOLETT - W
GLAZED INFIL	S2	C3	RI		
THRESHOLD	SI	C2	R3	Els joints.	
TIMBER FRAMED WALL	SI	C3	RI	Recently painted.	1
SERVICE PIPES	N/A				
STEELWORK	SI	СЗ	RI	Monitor steel traverser beam. Rust proof if required.	Interpret
PILASTER	1			L	
STONEWORK		100.0			
coping	SI	СЗ	RI		1
comice	SI	Q	R3	Repoint as indicated. Els horizontal joints.	
plinth	SI	C3	RI	Light wash and repoint as required.	
inserts	53	CI	R3	Remove corroded insert and patch stone (shown on	
BRICKWORK					
parapet	51	CI	R3	Repoint entire parapet	1
body	SI	C2	R3	Insert brick and repoint body as indicated. Light wash.	11
down pipes	N/A	F	1		11
inserts	SI	C3	RI	Monitor timber inserts.	lie ad
END PILASTER	N/A				
STONEWORKS	0.000				
coping	N/A	1	1		1
comice	N/A				
plinth	N/A		1		1
inserts	Nil				
BRICKWORK					
parapet	N/A	1	F		
body	N/A		100	The same of the sa	
pipes	N/A				
inserts	Nil	l	1		-
OTHERI	SI	CI	R2	Cement weathering to brick panel over beam, see below	URGENT
OTHER 2		1	1		li
OTHER 3					

EVELEIGH LOCOMOTIVE WORKSHOPS FABRIC INVENTORY

COMMENTS ACAMBANIS CONTROL CO	Bay 8/7 north	Record # 8
This bay originally had a traverser in it and the la traverser moved. In the similar Carriage Workshop beam is severely rusted. This is not evident here by the other building is believed to be because of the panel above. This allowed water to enter the wall a this weathering be repaired throughout this building beam.	is Building, on the opposite side ut the top of the beam should be deterioration of the cement within the causing in lay on top of the beam causing	of the railway line, the top of the e monitored. The deterioration in eathering at the base of the brick g it to rust. It is recommended that



LOCATION	Bay 9/8 north	REC	CORD #	9
	BAY ROW ANNEXE	NORTH □ SOUTH □ EAST □ WEST		
	☐ URGENT WORK			

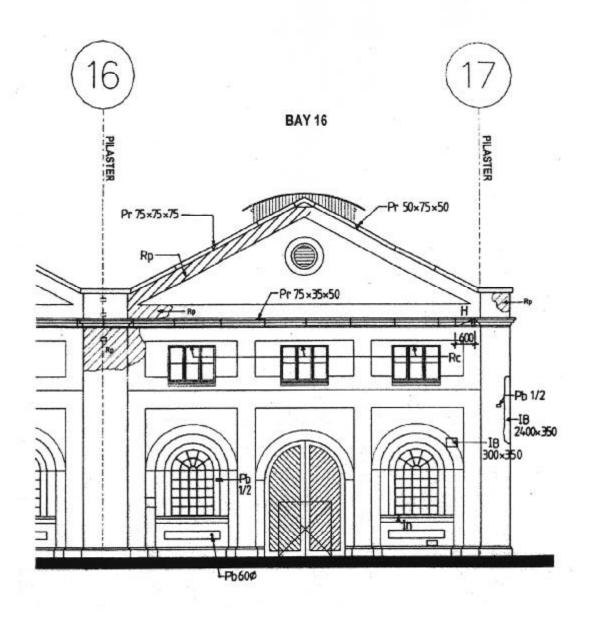


Record	1# 9	Bay 9/8 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
H H	ndent st lairline Larrodo mall ep Patch st nsert B	tone jointed stone insert t ed insert, remove and epoxy patch poxy patch tone with reinforcement	□ In Inject crack with epoxy mixture □ Rc Apply rust-converter to comoded femous metal insert □ Time To match existing □ Zac. New Zincalume capping to replace comoded capping □ Rv Remove vegetation and rake out joints 20mm deep □ MS Make safe by removing loose stone □ Pb Patch brickwork □ Rb Reconstruction of brick surface of wall □ Ot Other, see "Notes"

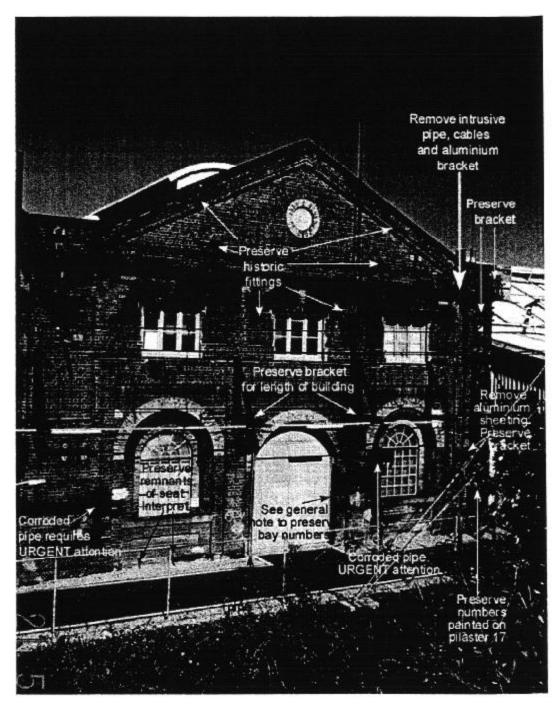
COMMENTS	Bay 16/15 north	Record # 16
The corroded pipes are significant as they are par are severely corroded. They should be assessed in		ay workshop. However they
See photograph for further recommendations for timber seating along wall. Reconstruction not requ	preservation and interpretation, particularly but interpretation is recommended	ularly paint remnants and the
If the replacement or indenting of coping or co should be monitored and made safe at least every		
No. of		

Record # 16	Bay 16/15 north			key 51 - high, S2 - moderate, S3 - low, S4 - in	trusive.
DESCRIPTION	SIGNIFICANCE		RECTIHCATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	NOTES
lower wall continued	- Harris Carlo Marie La	al Au estillated in	BALL SHOWING THE DR	AND THE REAL PROPERTY OF THE P	
GLAZED INFILL	SI	C3	RI i	1	1 1
THRESHOLD	SI	C2	R3	Mortar fill and els top of horizontal stone joint	
TIMBER FRAMED	N/A	L	<u>i</u>		1
SERVICE PIPES	N/A	1			
STEELWOOK	SI	C2	R3	Apply rust converter to steel brackets for length of building.	
PILASTER	SI	C2	R3	General repair required. See drawing.	1
STONEWORK	14111				
coping	SI	C3	RI		
comice	SI	C3	RI	Mortar fill and els top of horizontal stone joint	[
plinth	\$1	C2	R3	Plinth severely exfoliating, immediate attention required.	
inserts	Nil		11		
Brickwork					
parapet	SI	C2	R3	Repoint as indicated.	
body	SI	C2	R3	Patch & insert brick indicated. Light wash, repoint as required.	L
down pipes	N/A	pi	-		
inserts	Nil	1			L sol
END PILASTER	N/A		[]	1	
STONEWORKS	***************************************				
coping	N/A			property and the second second second	
comice	N/A				1
plinth	54	ä	1		
inserts	Nil	Ĺ		Lancard Control of the Control of th	L
Вякокочовк					
parapet	N/A	1	1 1	1	
body	N/A	L			
pipes	N/A				
inserts	Nil	į.,_	1		L
OTHERI	SI	ci	R2	Comoded pipes require urgent attention.	URGENT
OTHER 2	54	C3	R3	Remove intrusive pipes, cables & brackets.	Intrusive
OTHER 3	54	C2	R3	Remove metal sheet from bracket on plaster. Preserve bracket	

key SI - high. S2 - moderate CI - bad, C2 - poor, C3 RI - maintain, R2 - urge	3 - good		ive.	Bay 16/15 north Record #	16
SIGNFICANCE SIGNFICANCE NOITHINDS		RECTIFICATION	RECOMMENDED WORKS N	NOTES	
BUILD ON BUILDING SERVICE STATE		ecurio zono e	all the second	THE RESIDENCE AND THE POSSESSED AND ADDRESSED AND ADDRESSED AND ADDRESSED ADDRESSED AND ADDRESSED AND ADDRESSED ADDR	
PEDIMENT/PARAPET	SI	CZ	R3		
\$TONEWORK					
coping	SI	C2	R3	Patch with reinforcement as indicated in drawing.	
weathering	N/A		j l		
inserts	N/A		1		
BRICKWORK			-		
rims	SI	C2	R3	Repoint rim as indicated.	
panels	SI	C2	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Preserve historic metal fixings as indicated.	
BULLSEYE	SI	C2	R3	Reinstate louvres, funds permitting.	
BOLLSETE	31	CZ	10	remstate louvies, unds permitting.	
UPPER WALL	SI	C2	R3		
	200000	tian militari managa	d Seasons		
STONEWORK		63	0.2	Repair cornice where indicated in drawing.	
comice	SI	C2	R3	repair cornice where indicated in drawing.	
BRICKWORK	2.		y 22 5	and the second s	
nims	51	C2	R3	Repoint where indicated. Light wash.	-
panels	51	C3	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Preserve all porcelain inserts.	
WINDOWS	SI	α	R3	Apply rust converter to window heads.	
Louvres	N/A] [
LOWER WALL					
BAICKWORK					
rim	SI	C3	RI	Light wash and repoint as required.	
arches	SI	C2	R3	Insert brick, patch as noted in drawing. Light wash as	
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C2	R3	Patch brick. Light wash and repoint as required.	
sill inserts	N/A		1		
STONEWORK					
and the source source of the source					
window sills	SI	C2	R3	Mortar fill & els stone joint. Repair crack as noted in drawing.	
plinth	SI	C3	RI		
corbel	N/A	1		The state of the s	
inserts	N/A				
Windows	SI	C3	RI	A CONTRACTOR OF THE PARTY OF TH	
				and the second second second second	
Door(s)	SI	C3	RI		- 141



Record #	16	Bay 16/15 north	ANI	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE O SILLS WITH LIME MORTAR & POINT TOP OF JOINT TH ELASTOMETRIC SEALANT AND BACKING ROD.
☐ I Inden ☐ H Hairfir ☐ Rp Re po ☐ ☐ Corro ☐ Ps Small ☐ Pr Patol ☐ IB Inser	oint oded ins epoxy p o stone v t Brick	ed stone insert ert, remove and epoxy patch	Rc Tme	Inject crack with epoxy mixture Apply rust-converter to comoded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"



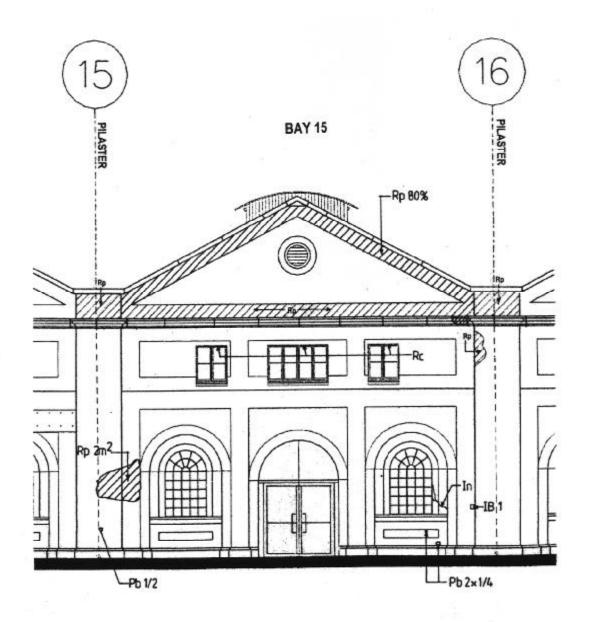
LOCATION	Bay 16/15 north			RECORD #	16
	⊠ BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST			
	☐ URGENT WORK	HP [HIGH PRIORITY]	□INTERPRE	 ET	

EVELEIGH LOCOMOTIVE WORKSHOPS

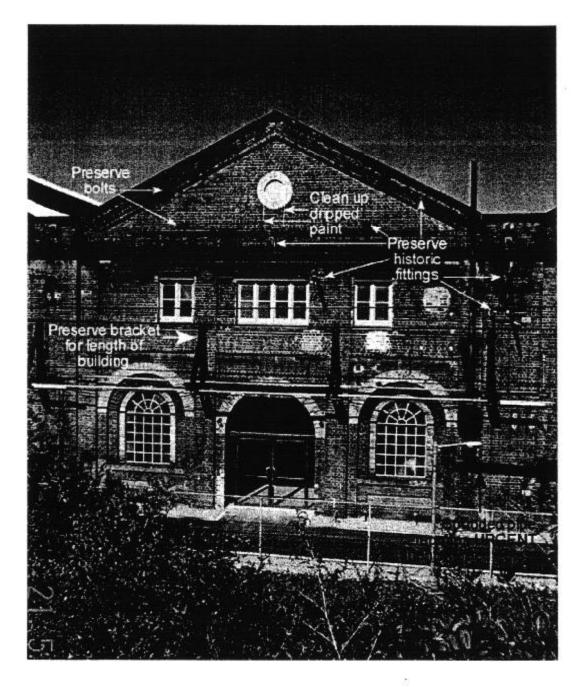
COMMENTS	Bay 15/14 north	Record # 15
The corroded pipes are significant as ti are severely corroded. They should be	hey are part of the operation of the place as a assessed in detail and preferably preserved.	railway workshop. However the

Record # 15	Bay 15/1	4 north		key S1 - high, S2 - moderate, S3 - low, S4 - ir	ntrusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	NOTES
lower wall continued	Carles and Chinese La	T-CALLESO HAIN	and the same of	Name of the State County and the state of the State of the State of State o	
GLAZED INFILL	SI	C2	RI	Laboration and the second second	
THRESHOLD	SI	C2	R3	Mortar fill and els top of horizontal stone joint	
TIMBER FRAMED WALL	N/A	ļ	ii		
SERVICE PIPES	N/A	L	1		1
STEELWORK	SI	C3	RI	Apply rust converter to steel brackets for length of building.	14 1/
PILASTER	SI	C3	RI		
STONEWORK				THE RESERVE OF THE PARTY OF THE	
coping	SI	C3	RI	Light wash and repoint as required.	
comice	SI	C3	RI		
plinth	SI	C3	RI		
inserts	Nil	1	1	* 100 (1 * * 4 (m) 40 (4 (m) 5 (m) 5 (m) 6	
BRICKWORK					
parapet	SI	CI	R3	Repoint entire parapet	
body	SI	C2	R3	Repoint as indicated. Light wash.	
down pipes	NA	F			-
inserts	S2 ;	СЗ	RI	Monitor timber blocks. Preserve historic fittings. See photo.	
END PILASTER	N/A				
STONEWORKS					
coping	NA				. L.
comice	N/A		[
plinth	N/A			E	1
inserts	Nil				
BRICKWORK					
parapet	N/A	-		1	
body	N/A			1	
pipes	N/A	[J	
inserts	Nil		·	II	. L
OTHERI	SI	CI	RZ	Corroded pipe requires urgent attention.	URGENT
OTHER 2		1	1	I	1
OTHER 3				1	. []

key ST - high, S2 - moderati CT - bad, C2 - poor, C	3 - good		we.	Bay 15/14 north Record #	15
R1 - maintain. R2 - urge	nt work, R	3 - repair			
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	recommended works	NOTES
PEDIMENT/PARAPET	SI	a	R3	Major repointing of rim. Fill & els joints. Light wash	HP
STONEWORK					
coping	SI	C3	RI		
weathering	N/A			L	1
inserts	N/A	1			
BRICKWORK					
rims	SI	CI	R3	Repoint entire rim. See drawing.	HP
panels	51	C3	RI	Light wash and repoint as required.	
inserts	N/A	7	1		
BULISEYE	SI	CI	R3	Clean up dripped paint. Reinstate louvres.	
		A 100	- Contracted		
JPPER WALL			La eren and		-
STONEWORK					
comice	SI	C2	R3	Patch gap with reinforcement. Fill & els joint.	
BRICKWORK					
rims	SI	C3	RI	Light wash and repoint as required.	
panels	51	C3	RI	Light wash and repoint as required.	
inserts	N/A		lle s		
	-		02		
WINDOWS	SI	CZ	R3	Apply rust converter to window heads as indicated.	-
LOUVRES	N/A	Ť.	-		in the same
LOWER WALL BRICKWORK					
rim	51	C2	R3	Repoint as indicated. Light wash.	
arches	51	C2	R3	Repair large crack in arch. Inject with epoxy mixture	HP
panels	SI		RI	Light wash and repoint as required.	T.
panel under	SI	C2	R3	Repair crack. Patch brick. Light wash and repoint as required.	12.
silt				inspect Court i acci in the Light Hair did i Chair, as i Court Co.	
inserts	N/A				
STONEWORK					
window sills	ŠI	C2	R3	Mortar fill and els top of horizontal stone joint	1
plinth	SI	C3	RI		
corbel	N/A	- 10	-		-
inserts	N/A			<u> </u>	
WINDOWS	SI	C3	RI	The transfer of the second sec	
Door(s)	53	C3	RI	New glazed door added 1995.	



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT Bay 15/14 north Record # 15 WITH ELASTOMETRIC SEALANT AND BACKING ROD. □ In Inject crack with epoxy mixture
 □ Rc Apply rust-converter to comoded ferrous metal insert
 □ Trme To match existing
 □ Zac New Zincalume capping to replace corroded capping
 □ Rv Remove vegetation and rake out joints 20mm deep R replace stone ☐ H Hairline jointed stone insert ☒ Rp Re point □ CI Corroded insert, remove and epoxy patch
 □ Ps Small epoxy patch
 □ Pr Patch stone with reinforcement
 □ IB Insert Brick
 □ Els Mortar fill joint, elastometric sealant and backing rod to top Rv Remove vegetation and rake out joints 20mm deep
MS Make safe by removing loose stone Pb Patch brickwork
Reconstruction of brick surface of wall Ot Other, see "Notes"

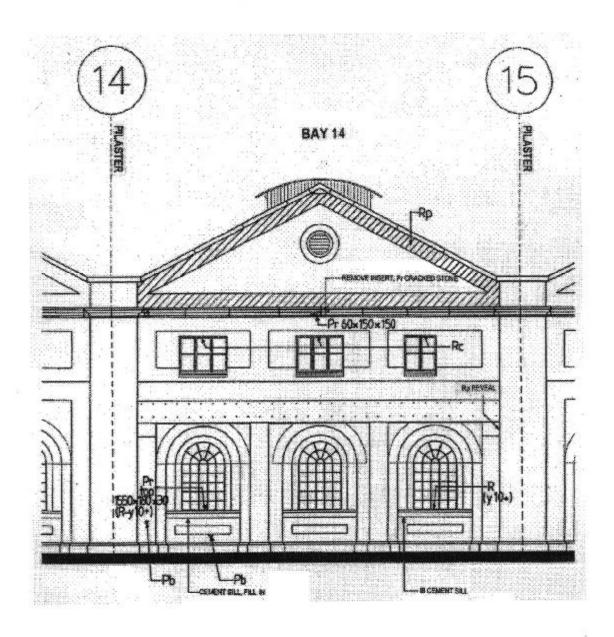


LOCATION	Bay 15/14 north			()	RECORD #	15
	⊠ BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST				
	☑ URGENT WORK	☑ HP [HIGH PRIORITY]	☐ INTRUSIVE	INTERPRE	T	

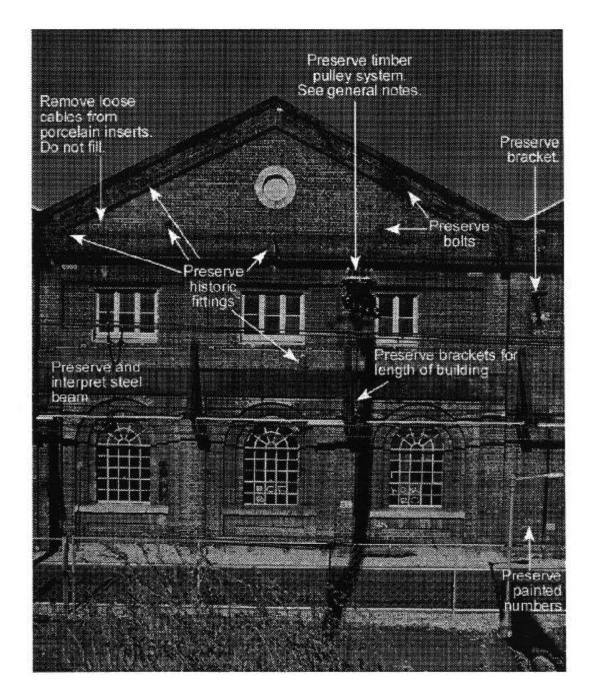
COMMENTS	Bay 14/13 north	Record # 14
This bay originally had a traverser in it as traverser moved. In the similar Carriage V beam is severely rusted. This is not eviden the other building is believed to be becaupanel above. This allowed water to enter that this weathering be repaired throughout the beam.	Vorkshops Building, on the opposite s at here but the top of the beam shoul ase of the deterioration of the cemen the wall an lay on top of the beam	ide of the railway line, the top of the d be monitored. The deterioration in it weathering at the base of the brick causing it to rust. It is recommended
The sills are noted on the drawing to be n	epaired but will require replacement i	n the future (10 years plus).
	(a)	

Record # 14	Bay 4/1	3 north		key SI - high, S2 - moderate, S3 - low, S4 - int CI - bad, C2 - poor, C3 - good.	ruswe.	
DESCRIPTION CONDITION		CONDITION	RI - maintain, R2 - urgent work, R3 - n		epair NOTES	
lower wall continued	Maria Ma	**************				
GLAZED INFILL	SI	C3	RI		L	
THRESHOLD	N/A					
TIMBER FRAMED	N/A	ſ				
WALL	Salaranoscop.	Parameter C			r	
SERVICE PIPES	N/A	·			Salar many	
STELWORK	SI	C2	R2	Rust converter to beam & cement weathering over. See	Interpret	
PILASTER	SI	CZ	R3	Repoint and Els as indicated in drawing.		
STONEWORK					,	
coping	SI	Q	R3	Mortar fill and els top of joints.	İ	
comice	SI	α	R3	Mortar fill and els top of joints.		
plinth	SI	C3	RI]		(
inserts	Nil	<u></u>	11		Ĺ	
BRICKWORK						
parapet	SI	CI	R3	Repoint entire parapet. See drawing for Bay 15 North.	L	
body	SI]	C2	R3	Repoint and patch brick as indicated in Bay 15 North		
down pipes	N/A	·	$\overline{}$			
inserts	52	G	RI	Monitor timber block inserts		
END PILASTER	N/A				[
STONEWORKS	A. C.	Autoroson	,440,000,000			
coping	N/A	1	1		Lammer	
comice	N/A	ļ			L	
plinth	N/A	haman				
inserts	Nil	L			L	
BRICKWORK						
parapet	N/A	[] [
body	N/A		1		I [
pipes	N/A	("		[Ĭ L	
inserts	NI		-		I [
OTHER	Si	a	RI	Preserve the numbers painted on the lower panel, near pilaster.	Interpret	
OTHER 2	SI	[C2	R3	Apply rust converter to steel brackets for length of building) (
			21-23 10 2 3 3 3 3 3			

key SI - high, S2 - moderate CI - bad, C2 - poor, C: RI - maintain, R2 - urge	3 - good		N.C.	Bay 14/13 north Record #	14
DESCRIPTION	SGNRCANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Major repointing of rim. Light wash.	
STONEWORK	SI	C3	RI I	Miles and an internal land	
coping	N/A	<u> </u>	NI	Light wash and repoint as required.	lanname!
6000000	parameters.	ļ			
inserts	N/A	L		Lancon and the second s	
Brickwork rims	SI	CI	R3	Repoint entire rim.	HP
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	SI	C2	R3	Remove cables from porcelain inserts and preserve. Do not	
UM-9-05096375	in and	Name and the same and	- ionemmont		
BULLSEYE	SI	C2	R3	Reinstate louvres	
UPPER WALL	SI	C2	RI		
STONEWORK					
comice	SI	C2	R3	Patch gaps with reinforcement. Remove insert where	
Bruckwork	Announced	Accommond:	Ti Streetmand	Turanin P terminary management of the contract	ttennammer/
rims	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
\$2000000	300000000000000000000000000000000000000	C3	RI	Preserve porcelain inserts.	
inserts	SI	A common of	ionin marak	Note that the second se	
WINDOWS	SI	C2	R3	Apply rust converter to window heads as indicated.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK	203,0001-10-05	a garaga a sa	consultations.		and the second
rim	SI	[C3	RI	Patch brick as indicated. Light wash and repoint as required.	
arches panels	SI N/A	G	RI	Light wash and repoint as required.	
panel under	SI	C3	RI	Patch brick where indicated.	grand of the
sill inserts	N/A				
STONEWORK					
V. 6.3 (0.00) VA	e			See drawing, Patch, replace, fill as indicated. Fill & els joints	Jun-10-1-
window sills	SI	CI	R3	See drawing, Patch, replace, Illi as indicated. Fill & es joints	
plinth	SI	C3	RI		
corbel	N/A	ļ		F.,	
inserts	N/A		Statistics of		1
WINDOWS	51	G	RI		+44111111111111111111111111111111111111
Door(s)	N/A				



Record # 14	Bay 14/13 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epoxy p Pr Patch stone II IB Insert Brick	ert, remove and epoxy patch	In Inject crack with epoxy mixture Rc Apply rust-converter to corroded ferrous metal insert Time To match existing Zac New Zincalume capping to replace corroded capping Rv Remove vegetation and rake out joints 20mm deep MS Make safe by removing loose stone Pb Patch brickwork Reconstruction of brick surface of wall Ot Other, see "Notes"

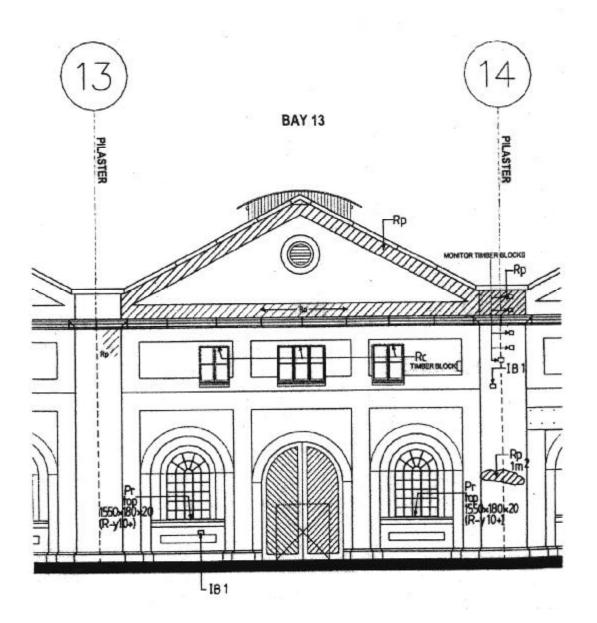


LOCATION	Bay 14/13 north			RE	ECORD #	14
	BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST				
	☐ URGENT WORK	HP [HIGH PRIORITY]	INTRUSIVE			

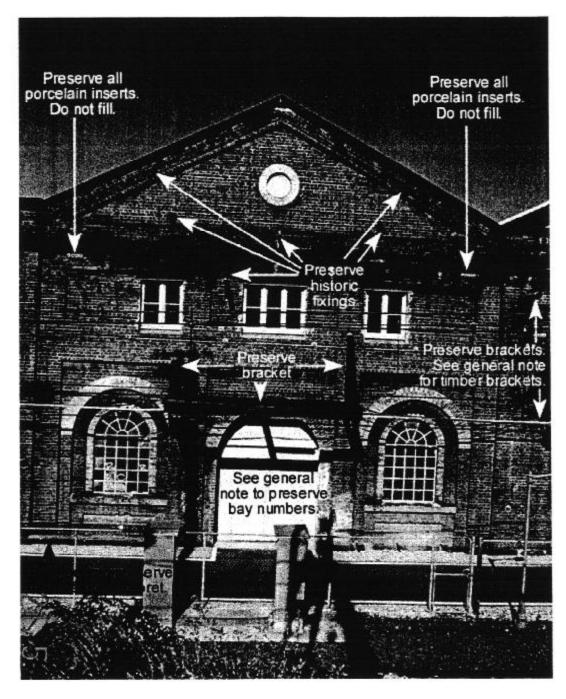
COMMENTS	Bay 13/12 north	Record # 13
Remnant seating in good condition on the	is bay. Consider historical interpretation.	LE MONTH, EUR FAIL L'ASILLANDES NE L'ALTERNATION PRINTERNAMENT
Preserve remnant paint of bay numbers in	n consultation with a specialist. Consider histo	rical interpretation.
The sills are noted on the drawing to be	repaired but will require replacement in the fu	sture (10 years plus).
	an and a second	

Record # 13	Bay 3/	12 north		key S1 - high, S2 - moderate, S3 - low, S4 - inth C1 - bad, C2 - poor, C3 - good.	isve.
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	RI - maintain, R2 - urgent work. R3 - repair	NOTES
lower wall continued	and the second second	NEW COLUMN STREET		dan etilika juda harapata etilika kala da	
GLAZED INFILL	SI	C3	RI	III.	
THRESHOLD	SI	CZ	R3	Mortar fill and els joint.	
TIMBER FRAMED WALL	N/A	L	1		
SERVICE PIPES	N/A		1		
STEELWORK	SI	C3	RI	Monitor metal fixings. Rust proof as required.	
PILASTER	SI	C3	RI		
STONEWORK				The same of the sa	10 II II
coping	SI	C3	RI		
comice	SI	C2	R3	Repair crack with epoxy injection.	
plinth	SI	C3	RI		
inserts	Nil		1 [
BRICKWORK					para mana m. 4
parapet	SI	CI	R3	Repoint entire parapet.	
body	SI	C2	R3	Insert bricks and repoint as indicated. Light wash.	HP
down pipes	N/A	-	1 1		
inserts	52	C3	RI	Monitor timber block inserts.	1
END PILASTER	N/A		- 1		
STONEWORKS	S. C. C.			Ap alice extra and a second and	
coping	N/A	. [1	The second second second second	1
comice	N/A	-			II
plinth	N/A		1	E.I.	1
inserts	Nil				
BRICKWORK					
parapet	N/A		- 1	1	
body	N/A		1		1 1
pipes	N/A				
inserts	Nil				l !
OTHERI	ŠI	Ċi	Ri	Monitor timber seating for further deterioration.	Interpret
OTHER 2			. 1	H	Š.,
OTHER 3			_	1	C.

key ST - high, S2 - moderat: CT - bad, C2 - poor, C RT - maintain, R2 - urge	3 - good		е.	Bay 13/12 north Record #	13
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	CI	R3	PARTIES	
STONEWORK					
coping	SI	C3	RI		
weathering	N/A				
inserts	N/A				
BRICKWOPK					272
rims	SI	CI	R3	Repoint entire rim.	HP
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	SI	CI	R3	Reinstate louvres.	0
JPPER WALL	SI	C3	RI	Light wash and repoint as required.	
STONEWORK					
comice	SI	C3	RI		-
BRICKWORK					
rims	SI	C3	RI	Light wash and repoint as required.	1
panels	SI	C3	RI	Light wash and repoint as required.	C
inserts	51	a	RI	Preserve porcelain inserts. Do not fill. Monitor timber block.	
Windows	SI	C2	R3	Apply rust converter to window heads	
LOUVRES	N/A				1
LOWER WALL					
BRICKWORK	SI	C3	RI	Light wash and repoint as required.	
arches	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	51	СЗ	RI	Insert bricks where indicated.	
sill inserts	N/A		N	Insert of CAS Wile C Holdada	
ii old ta	TAN				
STONEWORK					
window sills	SI	CI	R3	Patch stone with reinforcement. Mortar fill and els joint.	
plinth	SI	C2	R3	Patch large gap in plinth under window. Mortar fill & els	
corbel	N/A	- 1			
inserts	N/A				
WINDOWS	SI	C3	RI		
Dook(s)	SI	C3	RI	Timber gate reinstated in 1995.	done
	96.5	No. of	1.4.5	The state of the s	1 - 100 1 1 1 1 1 1 1 1 1



Record # 13	Bay 13/12 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epo:	ne nted stone insert insert, remove and epoxy patch xy patch ne with reinforcement	In

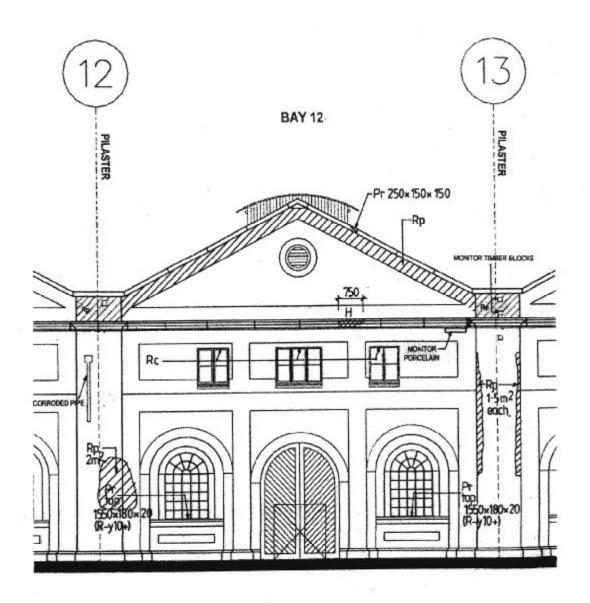


LOCATION	Bay 13/12 north	RECORD #	13
	⊠ BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	

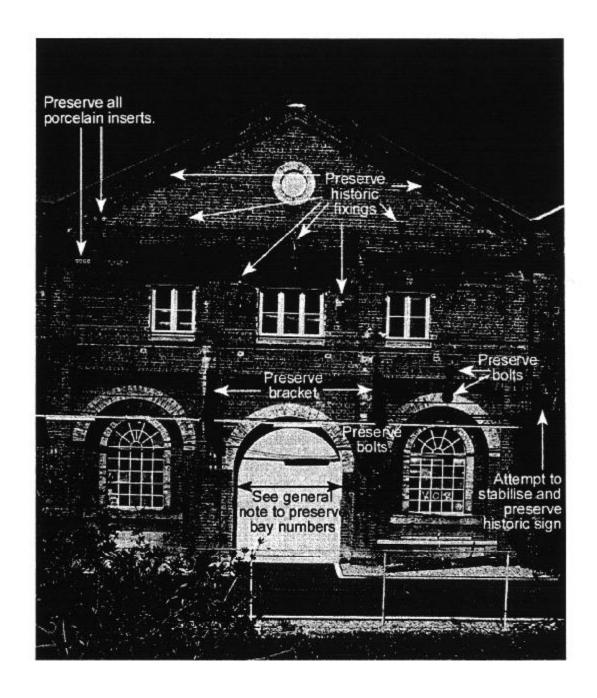
OMMENTS	Bay 12/11	north	Record # 12
he sills are noted on the drawing to be	repaired but will require replace	ment in the future (I	0 years plus).

Record # 12	Bay 12/1	I north		key S1 - high, S2 - moderate, S3 - lovx, S4 - in	S1 - high, S2 - moderate, S3 - low, S4 - intrusive.	
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repai		
ower wall continued	OWNERS	MICHEL COMMON	- AND THE PERSON NAMED IN	antico e sua colonida amona terrando de la composição do como como como como como como como	A CONTRACTOR OF THE PARTY OF TH	
GLAZED INFILL	SI	C2	R3	Remove graffiti	L	
THRESHOLD	SI	C2	R3	Mortar fill and els joint		
TIMBER FRAMED	N/A	1	1		L	
WALL SERVICE PIPES	N/A					
STEELWORK	SI	C3	RI	Monitor steel brackets for comosion. Rust proof if required.	Interpret	
PILASTER		1	1	Î I		
STONEWORK		***************************************	1 50			
coping	SI	C3	RI	Mortar fill and els joint.		
comice	51	C3	RI			
_ 1;_ st_	SI	C2	R3	Plinth exfoliating, Mortar fill and els joint. Desalinate?		
plinth inserts	SI	C3	RI	Monitor timber block inserts for termites and corrosion		
BRICKWORK						
parapet	SI	C2	R3	Repoint entire parapet		
body	SI	C2	R3	Repoint as indicated on drawing. Light wash.	HP	
down pipes	N/A		-		-	
inserts	Nil	Ĺ.	1 1		L	
END PILASTER	N/A	-				
STONEWORKS	16.44	-				
coping	N/A	1				
comice	N/A	-			1	
plinth	N/A		1	W	1	
inserts	Nil			1(
BRICKWORK						
parapet	N/A		- 1			
body	N/A	-	- 1-			
pipes	NA		=			
	Nil			11	8	
inserts	INII	1				
OTHER)	SI	CI	R3	Attempt to stabilise and preserve historic sign on plaster.		
OTHER 2	St	C2	RI	Monitor historic fittings for rust and stability.		
OTHER 3		-				

key 51 - high, 52 - moderati C1 - bad, C2 - poor, C. R1 - maintain, R2 - urge	3 - good		ive.	Bay 12/11 north Record	# 12
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	CZ	R3	Major repointing required. Light wash.	
STONEWORK			-,	Sample of the second of the se	
caping	SI	C3	RI	Light wash and repoint as required.	
weathering	N/A	l was	1	B femine and a second	11
inserts	N/A		1		
BRICKWORK	Calculation of the Control				
rims	51	C2	R3	Repoint whale top of rim	HP
panels	51	C3	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Preserve porcelain inserts. Do not fill.	
BOUSEYE	SI	a	R3	Reinstate louvres	
UPPER WALL	SI	C3	RI	Light wash and repoint as required.	
		3	- 111	- But the state of	7.50
STONEWORK	27	-	1 (2277)		
comice	SI	C2	R3	Patch and replace stone where damaged. See drawing,	
BRICKWORK	780:000	14 DOM: 140	* 900	In payment and property and the second of th	000000000000000000000000000000000000000
nims	SI	C3	RI	Light wash and repoint as required.	J
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	51	C3	RI	Preserve porcelain inserts on rim. Do not fill.	1
WINDOWS	SI	C2	R3	Apply rust converter to window heads.	
Louvres	N/A	1			1
LOWER WALL BRICKWORK					
rim	SI	C3	R3	Repoint where shown. Light wash, repoint as required.	
arches	SI	СЗ	RI	Light wash and repoint as required.	1
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C3	RI	Light wash and repoint as required.	Tarrent S
sill inserts	N/A	9_	1	Light wash and repoint as required.	1
STONEWORK					
			D3	David all this isk minimum at Marker Climan data in the	-,
window sills	SI	CZ	R3	Patch sill with reinforcement. Mortar fill and els joint	7
plinth	SI	C2	R3	Plinth exfoliating. Mortar fill and els joint.	185 15
corbel	N/A				
inserts	N/A	1		L	
WINDOWS	SI	C3	RI		
Door(s)	SI	C3	RI	Timber gate reinstated 1995.	



Record # 12	Bay 12/11 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epoxy p Pr Patch stone v IB Insert Brick	ert, remove and epoxy patch atch	In



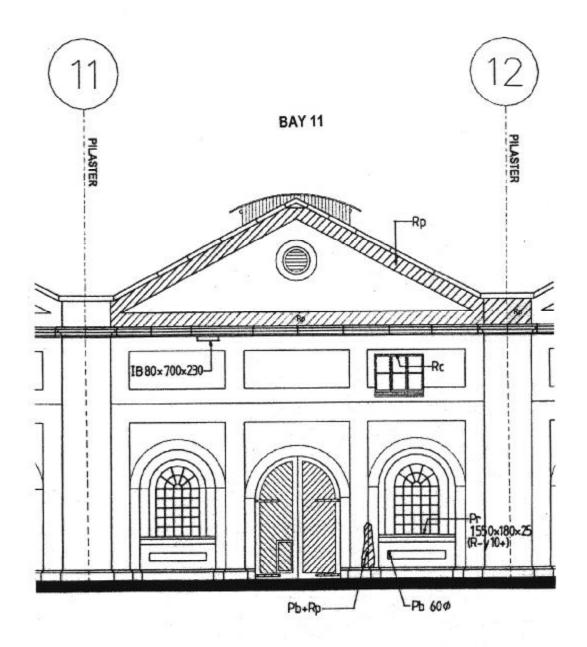
LOCATION	Bay 12/11 north			RECORD #	12
	□ BAY □ ROW □ ANNEXE	NORTH □ SOUTH □ EAST □ WEST			
	URGENT WORK	HP [HIGH PRIORITY]	☐ INTRUSIVE	□INTERPRET	

EVELEIGH LOCOMOTIVE	Control of the Contro	CONTRACT CON	BRIC INVENTORY
COMMENTS	Bay 9/8		Record # 9
S COMPO SE TIME ANT TRACES AND THE SECOND SEC	TO WITH THE STATE STATE STATE AND THE STATE STAT	Pro-Million Principle (Control of Control of	为了可能的证明。但有他,但是一个可能的工作来了的是中国的人们的。

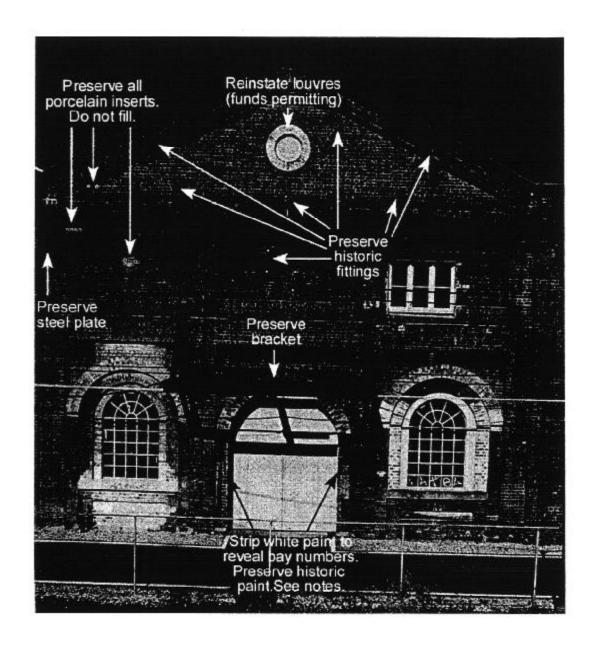
OMMENTS	alla al-Mad C. W. (1896) illi adole de Debos e su disc	Bay 11/10 no	rth	Record # II
One of the sills is noted	on the drawing to be r	epaired but it will require rep	lacement in the fu	ture (10 years plus).
			#	

Record # 11	Bay 11/10 north			key S1 - high, S2 - moderate, S3 - low, S4 - intr	usive.
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repair	NOTES
lawer wall continued	ondias sentrem	THE PERSON NA	Antonia and the	ATTOCK TOWNS AND AND ADDRESS OF THE	
GLAZED INFILL	51	C2	R3	Strip graffiti	1 1
THRESHOLD	SI	C3	RI	Mortar fill and els joints.	
TIMBER FRAMED	N/A	1 1			i)
WALL SERVICE PIPES	N/A				
STEELWORK	SI	C3	RI	Monitor steel fittings. Rust proof as required.	
21FFFMOKK		175	10035 40	Control of the Contro	
PILASTER	SI	СЗ	RI		
STONEWORK					F2 11 12 15
coping	SI	C3	RI		
comice	SI	C3	RI		
plinth	51	C3	RI		
inserts	SI	C3	RI	Monitor timber inserts.	
BRICKWORK					
	SI	CI	R3	Repoint entire parapet.	
parapet	51	C2	R3	Light wash and repoint as required.	
down pipes	N/A				r
inserts	Nil	1			
110015	INII	1		The state of the s	
END PILASTER	N/A				
STONEWORKS			, , , , , , , , , , , , , , , , , , , ,		
coping	N/A				1
comice	N/A				1
plinth	N/A				L. i
inserts	Nil				L
BRICKWORK					
parapet	N/A		1		[]
body	N/A		1		
pipes	N/A			3.000	
inserts	Ni				11
		6	5.3		ļ
OTHERI	S 4	CI	R3	Stip white paint to reveal bay numbers in doorway. Consult specialist	-
OTHER 2		1	L		-
OTHER 3	The production	Ţ			

key SI - high, S2 - moderat CI - bad, C2 - poor, C RI - maintain, R2 - urge	3 - good		ive.	Bay 11/10 north Record	# 11
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3		
STONEWORK					
coping	SI	C2	R3	Patch as indicated. Mortar fill and els joints.	
weathering	N/A		1	A comment of the comm	
inserts	N/A			J harmon and the second	
BRICKWORK					
rims	SI	CI	R3	Repoint entire rim.	HP
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Preserve porcelain inserts. Do not fill.	
BULLSEYE	SI	C2	R3	Reinstate louvres as funding permits.	
UPPER WALL] :
STONEWORK					
comice	SI	C3	RI		1
BRICKWORK					
nims	SI	C3	RI	Light wash and repoint as required.	
panels	S2	C3	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Preserve porcelain inserts in rim and panel.	4 1 4
1Ab month	SI	CI	R3	Apply rust converter to window heads.	
WINDOWS	200000			y ppy rast converted as visiboly reads.	
LOUVRES	N/A				l karad
LOWER WALL BRICKWORK					
rim	SI	C3	RI	Light wash and repoint as required.	
arches	SI	CI	R3	Patch and repoint brick.	
panels	SI	C3	RI	Light wash and repoint as required.	v 1
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	N/A	-	1		
STONEWORK					
window sills	SI	CI	R3	Patch stone with reinforcement. Els and mortar fill joints.	9 0 200
plinth	SI	C3	RI	Light wash and repoint as required.	
corbel	N/A	1 == =			1 - 1
inserts	N/A	1 5331		A Paris and the second	P. A.S.
WINDOWS	SI	C3	RI		1 1
Door(s)	SI	C3	RI	Door reinstated 1995.	Done.



Record #	II Bay II/I0 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
☐ I Inde ☐ H Hairi ☐ Ro Re p ☐ Ci Con ☐ Ps Sma ☐ Pr Pat	ce stone nt stone line jointed stone insert soint roded insert, remove and epoxy patch Ill epoxy patch ch stone with reinforcement ert Brick tar fill joint, elastometric sealant and backing rod to to	□ In Inject crack with epoxy mixture □ Rc Apply rust-converter to comoded femous metal insert □ Time To match existing □ Zac New Zincalume capping to replace comoded capping □ Rv Remove vegetation and rake out joints 20mm deep □ MS Make safe by removing loose stone □ Pb Patch brickwork □ Rb Reconstruction of brick surface of wall p □ Ot Other, see "Notes"



LOCATION	Bay 11/10 north	RECORD :	# 11
	BAY ROW ANNEXE	NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	□ HP [HIGH PRIORITY] □ INTRUSIVE □ INTERPRET	

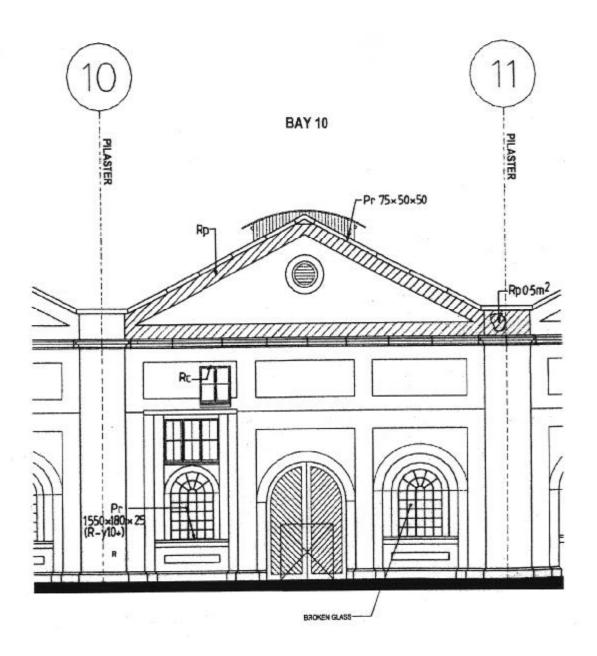
EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

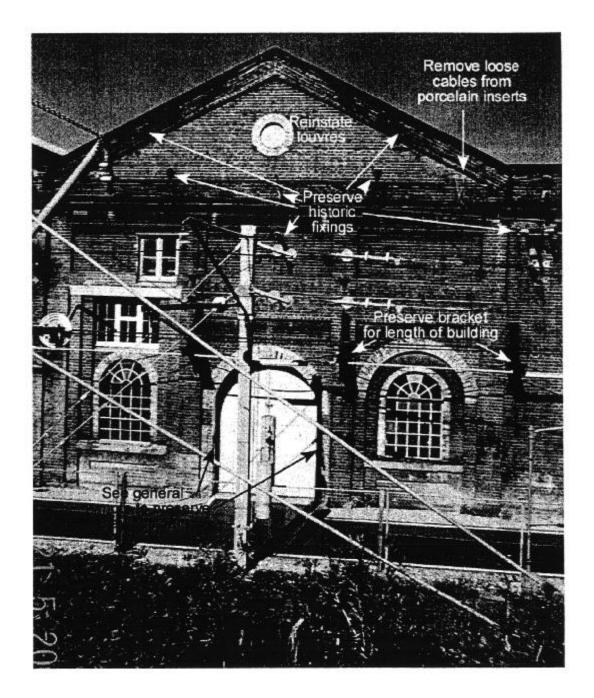
OMMENTS	Bay 10/9 north		Record # 10	
#I				

Record # 10	S1 - nigri S2 - moderate, S3 - row, S4 C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 -		usive.		
DESCRIPTION			RECTIFICATION	R I - maintain, R2 - urgent work, R3 - repair	NOTES
lower wall continued	NAME OF THE OWNER, WHEN	a si unadipeter/en/en	ACREC ENTRE	AND REPORT OF THE PROPERTY OF	eth chroning a choración an
GLAZED INFILL	SI	C2	R3	Replace broken glass	1
THRESHOLD	51	C2	R3	Mortar fill and els joints.	
TIMBER FRAMED	N/A		1		
SERVICE PIPES	N/A				-
STEBLWORK	SI	C3	RI	Monitor brackets for corrosion. Rust proof if required.	1
PILASTER	SI	C3	RI		
STONEWORK					
coping	SI	C3	RI	Mortar fill and els top side of joints.	
comice	SI	C3	RI		
plinth	SI	C3	RI		
inserts	Nil			Carlos and a second a second and a second and a second and a second and a second an	
BRICKWORK					D
parapet	SI	CI	R3	Repoint entire parapet	1
body	SI	C3	RI	Light wash and repoint as required.	
down pipes	N/A		i r		
inserts	Nil	ļ.,	1		1
END PILASTER	N/A				
STONEWORKS	THE MICHIGAN CONT.			The second secon	
coping	N/A				
comice	NA	-	1		1
plinth	N/A				11
inserts	Nil	Ĺ	<u> </u>	j L	
BRICKWORK					
parapet	N/A	-	1		
body	N/A	1			1
pipes	N/A			1 [1
inserts	Nil	ļ	1	II	L
OTHERI	52	C3	R	Monitor significant brackets, particularly on pilaster.	
OTHER 2				11.	4,000
OTHER 3		-			

key ST - high, S2 - moderati CT - bad, C2 - poor, C RT - maintain, R2 - urge	3 - good		ive.	Bay 10/9 north Record	# 10
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	ŠI	CZ	R3	Major repointing required.	
STONEWORK					day.
coping	SI	C3	RI		
weathering	N/A				
inserts	N/A				
BRICKWORK					1 100
rims	SI	CI	R3	Repoint entire rim.	HP
panels	SI	G	RI	Light wash and repoint as required.	
inserts	SI	C2	R3	Remove loose cables from porcelain inserts. Do not fill.	
BULLSEYE	SI	CI	R3	Reinstate louvres as funds permit.	
UPPER WALL	SI	СЗ	RI	Light wash and repoint as required.	
STONEWORK					
comice	SI	C3	RI		
BRICKWORK					
rims	SI	C3	RI	Light wash and repoint as required.	
panels	SI	G	RI	Light wash and repoint as required.	
inserts	N/A	1	1111	1 1	
WINDOWS	SI	C2	R3	Apply rust converter to corroding metal window heads.	
LOUVRES	N/A	1		11	
LOWER WALL BRICKWORK					
nim	51	C3	RI	Light wash and repoint as required.	
arches	SI	СЗ	RI	Light wash and repoint as required.	7
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	N/A	1	1 101	Light was raid repoint as required.	
STONEWORK					
window sills	ŠĪ	C2	R3	Patch with reinforcement. Els and mortar fill joints.	
plinth	51	C3	RI		4 1
corbel	N/A	T F	1		
inserts	N/A	1 -	Part to		4
WINDOWS	SI	C3	RI		
Door(s)	SI	C3	RI	Timber gate reinstated 1995.	Done



Record # 10	Bay 10/9 north	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Pr Patch stone		In



LOCATION	Bay 10/9 north		F	RECORD #	
	BAY □ ROW □ ANNEXE	NORTH SOUTH EAST WEST			
	URGENT WORK	HP [HIGH PRIORITY]	INTERPRE	T	

Record # 9	Bay 9/8	north		key S1 - high, S2 - moderate, S3 - law, S4 - int	rusive.
DESCRIPTION	SIGNIFICANCE	NOMOMON	RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repai	NOTES
lower wall continued	AND MICHIGAN	and the second second	COLD COLD COLD COLD COLD COLD COLD COLD	NAME AND ADDRESS OF THE PARTY O	m + Douglat () statement)
GLAZED INFILL	SI	C3	RI	I I	
THRESHOLD	SI	C2	R3	Els horizontal stone jioints.	
TIMBER FRAMED WALL	N/A		1	! \	L
SERVICE PIPES	N/A				
STEELWORK	SI	C3	RI	Maintain bracket for length of building.	Interpret
PILASTER	SI	CI	R2	Major repair to brickwork required. Light wash.	URGENT
STONEWORK					
coping	SI	C3	RI		
comice	SI	C3	RI		
plinth	SI	C3	RI		
inserts	SI	C2	RI	Monitor timber inserts.	
Brickwork					
parapet	SI	CI	R3	Repoint entire parapet.	
body	SI	CI	R2	Repoint brickwork, repair crack, insert bricks as indicated.	URGENT
down pipes	N/A		1		
inserts	NII	Espe	1 1	I am and the second second second	1
END PILASTER	N/A			1 ([
STONEWORKS					
coping	N/A] [
comice	N/A	-			
plinth	N/A		1	II	has all
inserts	Nil	L	L		
BRICKWORK				1000 MR Pay of the William Tolk Opposition of the Control of the C	
parapet	N/A	1	1		
body	N/A		T	11	
pipes	N/A		1	1	
inserts	Nil		1		1
OTHERI	S2	C2	R2	Sign on pilaster hanging precariously. Reattach immediately.	URGENT
OTHER 2	51	C3	RI	Monitor significant metal fixings. See photo.	1
OTHER 3			1		T
Section 1985 Fine			and the second		

key S1 - high, S2 - moderate C1 - bad, C2 - poor, C R1 - maintain, R2 - urge	3 - good		ive.	Bay 9/8 north Record #	9
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	ŠI	Cl	RI		
STONEWORK					
coping	51	C3	RI		1
weathering	N/A		l la s		
inserts	N/A				
BRICKWORK					
rims	SI	CI	R3	Repoint entire rim. Light wash.	HP
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A			I Day to the second of the sec	
BULLSEYE	Si	C2	RI	Reinstate missing louvres. Rust proof,	
BOSESE ! E	31	CZ.	351	resistate missing lowness reast proon	t-announce of
UPPER WALL	SI .	C2	RI	Repoint, light wash and patch.	T.
STONEWORK					
comice	SI	C2	R3	Patch and reinforce damaged cornice stone.	HENNE C
BRICKWORK	٥.	300	, ,,,	Tatellard Ferrior co darraged connect stories	
1/2	SI	C3	RI	Light wash and repoint as required.	
rims	SI	G	RI	Digit wash and report as required.	-
panels	51	C	RI	J L	
inserts	N/A			I Version and the second	1
WINDOWS	SI	C2	R3	Treat window for termite damage.	1
Louvres	N/A	L	l I	4	J
LOWER WALL BRICKWORK					
rim	SI	C3	RI	Light wash and repoint as required.	L.
arches	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	N/A			Eg it was an a repent as requees.	
STONEWORK					
window sills	SI	CI	R3	Replace damaged sills.	g money
plinth	SI	C3	RI	Els horizontal stone joints	
corbel	N/A	। 	7.85		į
	100000				
inserts WINDOWS	N/A SI	Ć2	Ri		
Door(s)	SI	C3	RI	Timber gate reinstated 1995.	

EAST WALL INVENTORY SHEETS

LOCATION Row B/14 east

RECORD # 2

SOUTH SEAST WEST

Row NNE ANNEXE

□URGENT WORK □ HP [HIGH PRIORITY] □ INTRUSIVE □ INTERPRET

OTTO CSENHALMI + PARTNERS P/L 2003

EVELEGHT OCOMOTIVE WORKSHOPS FABRIC INVENTORY 9 NOTES Date of print 25/08/2003 key S1 - high S2 - moderate, S3 - low, S4 - intrulent. C1 - but, C2 - poor, C3 - good R1 - maintain, R2 - ingert work, R3 - repair Patch coping stores. Repair plinth. Bis stone joints (if not New downpipe added in 1995. Retain Repair cracked plinth stone. Patch coping as indicated. RECOMMENDED WORKS 2 2 2 2 ā æ a. RECTIFICATION æ OTTO CSRHALM + PARTNESS P/L 2303 Row B/14 cast 0 0 O O C Q 0 C MOLLION S X NA MA × MA NA N. 5 Z 5 N/A × 03 Ž 2 5 5 down pipes tower wall continued parapet neerts BND MLASTER paraper Targa Faveto Record # 2 WALL SERVICE PITES plint beek DESCRIPTION GAZED MALL STONEWORKS body Тнарэноп STRE,WORK STONEWORK plint OTHER 2 OTHER 3 PLASTER OTHER

EVELEIGH LOCOMOTIVE WORKSHOPS

COMMENTS

Row B/14 east.

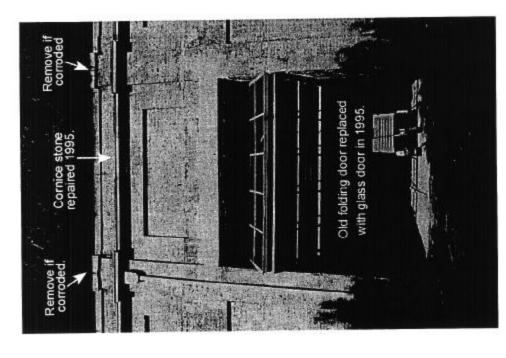
Record # 2

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park Most of the required work identified in 1995 has been completed but the finshed work needs some further inspection. The stone joints should be checked to see if they have been filled with mertar and the tops scaled with elastometric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the bridowork in plasters which had been damaged by comoding downpipes in the walls. These should be monitored to check that no further cracks covelop.

New stone plinths were installed in sections of the east wall in 1995. Some of the stone is already cracked and exibilishing. The cause of this is not known but is likely to be inferior stone or chemical treatment to the stone at the time of installation. This needs further investigation

FABRIC INVENTORY



RECORD # 3 ☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET □ NORTH □ SOUTH □ WEST LOCATION Row C/13 east BAY ROW ANNEXE

OTTO CSER-WLM + PARTINERS PA. 2003

EVELEICH LOCOMOTIVE WORKSHOPS

COPMENTS

COPMENTS

The east wall had extensive works carried cut in 1935 during the adoptive neure of the building for the Australian Technology Park Prots of the required works foreinted in 1935 abung the adoptive neure of the building for the Australian Technology Park Prots of the required works reducing in 1935 abung the taps readed with carriar and the tops sealed with distormetric sealars. If this has not been done, then the general note to 18 horizontal stone joints should be applied to this wall.

Works in 1995 included structural regals to the brickwork in pitaties which had been damaged by corroding downpipe in the walls. These should be monitored to check that no further gracks develop.

OTTO CSENAUM + PARTNESS PIL 2003

Date of print 25,08/2003

1

FABRIC INVENTORY

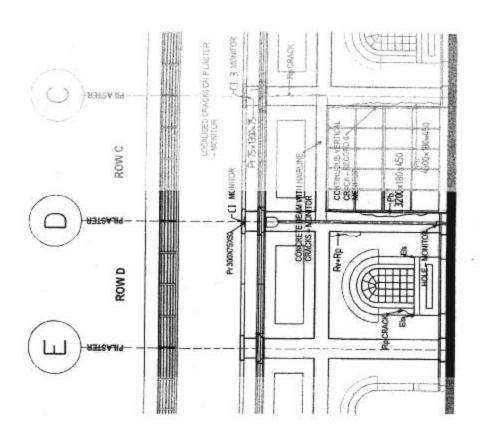
RECORD # 4

LOCATION Row DV12 east BAY ROW ANNEXE

SOUTH WEST

□URGENT WORK □ HP (HIGH PRIORITY) □ INTRUSIVE □ INTERPRET

OTTO CSER-WLMI + PARTNERS PIL 2003



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. | R register store | R register store | R Agely utsk.cheep mask.re | 1 folder Store | 2 folder | 2 folder Store | 2 folder | 2 folder Store | 2 folder Store | 2 folder Store | 2 folder | 2 folder Store | 2 fold Row DVI2 east Record # 4

OTTO CSENALMI + PARTNERS P/L 2003

のののできないのできないので Date of print 25/08/2003 21 FABRIC' INVENTORY Done NOTES Record # 4 Famove vegetation and repoint, light wash as required Repair crack as indicated. Arch reconstructed in 1995. Check stability, report cracks joints, light wash Light wash & repoint as required Light wish & repoint as required Light wish & repoint as required Light wash & repoint as required Light, wash & repoint as required Light wash & repoint as required Light wash & repoint as required Light wash & repoint as required Monitor inserts for corrosion Window reinstated in 1995. Mortar fill and els joints. Row DVI 2 east RECOMPENDED WORKS EVELEIGH LOCOMOTIVE WORKSHOPS 2 2 <u>e</u> 222 5 5 E õ <u>~</u> æ. 2 2 8 RECTINCATION OTTO GERHALM + PARTNERS P/L 2003 0 0 0 0 key SI - high S2 - moderate, S3 - low, S4 - intrusive C1 - bed, C2 - poor, C3 - good R1 - muntain, R2 - urgert work, R3 - repair 0 0 0 0 0 0 C 0 0 Ū 0 U коламор N/A NA panel under SI N/N N/N Y.Z N.N N/Z N.N S N/N s ≹ 15 ö ī windowsils SI **BONDCANCE** PEDIMENT/PARAPET SI C weathering Stonework coping stope parrets nseds paret nsets pared corrido plant corte inserts LOWER WALL DESCRIPTION STONEWORK ug. Stonework UPPER WALL BACKNORE E . Whoows E LOVAGE Вволловк Whodes BROUNDIK (S)WOOD BULLETE

EVELEIGH' LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

NOTES kry St. - high, S2 - moderate, S3 - law, S4 - intusive. C1 - bad, C2 - poor, C3 - good R1 - mantan, R2 - urgent work, R3 - repar Patch where indicated, light wash & repoint Light wash & repoint as required Light wash & repoint as required Light wash & repoint as required Monitor hale at base of pilaster New downpipe added 1995 RECOMMENDED WORKS Monitor for comoson RECTIFICATION ä OTTO CSERHALM + PARTNESS P/L 2003 Row DV12 east 0 0 0 0 0 0 0 0 0 0 NOLLIGNOO ¥ ₹ Z Z × ¥. NA a Z Z. ž 2 N/N N. NO DEMINOS 5 5 2 3 io. 5 15 2 N. sadid uwop kmer self confined Trage Fluvio West. Service Pers Record # 4 parapet DESCRIPTION men parapet GAZED NALL body END PLASTER comice Buidoo THESSHOLD. STONEMONS ment STELNOR guid body beed BECOVO'SK PLASTER OTHER 2 OTHER 3 OTHER

COMMENTS

Row D/12 east

Record # 4

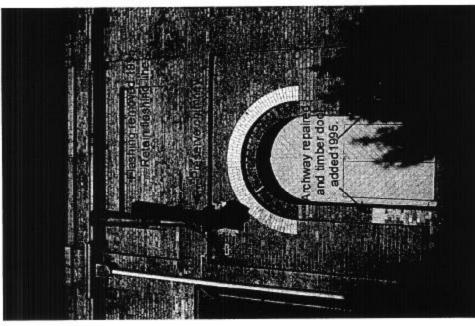
The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park Most of the required work identified in 1995 has been completed but the finished work heads some further impection. The stome joints should be checked to see if they have been slided with mortar and the tops sealed with elastiometric scalars, if this has not been done, then the general note to Bs horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in plasters which had been damaged by comoding downpipes in the walls. These should be monitored to check that no further cracks develop.

New stone pinths were installed in sections of the east wall in 1995. Some of the stone is already cracked and exclosing. The cause of this is not known but is likely to be inferior stone of chemical treatment to the stone at the time of installation. This needs further investigation.

OTTO CSERHALM + PARTNERS Pf., 2003

FABRIC INVENTORY



RECORD # 5 □URGENT WORK SHP[HIGH PRICATTY] □ INTRUSIVE □INTERPRET ONORTH SOUTH WEST

BAY ROW ANNE

LOCATION Row E'll east

Date of print 25/08/2003 25

OTTO CABINALMI + PARTNERS P/L 2003

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. Row E/11 east Record # 5

ROWE

PILASTER

ROW F

MUMEROUS INSERTS IN PLASTER - MONTOR

-Pr Nathana

D NOW

CORRODED METAL CHI MONITOR JCI - MONITOR

HORE - NO

FABRIC INVENTORY Date of print 25/08/2003 27 Dore NOTES Record # 5 Remove vegetation and repoint. Light wash as required Light wash & repoint as required Light wash & repoint as nequired Light wash & repoint as required Repoint & light wash as required Montor corroded serts in rim. Timber door reirebated 1995. RECOMMENDED WORKS Row E/11 east EVENERAL I OCOMOTIVE WORKSHOPS 2 <u>a</u> 2 2 ē ē æ æ ē 8 8 页页 2 ИЕСЛИСАТІОМ OTO CAEM-WHI + PARTNERS PIL 2003 kes S1 - Yegi S2 - moderate, S3 - low, S4 - minuwe C1 - baz C2 - poor, C3 - good R1 - metroe, R2 - urgent work R3 - repair α 0 0 0 O 0 0 a 0 00 J O O МОШПИОО NA NA NA NA S NA NA N/A 12 S S ×2 ¥ S N/A ž 15 15 5 PEDMENT/PARAPET SI SIGNHOWICE panel under sal insets window sit weathering pareds Stonework comice arches corbel reserts reerts panels panels reets plent treer's LOWER WALL STONEWORK Browder UPPER WALL STOVEWORK rlms Whodaw DESCRIPTION LOUNTS WINDOWS Door(s) BULLENE

EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

	3		ж	CI - Ded. LZ - Door, CI - good.	1
	MEICANC	NOITION	NTACATR	Ni - marana na - ugana na - ngana na - n	rd.
DESCRIPTION four not continued	eois	000	SEC	RECOPPRINCED WORKS	NOTES
GAZZDÍNRI	N.A.				
Титенов	150	D	22		ŀ
THIBIT RIVIED	A'N				
Similar Piras	N.N	l	ļ.		ŀ
Stimoson	55	ō	2	Corroded metal chinney requires stabilisation	÷
PLASTER	55	O	æ	Light wash, repoint as required. Phonton inserts.	4
Stonewook	17	σ	æ	Light wash	
comice	25	σ	Z	Light wash	L
plint	100	O	100	Light wash & repoint as required	Н
al teach	St	a	2	Monitor comoded insert	L
BROWNORK					
parabet	57	0	2	Light wash & repoint as required	
body	N.	a	2	Light wash & repoint as required. Retain flashing line.	1
sadd uwop	N/Z		L		
inserts	2				
END PLASTER	¥.Z	Ц	Ш		Ц
SICHEMORIS					
Budgo	Y'Z		1		
cornice	N'A				
ploth	Y.N	_			-
2,000	ž		4		
BROWGE					
padesed	Y.N				
/paq	N.A		Ц		L
sadd	¥ Ž				Ц
25027	ž	j		Property and property of the p	4
OTHER	55	ā	8	Preserve chinney, See machinery report.	Ť
OTHER?	2				
OTHER 3	K.N				

FOR EIGH LOCOMOTIVE WORKSHOPS

Row EII east

Row EII east

Record # 5

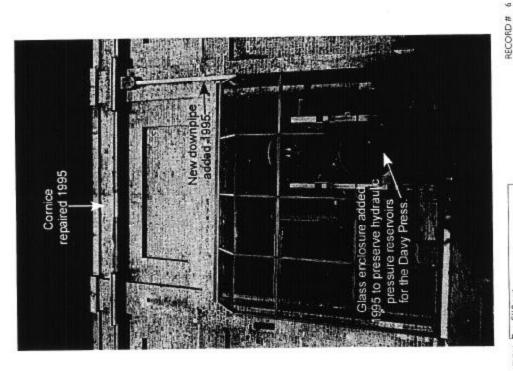
COMMENTS

Technology Park host of the recurred work dentified in 1995 during the adaptive reuse of the building for the Australian Technology Park host of the recurred work identified in 1995 has been completed, but the finished work needs topy readed with destronerize ashari. If this has not been done, then the general note to Eis horizontal stone joint should be about the about the part of the part of the propriet of the walls. These should be monitored to check that no further cracks develop.

Works in 1995 included structural repairs to the brickwork in plisters which had been damaged by corrocing downspices in the walls. These should be monitored to check that no further cracks develop.

OTTO CSERHALMI + PARTNERS PIL. 2003

4...



□URGENT WORK □ HP [HIGH PRIORITY] □ INTRUSIVE □ INTERPRET O NORTH SOUTH SEAST WEST LOCATION Row F/10 east □ BAY □ ROW □ ANNEXE

OTTO CSER-WMI + PARTNERS PIL 2003

ROWF

1

ist	powy patch
Record # 6 Row F/10 east	reckies store hobstrands plant ground store insert Re point Result insert, remove and epoxy patch Sinel apoxy patch insert apoxy patch insert apoxy patch insert apoxy patch

OTTO CSES-AUM + PARTNUTS PAL 2003

Date of print 25,08/2003 33 FABRIC' INVENTORY NOTES Record # 6 Retain display window added 1995 to prolect steam drums. Patch comice as indicated. Bs and mortar fill joints. Monitor inserts for corrosion and water ingress EVELEIGH LOCOMOTIVE VYORKSHOPS Light wash & repoint as required Light wash & repoint as required Ught wish & repoint as required Light wash & repoint as required Manitar inserts for correction. RECOMMENDED WORKS Row F/10 east ã 8 2 2 2 2 ď 2 2 œ RECTIFICATION OTTO CSERWORL + PARTNERS PA. 2003 S key S1 - hgh, S2 - moderate, S3 - low, S4 - intruske, C1 - bad, C2 - poor, C3 - good C1 - bad, C2 - poor, C3 - good R1 - meritan, R2 - urgent work, R3 - reper O C a 0 0 0 0 C C O CONDITION N/A N.A. 12 2 ¥ S × ¥ 8 NA window silk N/A Y.Z ž × N/Z Y.Z 25 CZ. PEDIPENTIPARAPET SI SICARICANCE panel under weathering arches panels Budoo inserts comice plinth corte panels panet reserts LOWER WALL spects. STOREMORK Bactowork SWL. DESCRIPTION UPPER WALL STONEMORK Whoows Baconcac Lourses Stonework Wholens Doon(s) BAUSTE

EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

Date of print 25/08/2003 34 NOTES key SI - high SZ - moderate, SZ - box, S4 - intruine, CI - bush, CZ - poor, CZ - good RI - maintain, RZ - urgent work, R3 - repair Picter III and Bs joints. Light wash & repoint as required Mortar fill and Els joints. Light wash & repoint as required Mortan fill and Bis joints. Light wash & repoint as required Continue to preserve Dept I No. 520 Steam reserviors Gas panels added 1995 to protect steam reserviors Moritor numerous inserts in plaster for comosion. Light wash & repoint as required Light wash & repoint as nequired New downpipe added 1995. RECOMPRINDED WORKS Moritor hole at base. ä ē ã RECTHCATION OTO CSINIALM + PARTNERS P/L 2003 Row F/10 east Q a a 0 0 0 O Q Q O CONDITION Y.Z NA NX N.A N. × 1 1 N'A N.N. 5 2 1 8 SIGNIFICANCE sadid uwop bwer well continued Theex Runeo Whu. Service Pres parspet Record # 6 BND PLASTER. сошсе DESCRIPTION Sudoo inserts GAZED NAU. (pod) Stoneworks delig THEFICE bod, pipes guid BROWDER STELNOR Stovework PLASTER OTHER 2 DTHER 3 OTHER

COMMENTS

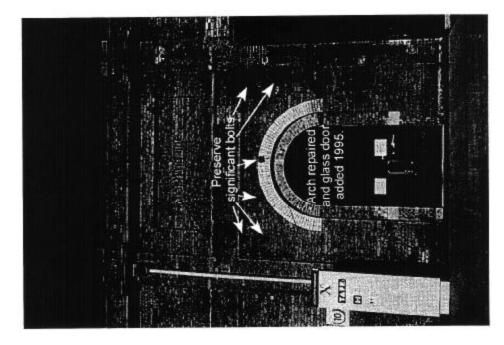
Row F/10 east

Record # 6

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park Most of the required work icentified in 1995 has been completed, but the finished work needs some further impection. The stone joints should be checked to see if they have been filled with mortain and the tops sealed with elastometric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walk. These should be monitored to check that no further cracks develop.

OTTO CSERHA, MI + PARTNEYS P/L 2003



RECORD # 7

SOUTH WEST LOCATION Row G/9 east

□URGENT WORK □ HP [HIGH PRICATTY] □ INTRUSIVE □ NTERPRET

OTTO CSERHALM + PARTNERS PIL 2003

は、いれて対対の数を可能の対対が Date of print 25/08/2003 39 FABRIC INVENTORY Dane NOTES Cont Record # 7 Mortar III and Bis joints. Light wash & repoint as nequined Repair cracked coping. Mortar fill and Bis joints. Light wash & repoint as required. Bis joints. Preserve porcelan insert. Do not fill. Light wash & repoint as required Light, wash & repoint as required Light wash & repoint as required New glass door added in 1995. Light wish & repoint as required Menitor inserts for corrosion RECOMMENDED WORKS Mortar fill and els joints. Row G/9 east Arch repared in 1995. Preserve historic bolts Preserve flathing line Preserve flashing line. EVELEIGH LOCOMOTIVE WORKSHOPS 2 2 R 2 8 2 2 2 2 ā 2 2 æ 霳 祕 MOTANTON RECTRICATION OTTO CSERHALM + PARTNERS P/L 2003 bey S1 - high S2 - moderate S3 - low, 54 - intrusive C1 - bat C2 - peer, C3 - good R1 - marten R2 - urgert work R3 - repair 0 0 0 0 0 0 D 0 0 O O D a 0 Ø CONDITION ıs 5 5 arches SI panels S2 panel under NVA sill riserts SI N.Z Y. N.N window silk N/A × × × ź × 22 SIGNACANCE PEDIMENT/PARAPET weatherng Sudas ST-GST comice panels inserts 2,000 inserts plints corte panels LOWGR WALL Becowcer STONEWORK STONEMORE DESCRIPTION ifms E UPPER WALL BICOVOR WINCOMS COLMES BROWORK WINDOWS Epopoliti BALSPE

EVELEIGH LOCOMOTIVE WORKSHÖPS

FABRIC INVENTORY

				1 - Sari (2 - 10 av 2)	
	FICANCE	ношо	PICATION	All -martian R2 - urgert work, R3 - recor	曹
DESCRIPTION	NDIS	сои	TD3A	RECOMPINICED WORKS	NOTES
bearing carbued	١.			AND THE RESIDENCE OF THE PROPERTY OF THE PROPE	
GAZD RAL	25	3	ž	New glass door accept in 1973.	200
THE9+0.0	5	a	2	Repair cracked threshold	
TIMBR FRAMED	N.A.				
Service Pres	N/A	L			L
STELWORK	N/N				
PLASTER	-5	0	æ	Light wash & repoint as required	1
Stovework	ē	C	ā	Charle cability, light wash & recoint as remained. Be mint-	
8 dd 00		3 5	ā	light work & recount to movement the party	1
COMMO	ñ)	Z	ught wan a report, as required, as joints.	
plinth	55	a	æ	Light wash & repoint as required. Bs joints.	
ment	Ž				
Bicovosi					
parapet	50	0	æ	Light wash & repoint as required	
body	25	0	æ	Retain flashing lines. Insert brick as indicated.	
sadd uwop	YN.				
men	Z				
BND PLASTER	NN	L			L
Stowewords					
Judoo	N/N	1	H		
comce	NA	L	L		Ļ
pleth	N/A	_			
iments	ž	1			
Browness					
tadued	₹ Z				
book	N/N		L		-
sadd	×	L			
ments	9				
OTHER	ş		Ĺ		Ļ
OTHER 2	N/N				
OTHER 3	NA				П

Google FABRIC INVENTORY

Record # 7

Row G/9 east

COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tooss sealed with elastometric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by comoding downpipes in the walls. These should be monitored to check that no further cracks develop.

OTTO CSERHALM + PARTNERS P/L 2003

RECORD # 8

LOCATION Raw H/8 east

BAY DOTH

ROW SOUTH

ANNEXE SOUTH

ANNEXE SEST

□URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET

OTTO CSEN-MUHI + PARTNERS PIL 2003

Date of print 25/06/2003

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OTTO CARE-MUM + PARTNERS P/L 2003

Row H/B east

Record # 8

FABRIC INVENTORY

EVELEIGH LOCOMOTIVE WORKSHOPS

PILASTER

FABRIC INVENTIORY Date of print 25/09/2003 45 Done Interpret NOTES Record # 8 Mortar III and els joints. Light wash & repoint as required. Preserve porcelsin insarts and steel brackets Light wash & repoint as required. Bis joints. TÉVÉLFIGH LOCOMOTIVE WORKSHÖPS Repoint where indicated Light wash. Light wash & repoint as required. Light wash & repoint as required. Light, wash & repoint as required. Light wash & repoint as required. Light wash & repoint as nequired. Light wash & repoint as required. Preserve brackets and steamline Timber gate reinstated 1995. Monitor corroding inserts RECOMMENDED WORKS Mortar fit and els jonts. Row H/8 east 页 R æ õ 2 2 ä × × × 8 2 ē ИЕСПЯСАТОИ OTTO CSERVALM + PARTNERS PV. 2003 bey St. - high, S2 - moderate, S3 - low, 54 - intrusive C1 - bed, C2 - poor, C3 - good R1 - mantair, R2 - urgent work, R3 - repair O 000 O O 000 O 0 0 U 00 NOLLIGINOS windows ils N/A NA NA N/A N'A ıs panel under N/A sill roerts SI 2 2 Y.Z N'A Y Z ž S īs ī 15 Si PEDIMENT/PARAPET weathering comice anches panels preerts cortes inserts Sudoo paret trounts pinth pares Sheerts LOWSR WALL DESCRITTON STONEWORK Becompac S-ONEWORK E **BROWORK** SILLI Whiteows STONEWDRK USPER WALL LOUMES BROKNOW WHOOMS Doos(s) BALISTE

EVELFIGH LOCOPIOTIVE WORKSHOPS

**FABRIC INVENTORY

	3		VC.	he waste of a second of a second of a second of	4
DESCRETION	SIGNIFICANC	СОИВШОИ	RECTIFICATIO	R1 - marrain, R2 - urgert work, R3 - mper NOT RECOMMENDED WOrds	NOTES
lower well continued	- Contractor				
GAZED MALL	Y.Z				
Тиядэного	S	O	2		
Tinger Founds	×				
SHACE Poss	N'A				L
SELWORL	Z X	L			
RUSTER	IS	D	8		
SICHEWOR					
Tudos	is.	D	K	Nortar fill and Els joints	
tomos	15	D	E.	Nortar fil and Ek joints	
pleth	15	0	æ	Mortar fill and Bs joints.	
resets	X	Q	2	Mostror corrected insert	L
BICHADA					
packued	20	υ	2		
poq	50	O	ñ.		
down pipes	C	D	2	New downgipe added in 1995.	
reerts	Z				
SND PLASTER	N/A	Ц			
Sronewoles					
Sadoo	Y.				1
comice	Y.Y		-		
gujd	×				
at our	Z]	10	J
BICKNOR					
parabet	N.	L	-		
body	×				
pod	Y.	L	L		
inserts	Z				
OT-ER!	C#	O	ř	New interpretive signage added in 1995.	
OTHER 2	S	۵	2	Refx ogarette butt disposal unt	
OTHER 3	Y Y	U	IJ		

EVELEIGH LOCOMOTIVE WCRASTLOPS

Row H/8 east

Row H/8 east

Row H/8 east

The east wall had extensive works carred out in 1995 during the adaptive reuse of the building for the Australian
Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be applied to this walt.

Works in 1995 included structural repairs to the briddwork in plasters which had been damaged by corroding downples in the walls. These should be monitored to check that no further cracks devalop.

OTTO CSERHALMI + PARTNERS P/L 2003

Date of print 25/08/2003 47

FABRIC INVENTORY

OTO CERHALMI + PARTNERS PIL 2003

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1.4

PILASTER

A BASSAS

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SALLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. Row I/7 east.

Record # 9

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SHL SHL

OTTO CSERHALM + PARTNERS PAL 2003

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EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

P. Lugar. A series of the ser	11 - bad C2 - poor, C3	pod8 -	34-140			
SS SS CO RS Light wash & report as required. SS SS CO RS Light wash & report as required. SS SS CO RS Light wash & report as required. SS SS CO RS RS Light wash & report as required. SS SS CO RS RS Light wash & report as required. SS SS CO RS RS Report SS required.	1 - maintain, R2 - unger	K WORK P	3 repar			
\$1 C1 R2 Replace coping stone as shown. NAA NIA S1 C2 R2 Replace coping stone as shown. NIA S2 C3 R1 Light wash & report as required. S3 C2 R1 Prorter corrected interts NIA NIA S1 C3 R1 Replace to the state of the sta	DESCRITTON	SIGNHCANCE	соившои		PECCHIMENDED WORKS	NOTE
Si	PEDIMENTIPARAPET	25	a	2	Light wash & repoint as required.	
NIA Light work & required Light work & required	Stokewolk	-	Ū	8	Reclare come stone as shown.	Unger
NA	weathering	×				
2	reserts	N/N				
NA N	BRODWOW		1	ě	And the second s	
	SILL	2	3 (2	Uga was a labour to require	Y
2	panet	5	Ö	2	Light wash a report as requires.	
21	meta Busent	S X	a	2	Monitor correded inserts	
21						
2	UPPRWALL	5	O	2	Es joints. Light wash and repoint as required.	
2 2 2 2 2 3 5 5 5 5 5 5 5 5 5 5 5 5 5 5	Stovework					
2 2 2 2 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	отпор		O	81	Mortar fill and els joints.	
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	Backron	Ū	0	æ		
2	Species	V	3 0	ā	Retain fashing fine Light wash & repoint as required	
2	ĺ					
AN NA N	insets	G	O	œ.	Preserve and monitor historic fittings	
AN 12 22 22 22 22 24 24 24 24 24 24 24 24 24	Whatows	ž	1	1		I
2 2 22 22 22 22 22 22 24 24 24 24 24 24	LOVARS	ž	į	4		1
A MA NA	LOWER WALL Becomber	v	U	ē	beningen as thosen & daws shall	
And Si C C R R R R R R R R R R R R R R R R R	arthe	1	O	ec.	Light wash & repoint as required. Preserve inserts.	
net under S1 G3 R1 R3 Advansible S1 G3 R1	sanes	5	Ü	ā	Light wash & repoint as required.	
Market St. CO. R. R. H. Co. N. M. A. M.	panel under	15	O	2	Light wash & repoint as required.	
downship Si CO RB Si CO RB NIA NIA RI	ull reserts	3	0	2	Preserve square washanid bolts. Monitor other inserts.	ø
odowski Si CO RI Tel NI/A RI NI/A RI	STONEWORK					
orbit St. Cl. N/A	sie wobriw	S	O	8	Mortar fill and Bis joints. Inject crack as indicated.	
3 g	pleth	S	D	×	Light wash & report as required.	
Ę "	cortes	N/N				
	ricerts	N/N	-			
	Waccows	N/N	1			
		100				

OTTO CSER-MUM + PARTNERS P/L 2003

Date of print 25/09/2003 51

EVELEIGH LOCOMOTIVE WORKSHOPS FABRIC INVENTORY

	400		3	CI - Dad CZ - Door, C3 - Bood.	
	o		OI	RI - maintain, R2 - urgent work, R3 - repair	repar
NOTABLAST	CHINCAN	юшало	TADRITOR	DECTIVING FACILITY OF SECURITY PROPERTY.	Š
barring animed	s		H	The state of the s	
Guaro Intu.	Z.				
Тнявного	×		Ц		Ц
THER RAMED	×2	_			-
SHACE PRES	15	0	ō.	Preserve hydraulic lines	
STEELWOOK	5	D	æ	Preserve historic steel fittings.	
PLASTER	15	D	ōc	Light wash & repoint as required.	
Stonewant	15	۵	22	Paich stone where indicated	
comice	IS	O	2		
plinth	S	0	æ		
inserts	25	Q	¥	Moritor compded insert.	
Browok					
sadead	5	O	æ	Light wash & repoint See drawing.	
pody	15	O	œ	Light wash & repoint as required. Retain flashing line.	-
speed wwap	23	D	×	New downpipe added in 1995.	L
interior	CS.	Q	Z	Moritor corroded inserts.	
BND PLASTER	×.2	U	L		
Stoveworks					
Budoo	N.M				1
domos	N.N.	L			
plinth	N.A				
ments	2				
Becomme					
parabet	N.A.				
Apoq	Y.Z			The second secon	
saded	ž.		L		
ments	2				
OTLES!			ļ		1
Š					
OTHER 2					
OTHERS					

EVELEIGH LOCOMOTIVE VVORKSHOPS

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Row I/7 east

Record # 9

COMMENTS

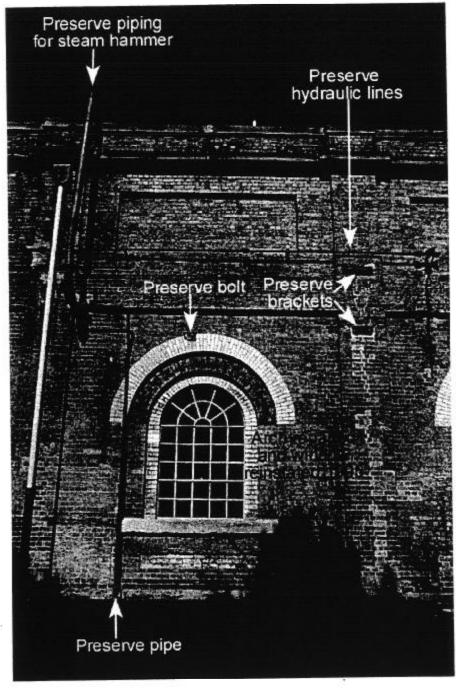
The east wall had extensive works carried out in 1995 during the sdeptive reuse of the building for the Australian Technology Park Nost of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints stroud be checked to see if they have been filled with mortar and the tops sealed with elastrometric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Moris in 1995 included structural repairs to the brickwork in plasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.

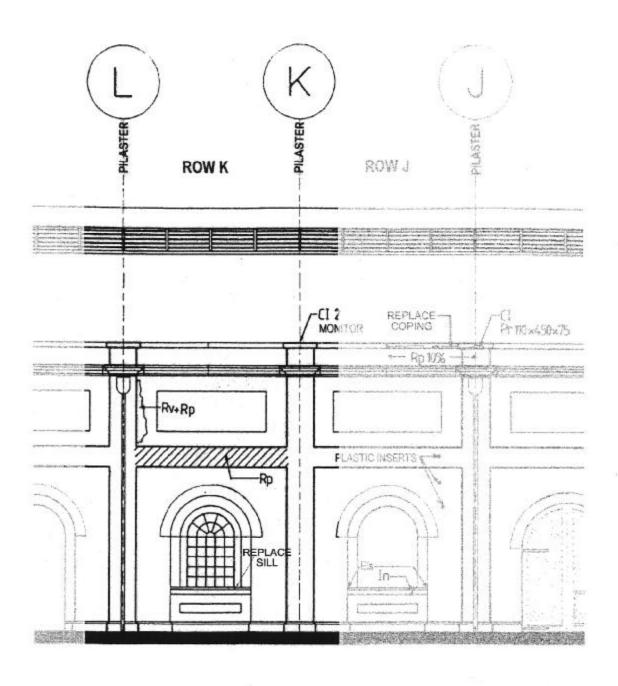
If the replacement or indenting of coping or comice stones as recommended does not proceed them these stone should be monitored and made safe at least every two years. This is a matter of public safety.

OTTO CABHALM + PARTNERS P/L 2003

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LOCATION	Row K/6 east		RECORD)# 10
	□ BAY ☑ ROW □ ANNEXE	□NORTH □SOUTH ⊠EAST □WEST		
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE	☐ INTERPRET	

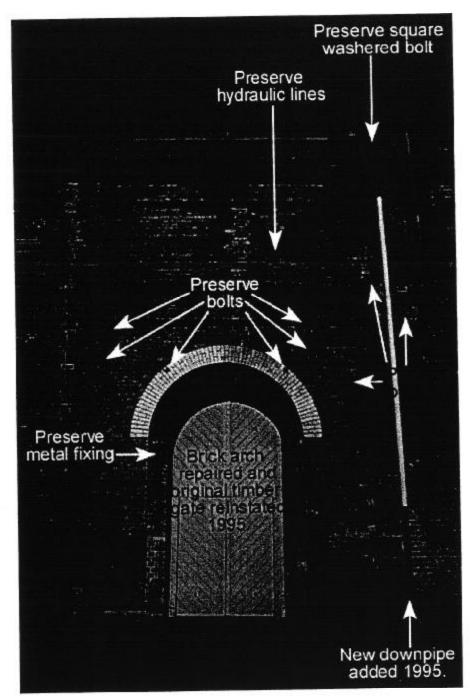


Record # 10	Row K/6 east	ANI	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE D SILLS WITH LIME MORTAR & POINT TOP OF JOINT THELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epoxy p Pr Patch stone v B Insert Brick	ert, remove and epoxy patch	Rc Trme Zac Rv MS	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

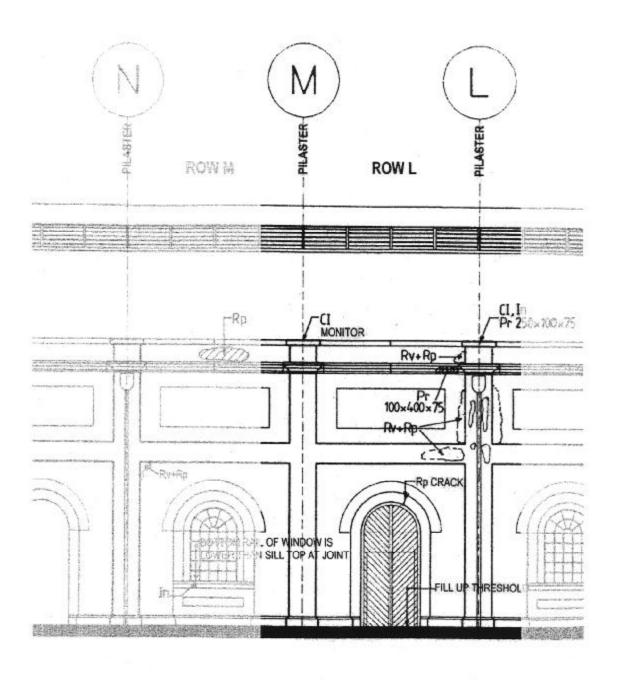
key SI - high, S2 - moderate CI - bad, C2 - poor, C3 RI - maintain, R2 - urger	- good		ve.	Row K/6 east Record #	10
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
Married Marrie		ERIO HE HINE			
PEDIMENT/PARAPET	51	C3	RI	Light wash & repoint as required. Els stone joints.	
STONEWORK	diameter		2 1240		
coping	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
weathering	NA	1000			
inserts	N/A				
BRICKWORK		1 25	0.1	Lists and 9 magnet as populated	
rims	SI	C3	RI	Light wash & repoint as required.	
panels	51	C3	RI	Light wash & repoint as required.	(Contract)
inserts	SI	C3	RI	Monitor inserts for corrosion.	-
BULLSEYE	N/A	1			
UPPER WALL	SI	C3	RI	Els joints. Remove vegetation. Repoint, light wash as required	
STONEWORK					
comice	SI	C3	RI	Light wash & repoint as required.	1
BRICKWORK					
rims	SI	CZ	RI	Remove vegetation, repoint brickwork Light wash as	
panels	SI	C3	RI	Preserve hydraulic lines.	
inserts	N/A				574
#ISEI LS		-			KIN DESI
WNDOW5	N/A	-		_ \	
LOUVRES	N/A		l	- 1	
LOWER WALL					
BRICKWORK				22 12 12 12 12 13 14 14 15 15 15 15 15 15 15 15 15 15 15 15 15	
rim	SI	C3	RI	Repoint rim. Light wash as required.	1
arches	51	C3	RI	Preserve bolts in arch.	
panels	SI	C3	RI	. Preserve hydraulic lines	
panel under	SI	C3	RI	Light wash & repoint as required.	
sill inserts	N/A	1	-		1
STONEWORK					
window sills	51	CI	R3	Replace stone sill.	1
plinth	51	C3	RI	Light wash & repoint as required. Mortar fill and els joints	
corbel	N/A	1			1
inserts	N/A	132			1 -
	70.				Done
WINDOWS	SI	C3	RI	Reinstated 1995	Done
Door(s)		1			

Record # 10	Row K/6 east			key S1 - high, S2 - moderate, S3 - low, S4 - i	ntrusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - rep RECOMMENDED WORKS	NOTES
lower wall continued	Mary Street Control by Tale Store	TROTE / METROLISMENT H	CONTRACTOR OF SPECIAL PROPERTY.		PER SERVICE SECURIOR SERVICE
GLAZED INFILL	SI	C3	RI	Window reinstated in 1995.	Done
THRESHOLD	SI	C3	RI	1	
TIMBER FRAMED	N/A	1			1
SERVICE PIPES	N/A				
STEELWORK	N/A			11	
PILASTER	SI	C3	RI	Light wash & repoint as required.	L
STONEWORK	20		67	The spatial of the second of t	
coping	51	C3	RI	Light wash & repoint as required. Els stone joints.	
comice	SI	C3	RI	Light wash & repoint as required. Mortar fill, els joints.	1
plinth	SI	C3	RI	Light wash & repoint as required. Mortar fill, els joints.	
inserts	\$2	C2	RI	Monitor corroded insert	
BRICKWORK					
parapet	SI	C3	RI	Light wash & repoint as required.	
body	SI	C3	RI	Light wash & repoint as required.	
down pipes	N/A		-		-
inserts	52	C3	RI	Preserve brackets as indicated in photograph.	i
ND PILASTER	N/A			1	
STONEWORKS					
coping	N/A	1		1	
comice	N/A			1	-
plinth	N/A	1			i i
inserts	Nil				
BRICKWORK					
parapet	N/A				1
body	N/A	1		in the contract of the contract of the contract of the contract of	
pipes	N/A				
inserts	Nil	1	L.	J	
OTHERI	SI	C3	RI	Preserve bolts indicated in photograph.	[
OTHER 2	SI	C2	RI	See machinery inventory for preservation of steam pipes (in photo)	Interpret
OTHER 3		1 10 10	-	The second secon	
1 mm 1 M	A			-1	

COMMENTS	Row K/6 east	Record # 10
	neine met trestatiot de producte de recharge de production de la composition della c	



LOCATION	Row L/5 east			RECORD #	Н
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH ⋈ EAST □ WEST			
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐	INTRUSIVE INTER	RPRET	



Record # I	Row L/5 east	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
	one ointed stone insert d insert, remove and epoxy patch oxy patch one with reinforcement	

key S1 - high, S2 - moderate C1 - had, C2 - poor. C3	- good			Row L/5 east Record #	11
RI - mantain, R2 - urger DESCRIPTION	nt work, R3	- repair	RECTIFICATION	RECOMMENDED WORKS	NOTES
DESCRIPTION .	S		CL Cultural common		**************************************
PEDIMENT/PARAPET	SI	C2	RI	Light wash & repoint as required.	
STONEWORK	<u></u>	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
coping	SI	C	NI.	Ught wash a repoint as required, hiortai iii and es joind.	
weathering	William Str	p	n e		
inserts	N/A	-	1		leaven or
BRICKWORK	SI	C2	R3	Remove vegetation and repoint brickwork. Light wash.	
panels	SI	C2	RI	Remove vegetation, repoint brickwork, light wash.	-
inserts	53	C3	RI	Monitor inserts for corrosion	
	CARL TO SERVICE	<u>u</u>	IXI	Fightor risers to corroson	
BULLSEYE	N/A		-		l terroren
UPPER WALL	SI	Q	R3	Repoint and patch as indicated. Light wash. Els joints.	
		-	A. Marianette	bland and the second	
STONEWORK	SI	C2	R3	Patch cornice as indicated. Mortar fill and els joints.	
BRICKWORK	1993		1500	500000 85 154	
rims	SI	C2	R3	Remove vegetation and repoint brickwork, light wash	
panels	SI	C3	RI	Light wash & repoint as required.	
	223		110		
inserts	N/A				
WINDOWS	N/A		-		-
Louvres	N/A	1	-		1
LOWER WALL					
BRICKWORK					
rim	51	C2	R3	Remove vegetation and repoint brickwork, light wash	
arches	SI	СЗ	RI		
panels	SI	C3	RI	Light wash & repoint as required.	
panel under	N/A	1		- Security and Association (Control of Control of Contr	
sill		C3	RI	Monitor all inserts for corrosion.	
inserts	51	C	KI	profitor at tise a for corrosion.	
STONEWORK					
window sills	N/A	1)1 1			
plinth	SI	C3	RI		
corbel	N/A		-		
inserts	N/A	-	-		
WINDOWS	N/A				
Door(s)	SI	C3	RI	Timber gate reinstated in 1995.	Done

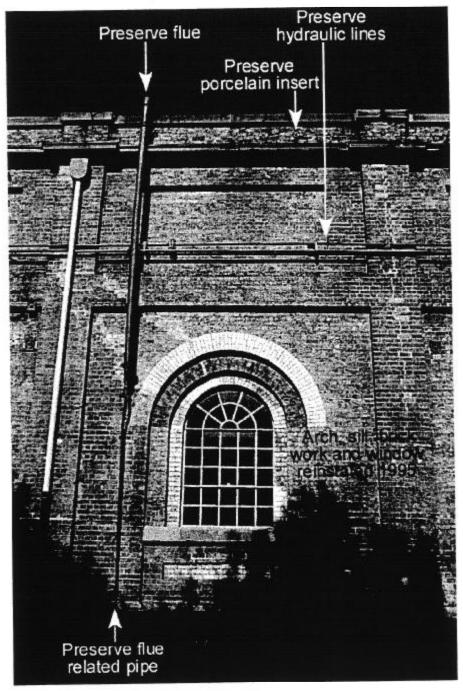
Record # 11	Row I	/5 east		key S1 - high, S2 - moderate, S3 - low, S4 -	intrusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad. C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - re	pair
lower wall continued	S		energy contraction		NOTES
GLAZED INRIL	N/A		T.	1.0	1 7
THRESHOLD	SI	C3	RI	1	
TIMBER FRAMED	N/A	-	- 12	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
WALL			p		
SERVICE PIPES	N/A				
STEELWORK	N/A				1 1
PILASTER	SI	C3	RI	Light wash & repoint as required. Patch stone. Els joints.	. L
STONEWORK	SI	C2	R3	Base and a second secon	
coping				Patch stonework where indicated. Mortar fill and els joints.	
comice	51	C3	RI	Light wash & repoint as required.	1 1
pinth	SI	C3	RI	Light wash & repoint as required.	
inserts	Nil				
BRICKWORK					
parapet	SI	C3	RI	Light wash & repoint as required.	
body	SI	C3	RI	Remove vegetation, light wash & repoint as required.	_ L
down pipes	S3	C3	RI	New downpipe added in 1995.	
inserts	SI	C3	RI	Preserve historic fittings.	11
END PILASTER	N/A	1	- I	1	
STONEWORKS					
coping	N/A			1	
comice	N/A	-	1	the state of the s	
plinth	N/A	ì	1		i i
inserts	Nil		. L	A SAME DESCRIPTION OF THE SAME SAME	
BRICKWORK					
parapet	N/A	-	1	1:	
body	N/A			54 (1.16) (1.16) (1.16) (1.16) (1.16) (1.16) (1.16) (1.16) (1.16) (1.16)	F
pipes	N/A				-
inserts	NI	L			
OTHERI	SI	C3	RI	Preserve bolts and brackets as indicated in photograph.	
OTHER 2	SI	C3	RI	Preserve hydraulic lines. See machinery report.	
agent services			A1		<u></u>
OTHER 3					

11	NA	IM	EN	ITS

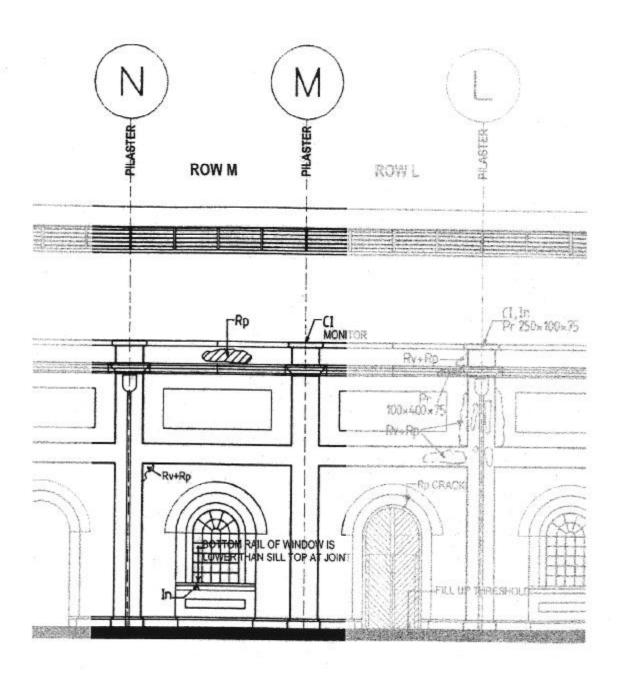
Row L/5 east Record # 11

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastometric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.



LOCATION	Row M/4 east	RECORD #	12
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	

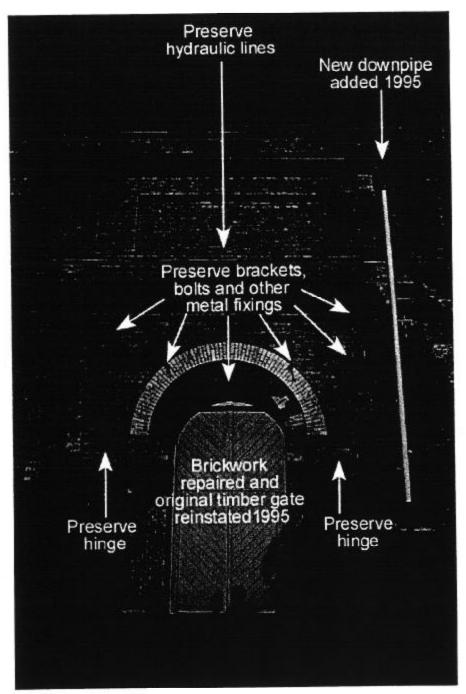


Record # 12 Row M/4 east	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
☐ R replace stone ☐ I Indent stone ☐ H Hairline jointed stone insert ☑ Rp Re point ☐ CI Corroded insert, remove and epoxy patch	
Ps Small epoxy patch Pr Patch stone with reinforcement B Insert Brick Els Mortar fill joint, elastometric sealant and backing rod to top	MS Make safe by removing loose stone Pb Patch brickwork Reconstruction of brick surface of wall

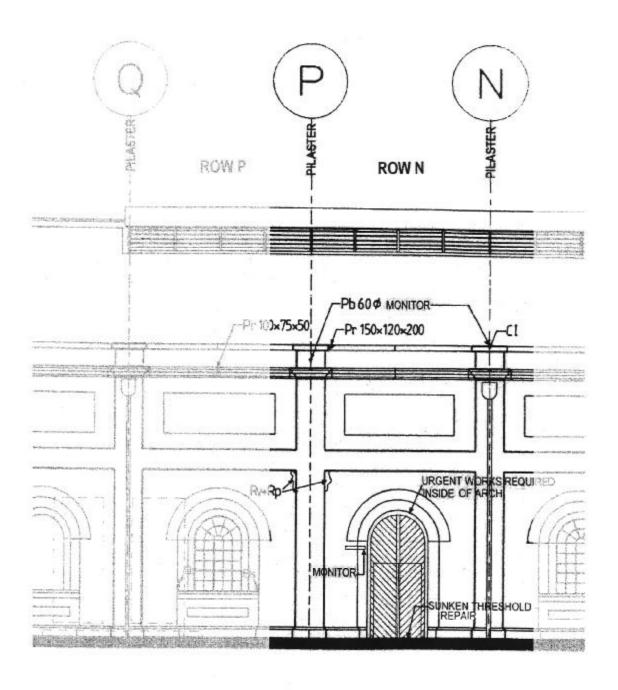
key SI - high, S2 - moderate, C1 - bad, C2 - poor, C3 RI - maintain, R2 - urgen	- good		/e.	Row M/4 east Record #	12
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	ŠI	C2	R3	Repoint brickwork as indicated. Light wash. Els stone joints.	
STONEWORK coping	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A			1	
inserts	53	C2	RI	Monitor insert for corrosion	
Brickwork					
rims	SI	C2	R3	Repoint brickwork as indicated.	
panels	SI	C2	R3	Repoint brickwork as indicated	
inserts	SI	СЗ	RI	Preserve porcelain insert	
BULLSEYE	NA				L
UPPER WALL	SI	C3	RI	Light wash & repoint as required. Els stone joints.	
STONEWORK				State of the state	, presente
comice	SI	C3	RI	Light wash & repoint as required. Mortar fill and Els joints.	
BRICKWOFK			v 1000		101000
rims	SI	C3	RI	Light wash & repoint as required.	
panels	SI	C3	RI	Light wash & repoint as required.	
inserts	N/A	l i	11	11	1
WINDOWS	N/A]
LOUVRES	N/A	J L	1		1
LOWER WALL					
BRICKWORK	761 =	100000		The state of the s	The war
rim	SI	C3	RI	Light wash & repoint as required.	1 0
arches	SI	G	RI	Arch restored in 1995.	Done
panels	SI	G	RI	Remove vegetation and repoint.	
panel under	SI	C3	RI	Light wash & repoint as required.	1
sill inserts	S2	C2	RI	Monitor any inserts for corrosion.	1
STONEWORK					
window sills	SI	C2	R3	Window or sill not level. See line drawing. Els stone joints.	1
	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
plinth			No.		
corbel	N/A		1		
inserts	NVA				J
Windows	SI	C3	RI	Cast-iron window reinstated in 1995.	Done
Door(s)	N/A	To proper			J
		and the second of the second			

Record # 12	Row M/4 east			key \$1 - high, \$2 - moderate, \$3 - low, \$4 - in	itrusive.
DESCRIPTION	SIGNIFICANGE		RECTIFICATION	C I - bad, C2 - poor, C3 - good. RI - maintain, RZ - urgent work, R3 - repa	NOTES
lower wall continued	W. P. T. J. B. L. T. L. T. L. T.		employment - 100 de o	The section of the se	
GLAZED INRIL	SI	C3	RI	11	11
THRESHOLD	N/A				L
TIMBER FRAMED	N/A				1
WALL SERVICE PIPES	N/A		-		
STEELWORK	N/A	homo			1 1
PILASTER	SI	C3	RI	Light wash & repoint as required. Mortar fill & els stone	L
STONEWORK					
coping	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
comice	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	1
plinth	51	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
inserts	53	C2	RI	Monitor corroded insert	
BRICKWORK					
parapet	SI	C3	RI	Light wash & repoint as required.	
body	SI	C3	RI	Light wash & repoint as required.	1
down pipes	53	C3	RI	New downpipe added in 1995.	1
inserts	S3	C2	RI	Monitor inserts for corrosion.	11
END PILASTER	N/A				
Stoneworks					
coping	N/A				
comice	N/A	f	- [
plinth	N/A		Î		1 1
inserts	Nil				L
BRICKWORK					
parapet	N/A	1		The second secon	1
body	N/A	1		T (T) T T T T T T T T T	1 1
pipes	N/A	[
inserts	Nil	Ī			1
OTHERI	SI	C3	RI	Preserve flue and related pipes. See photo & machinery report.	Interpret
OTHER 2	SI	C3	RI	Preserve hydraulic lines. See photo & machinery report.	1
OTHER 3					-

COMMENTS	Row M/4 east	Record # 12
OUTS AND AND THE WAY OF THE PARTY OF T		BELLEVIA DE LA TRANSPORTA
some further inspection. The stone joints tops sealed with elastometric sealant. If this should be applied to this wall.	irk identified in 1995 has been completed, I should be checked to see if they have been has not been done, then the general note	n filled with mortar and the to Els horizontal stone joints
Works in 1995 included structural repairs downpipes in the walls. These should be m	s to the brickwork in pilasters which had to conitored to check that no further cracks dev	peen damaged by corroding velop.
AT.		



LOCATION	Row N/3 east		RECORD #	13
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST		
	☐ URGENT WORK	HP [HIGH PRIORITY]	☐ INTERPRET	

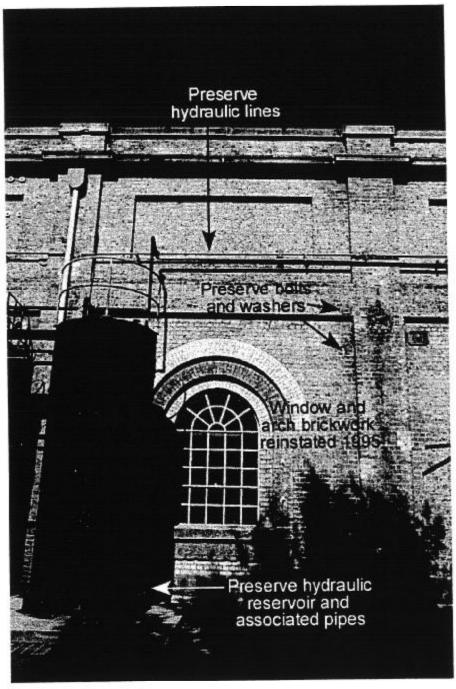


Reco	rd # 13	Row N/3 east	AND	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE D SILLS WITH LIME MORTAR & POINT TOP OF JOINT H ELASTOMETRIC SEALANT AND BACKING ROD.
日本 日本 日本 日本 日本 日本 日本 日本	Re point Corroded in Small epoxy Patch stone Insert Brick	ted stone insert sert, remove and epoxy patch	Rc Trme	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

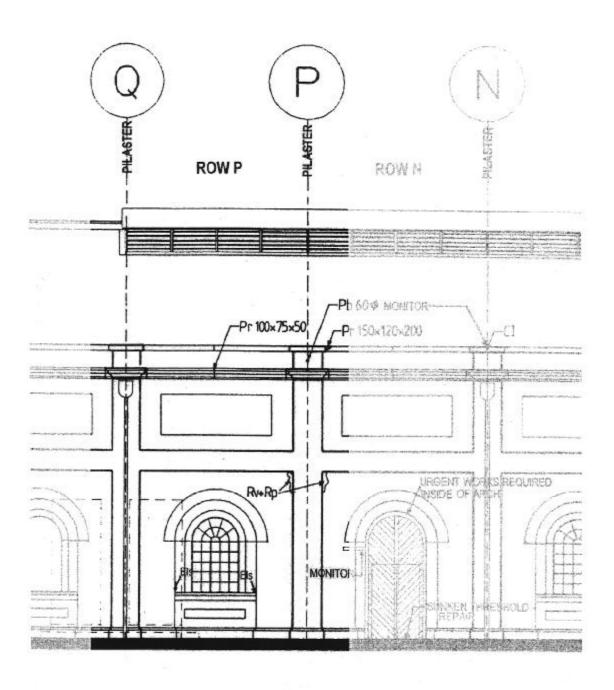
PEDIMENT/PARAPET SI C3 RI Light wash & repoint as required. Els stone joints. STONEWORK coping SI C3 RI Light wash & repoint as required. Mortar fill and els joints. BRICKMORK rims SI C3 RI Light wash & repoint as required. BRICKMORK rims SI C3 RI Light wash & repoint as required. BRILLISTE NVA BRICKMORK COMICE SI C2 R3 Patch with reinforcement as indicated in drawing. Els joints. STONEWORK COMICE SI C3 RI Light wash & repoint as required. STONEWORK COMICE SI C3 RI Light wash & repoint as required. BRICKMORK RIMS SI C3 RI Light wash & repoint as required. BRICKMORK RIMS SI C3 RI Light wash & repoint as required. Inserts S2 C3 RI Light wash & repoint as required. LOURES NVA LOURES NVA LOURES NVA LOURES NVA REMOVED REPOINT Works required inside arch. Severe cracking. PARAMETER SI C1 R2 URGENT works required inside arch. Severe cracking. PARAMETER SI C2 R3 Remove vegetation and repoint as indicated STONEWORK WINDOWS NVA REMOVED REMOV	iey SI - high, S2 - moderate, CI - bad, C2 - poor, C3	- good		N.	Row N/3 east Record #	13
STONEWORK coping SI C3 RI Light wash & repoint as required. Mortar fill and els joints. Weathering N/A Brickwork rims SI C3 RI Light wash & repoint as required. Brickwork rims SI C3 RI Light wash & repoint as required. Brickwork Rims SI C3 RI Light wash & repoint as required. Brickwork STONEWORK Comice SI C2 R3 Patch with reinforcement as indicated in drawing. Els joints. Brickwork Rims SI C3 RI Light wash & repoint as required. Brickwork Rims SI C3 RI Light wash & repoint as required. Brickwork Rims SI C3 RI Light wash & repoint as required. Inserts S2 C3 RI Monitor insert for corrosion. WNDOWS N/A LOURES N/A LOURES N/A LOURES N/A LOURES SI C2 R3 Remove vegetation and repoint as indicated Remove vegetation and repoint as indicated STONEWORK Rims SI C2 R3 Remove vegetation and repoint as indicated STONEWORK Window sills N/A plinth SI C3 RI Els horizontal stone surface. STONEWORK Window sills N/A plinth SI C3 RI Els horizontal stone surface.				RECTIFICATION	RECOMMENDED WORKS	NOTES
STONEWORK coping SI C3 RI Light wash & repoint as required. Mortar fill and els joints. Weathering N/A Brickwork rims SI C3 RI Light wash & repoint as required. Brickwork rims SI C3 RI Light wash & repoint as required. Brickwork Rims SI C3 RI Light wash & repoint as required. Brickwork STONEWORK Comice SI C2 R3 Patch with reinforcement as indicated in drawing. Els joints. Brickwork Rims SI C3 RI Light wash & repoint as required. Brickwork Rims SI C3 RI Light wash & repoint as required. Brickwork Rims SI C3 RI Light wash & repoint as required. Inserts S2 C3 RI Monitor insert for corrosion. WNDOWS N/A LOURES N/A LOURES N/A LOURES N/A LOURES SI C2 R3 Remove vegetation and repoint as indicated Remove vegetation and repoint as indicated STONEWORK Rims SI C2 R3 Remove vegetation and repoint as indicated STONEWORK Window sills N/A plinth SI C3 RI Els horizontal stone surface. STONEWORK Window sills N/A plinth SI C3 RI Els horizontal stone surface.	DEDIMENT/PARAPET	SI	C3	RI	Light wash & repoint as required. Els stone joints.	
coping SI C3 RI Light wash & repoint as required. Mortar fill and els joints. weathering NI/A inserts NI/A BRICKMORK rims SI C3 RI Light wash & repoint as required. BRICKMORK RIMS SI C3 RI Light wash & repoint as required. BRILLISTYE NI/A BRICKMORK rims SI C3 RI Light wash & repoint as required. Els stone joints. BRICKMORK rims SI C3 RI Light wash & repoint as required. Inserts S2 C3 RI Monitor insert for corrosion. WINDOWS NI/A LOUMES NI/A LOUMES NI/A LOUMES NI/A BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK rim SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRILLISTY RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI Light wash & repoint as required. BRICKMORK RIM SI C3 RI LIGHT WASH & REPOINT WASH REQUIRED. BRICKMORK RIM SI C3 RI LIGHT WASH & REPOINT WASH REQUIRED. BRICKMORK RIM SI C3 RI LIGHT WASH & REPOINT WASH REQUIRED. BRICKMORK RIM SI C3 RI LIGHT WA		- TO 1				
inserts N/A Bidoxivorial rims 51 C3 R1 Light wash & repoint as required. panels 51 C3 R1 Light wash & repoint as required. Bidoxivorial report as required. Bidoxivorial rims N/A Bidoxivorial rims S1 C3 R1 Light wash & repoint as required. Els stone joints. Stonework comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. Brickwork rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. Windows N/A LOURES N/A LIGHT wash & repoint as required. LIGHT wash &		\$1	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
BRICKWORK rims 51 C3 R1 Light wash & repoint as required. panels 51 C3 R1 Light wash & repoint as required. BULISTY N/A BULISTY N/A UPPER WALL S1 C3 R1 Light wash & repoint as required. Els stone joints. STONEWORK comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRICKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. WNDOWS N/A LOUVES N/A LOUVER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. panel under N/A gill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A Els horizontal stone surface.	weathering	N/A	1			
rims S1 C3 R1 Light wash & repoint as required. BILISSTE NI/A BULISSTE NI/A BULISSTE NI/A BULISSTE NI/A BULISSTE NI/A LIGHT wash & repoint as required. Els stone joints. STONEWORK comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRICKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. WNDOWS NI/A LOUVER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. BRICKWORK rim S1 C3 R1 Light wash & repoint as required. LOUVER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. BRICKWORK rim S1 C3 R1 Light wash & repoint as required. BRICKWORK rim S1 C3 R1 Light wash & repoint as required inside arch. Severe cracking. LOUVER WALL BRICKWORK rim S1 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sils NI/A plinth S1 C3 R1 Els horizontal stone surface. Corbel NI/A Els horizontal stone surface.	inserts	N/A				
panels S1 C3 R1 Light wash & repoint as required. BULISTYE NI/A BULISTYE NI/A UPPER WALL S1 C3 R1 Light wash & repoint as required. Els stone joints. STONEWORK comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRICKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. WNDOWS NI/A LOURES NI/A LOURES NI/A LOURES S1 C3 R1 Light wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. URG panels S1 C2 R3 Remove vegetation and repoint as indicated sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills NI/A plinth S1 C3 R1 Els horizontal stone surface. Corbel NI/A		ē	63	61	Light work & congent as required	
INDER WALL BULSONE NVA BULLSONE NVA UPPER WALL STONEWORK comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRICKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. panels S2 C3 R1 Monitor insert for corrosion. WNDOWS N/A LOURES N/A LOURES N/A LOURES S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. LOURES N/A LOURES N/A LOURES N/A PRESENVORK rim S1 C3 R1 Light wash & repoint as required. RCOWER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. RCOWER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. JURG Panels S1 C2 R3 Remove vegetation and repoint as indicated URG STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A LES horizontal stone surface.		Printed the state of				
BULSEYE N/A UPPER WALL SI C3 RI Light wash & repoint as required. Els stone joints. STONEWORK comice SI C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRUCKWORK rims SI C3 RI Light wash & repoint as required. panels SI C3 RI Light wash & repoint as required. inserts S2 C3 RI Monitor insert for comosion. WINDOWS N/A LOURES N/A LOURES N/A LOURES N/A LOURES N/A LOURES SI C1 R2 URGENT works required inside arch. Severe cracking, panels SI C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 RI Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 RI Els horizontal stone surface. corbel N/A		-	C3	KI	Light wash or repoint as required.	
UPPER WALL STONEWORK comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRUCKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. WNDOWS N/A LOURES N/A LOURES N/A LOURES N/A LIght wash & repoint as required. R1 Light wash & repoint as required. LOURES N/A LOURES N/A LOURES N/A PRESENT works required inside arch. Severe cracking. PRESENT works required. STONEWORK Window sills N/A Plinth S1 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK Window sills N/A Plinth S1 C3 R1 Els horizontal stone surface. Corbel N/A	inserts	Section 1	1000		Variety of the second second	
STONEWORK comice S1 C2 R3 Patch with reinforcement as indicated in drawing. Els joints. BRUCKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Monitor insert for corrosion. WNDOWS N/A LOUVRES N/A Remove vegetation and repoint as indicated STONEWORK WINDOWS N/A plinth S1 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK Window sills N/A plinth S1 C3 R1 Els horizontal stone surface. Corbel N/A	BULLSEYE	N/A				
BRICKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. WINDOWS N/A LOURES N/A LOURES N/A LOURES S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated S1 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A Els horizontal stone surface.	UPPER WALL	SI	C3	RI	Light wash & repoint as required. Els stone joints.	
BRICKWORK rims S1 C3 R1 Light wash & repoint as required. panels S1 C3 R1 Light wash & repoint as required. inserts S2 C3 R1 Monitor insert for corrosion. WINDOWS N/A LOURES N/A LOURES N/A LOURES S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated S1 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A Els horizontal stone surface.						
rims SI C3 RI Light wash & repoint as required. panels SI C3 RI Light wash & repoint as required. inserts S2 C3 RI Monitor insert for corrosion. WNDOWS N/A LOUVRES N/A Arches SI C3 RI Light wash & repoint as required. Arches SI C1 R2 URGENT works required inside arch. Severe cracking, URG panels SI C2 R3 Remove vegetation and repoint as indicated Panel under N/A sill inserts S2 C3 RI Preserve remnant hinges and other fittings as indicated STONEWORK Window sills N/A plinth SI C3 RI Els horizontal stone surface. corbel N/A	9000049400	SI	C2	R3	Patch with reinforcement as indicated in drawing. Els joints.	
rims SI C3 RI Light wash & repoint as required. panels SI C3 RI Light wash & repoint as required. inserts S2 C3 RI Monitor insert for corrosion. WNDOWS N/A LOUVRES N/A Arches SI C3 RI Light wash & repoint as required. Arches SI C1 R2 URGENT works required inside arch. Severe cracking, URG panels SI C2 R3 Remove vegetation and repoint as indicated Panel under N/A sill inserts S2 C3 RI Preserve remnant hinges and other fittings as indicated STONEWORK Window sills N/A plinth SI C3 RI Els horizontal stone surface. corbel N/A	BRICKWORK		580 1			
inserts 52 C3 R1 Monitor insert for corrosion. WNDOWS N/A LOUVRES N/A LOUVRES N/A LOUVRES N/A LOUVRES N/A LOUVRES N/A LIght wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A		SI	СЗ	RI	Light wash & repoint as required.	
WNDOWS N/A LOUVRES N/A RI Light wash & repoint as required. LIGHT wash & repoint wash & repoint as required. LIGHT wash & repoint wash & repoint as requi	panels	SI	СЗ	RI	Light wash & repoint as required.	
WNDOWS N/A LOUVRES N/A RI Light wash & repoint as required. LIGHT wash & repoint wash & repoint as required. LIGHT wash & repoint wash & repoint as requi	inserts	S2	C3	RI	Monitor insert for corrosion.	1:
LOWER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A		9.000	1			10
EDWER WALL BRICKWORK rim S1 C3 R1 Light wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A				-	: 1	
BRICKWORK rim S1 C3 R1 Light wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A	LOUVRES	N/A		-		
rim S1 C3 R1 Light wash & repoint as required. arches S1 C1 R2 URGENT works required inside arch. Severe cracking. panels S1 C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A	LOWER WALL					
arches SI CI R2 URGENT works required inside arch. Severe cracking, panels SI C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 RI Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth SI C3 RI Els horizontal stone surface. corbel N/A			g. 15 098000000	.51		
panels S1 C2 R3 Remove vegetation and repoint as indicated panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A	rim	51	C3	RI		1
panel under N/A sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A	arches	SI	CI	R2		URGENT
sill inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A	panels	SI	C2	R3	Remove vegetation and repoint as indicated	
inserts S2 C3 R1 Preserve remnant hinges and other fittings as indicated STONEWORK window sills N/A plinth S1 C3 R1 Els horizontal stone surface. corbel N/A		N/A				J
window sills N/A		52	C3	RI	Preserve remnant hinges and other fittings as indicated	I December
plinth \$1 C3 RI Els horizontal stone surface.	STONEWORK					
plinth \$1 C3 RI Els horizontal stone surface.	window sills	N/A				7
corbel N/A			C3	RI	Els horizontal stone surface.	1
24	(A)		Q 1000 HI	in second	The state of the s	
inserts N/A	corbel	N/A	1			
200	inserts	N/A				3
Windows N/A	WINDOWS	N/A		+		
Dook(s) \$1 C3 RI Timber gate reinstated 1995.	Door(s)	SI	G	RI	Timber gate reinstated 1995.	

Record # 13	Row N	/3 east		key S1 - high, S2 - moderate, S3 - low, S4 - in	trusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	ir NOTES
lower wall continued	White synthetiseRptsecks	Minute State Complete	er encertainmen	SECTION OF THE ROLE, THE SECTION OF	andraheta/firetaryte-visco
GLAZED INFILL	N/A	1			1
THRESHOLD	SI	C2	R3	Repair sunken threshold. Mortar fill and els joints.	
TIMBER FRAMED	N/A		1	4	Lanca of
WALL SERVICE PIPES	N/A		r		
STEELWORK	N/A		F		i i
PILASTER	SI	СЗ	RI	Light wash & repoint as required.	1
STONEWORK			1 100000000		
coping	SI	C2	R3	Patch stonework as indicated in photo. Els joints.	L
comice	SI	C3	RI	Light wash & repoint as required, Mortar fill and els joints.	-
plinth	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
inserts	\$2	C2	RI	Monitor corroded insert	1
BRICKWORK				70000 C C C C C C C C C C C C C C C C C	
parapet	51	C3	RI	Light wash & repoint as required.	1
body	SI	C3	RI	Light wash & repoint as required.	1
down pipes	S3	C3	RI	New downpipe added in 1995.	
inserts	53	C3	RI	Monitor any inserts for corrosion.	L. Jan
END PILASTER	N/A				
STONEWORKS	(has more	No. 1 (1) (1) (1) (1) (1) (1) (1) (1) (1) (
coping	N/A				
comice	N/A				F 1
plinth	N/A		1 1		
inserts	Nil			1	
BRCKWORK					
parapet	N/A			1	
body	N/A				F
pipes	NVA	E		U	
inserts	Nil		1		1
OTHERI	SI	C2	RI	Preserve bolts, hinges and other metal fittings as indicated in photo.	[
OTHER 2	SI	C3	RI	Preserve hydraulic lines. See photo & machinery report.	Interpret
OTHER 3	-			1	

OMMENTS	Row N/3 east	Record # 13
echnology Park. Most of the required w	d out in 1995 during the adaptive reuse of to york identified in 1995 has been completed, as should be checked to see if they have be his has not been done, then the general note	but the finished work ned en filled with mortar and
Vorks in 1995 included structural repai lownpipes in the walls. These should be r	rs to the brickwork in pilasters which had monitored to check that no further cracks de	been damaged by corrod evelop.
		£.



LOCATION	Row P/2 east		RECC	RD#	14
	□ BAY ☑ ROW □ ANNEXE	□NORTH □SOUTH □EAST □WEST			
	URGENT WORK	HP [HIGH PRIORITY]	☐ INTERPRET		

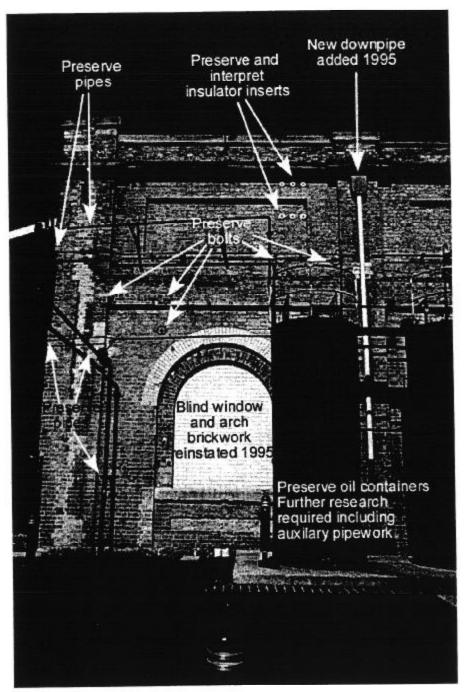


Record # 14	Row P/2 east	AN	OTE: FILL OPEN JOINTS IN STONE COPING, CORNICE ID SILLS WITH LIME MORTAR & POINT TOP OF JOINT THELASTOMETRIC SEALANT AND BACKING ROD.
☐ Ps Small epoxy p ☐ Pr Patch stone v ☐ IB Insert Brick	ert, remove and epoxy patch patch	☐ Tm ☐ Zax ☐ Rv ☐ MS ☐ Pb ☐ Rb	The state of the s

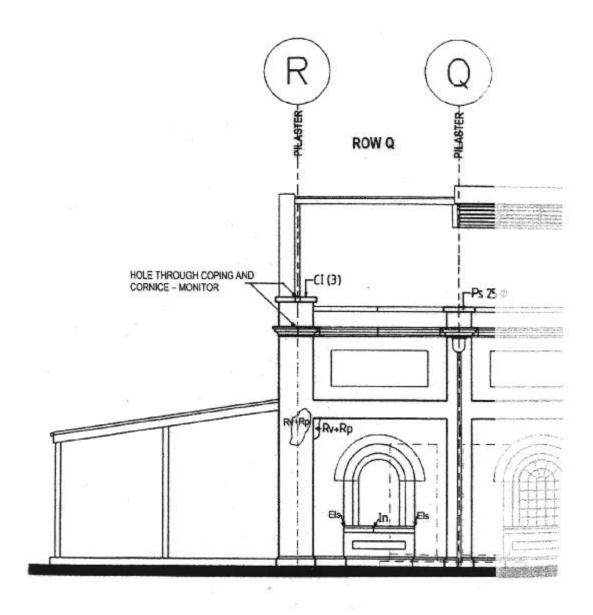
key S1 - high, S2 - moderate C1 - bad, C2 - poor, C3 R1 - maintain, R2 - urge	- good		ive.	Row P/2 east Record #	14
DESCRIPTIÓN	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C3	RI	Light wash & repoint as required. Els stone joints.	
STONEWORK	5/42	S 3353	DC 5880		
coping	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A			il	
inserts	N/A		1		
BRICKWORK			-		110000000000000000000000000000000000000
rims	SI	C3	RI	Light wash & repoint as required.	
panels	SI	C3	RI	Light wash & repoint as required.	
inserts	N/A	la la	i i	11	
BULISEYE	N/A		1		1 -
BOUSETE	IWA				1000000
UPPER WALL	SI	СЗ	RI	Light wash & repoint as required. Els stone joints. Patch	
STONEWORK					
comice	SI	a	R3	Patch with reinforcement as indicated in drawing. Els joints.	D. marin
BRICKWORK				The state of the s	
rims	51	C3	RI	Light wash & repoint as required.	L
panels	SI	C3	RI	Light wash & repoint as required.	1
inserts	N/A	1	H		
BC LAND AND AND A	N/A	i line		processing the state of the sta	1
WINDOWS	NA				
Louvres	N/A	1	4 1		****
LOWER WALL					
BRICKWORK					
rim	SI	C3	RI	Light wash & repoint as required.	-
arches	SI	C3	RI	Arch reinstated 1995.	Done
panels	SI	C2	R3	Remove vegetation and repoint. Light wash as required.	
panel under	N/A	- ONE III		The second secon	
sil		a	RI	Monitor inserts for corrosion	
inserts	53	1 02	KI	Piontor lise is for corrollar	
STONEWORK					
window sills	SI	C2	R3	Mortar fill and els joints.	
plinth	SI	C3	RI	Light wash & repoint as required.	
corbel	N/A		7 2500		
inserts	N/A	1	H = 13		
		C2	RI	Cast iron window reinstated 1995.	Done
WINDOWS	SI	C3	KI	Cast Iron Window relistated 1775.	
Door(s)	N/A				

Record # 14	Row P/2 east			key S1 - high, S2 - moderate, S3 - low, S4 - i	key S1 - high, S2 - moderate, S3 - low, S4 - intrusive.		
DESCRIPTION	SIGNIFICANCE		RECTIRCATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - rep RECOMMENDED WORKS	notes		
lower wall continued		ands the Charles con	Mark Market Street, St.	Photocomic of the protocopies program and reserve the first decided where well reflect to the first constant constant is a constant to the first constant constant is a constant to the first constant constant in the first constant to the first constant constant in the first constant constant constant to the first constant cons	scand throughout with		
GLAZED INFILL	SI	C3	RI		100		
THRESHOLD	N/A						
TIMBER FRAMED	N/A			M	1		
SERVICE PIPES	N/A						
STEELWORK	N/A						
PILASTER	SI	C3	RI	Light wash & repoint as required. Els joints.			
STONEWORK	7017	n265 - 11	6335 77-1				
coping	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.	-		
comice	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.			
plinth	SI	C3	RI	Light wash & repoint as required. Mortar fill and els joints.			
riserts	Nil		1		-		
BRICKWORK							
parapet	SI	C3	RI	Light wash & repoint as required.	· [
body	SI	C2	R3	Patch brickwork			
down pipes	N/A		£		ļ		
inserts	Nil						
END PILASTER	N/A	·			,		
STONEWORKS	2200000	Am. 1 4 4000	to a contact	I Year annual			
coping	N/A			I	L		
comice	N/A	1	1		1		
plinth	N/A				į.		
inserts	Nil	12			1		
BRICKWORK							
parapet	N/A	1			1		
body	N/A	I			1		
ppes	N/A				1		
inserts	Nil	İ.,		La reconstruction of the second second	1		
OTHERI	SI	CZ	RI	Preserve hydraulic reservoir & associated pipes. See machine report	1		
OTHER 2	SI	СЗ	RI	Preserve historic bolts and other fittings as indicated in photo.			
OTHER 3			F'''	I			

s been completed, ee if they have bee	he building for the Australia but the finished work need en filled with mortar and th
	to Els horizontal stone joint
ilasters which had no further cracks de	been damaged by corrodin evelop.
r	no further cracks or



LOCATION	Row Q/I east		RECORD #	15
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH ☑ EAST □ WEST		
	URGENT WORK	HP [HIGH PRIORITY]		



Record # 15	Row Q/I east	NOTE: FILL OPEN JOINTS IN STONE COPING AND SILLS WITH LIME MORTAR & POINT TOF WITH ELASTOMETRIC SEALANT AND BACKING	OF JOINT
R replace stone I Indent stone H Hairline joint Rp Re point	1	□ In Inject crack with epoxy mixture □ Rc Apply rust-converter to comoded ferrous metal inst □ Time To match existing □ Zac New Zincalume capping to replace comoded capp 冈 Remove vegetation and rake out joints 20mm deep	ing
Pr Patch stone B Insert Brick	r patch s with reinforcement	MS Make safe by removing loose stone Pb Patch brickwork Rb Reconstruction of brick surface of wall Other, see "Notes"	

key SI - high, S2 - moderate, CI - bad, C2 - poor, C3	- good			Row Q/I east Re	cord # 15
R I - maintain, R2 - urgen			Z		
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
	~		KDAPAMARINE.	ACTION OF THE PARTY AND ACTION OF THE PARTY	AND AND THE PROPERTY OF THE PARTY OF T
PEDIMENT/PARAPET	SI	СЗ	RI	Light wash & repoint as required.	
STONEWORK coping weathering	SI N/A	C3	RI	Light wash & repoint as required.	
inserts	53	CZ	RI	Monitor inserts for corrosion.	
BRICKWORK rims	SI	C3	RI	Light wash & repoint as required.	1 23 2 3
panels	SI	C3	RI	Light wash & repoint as required.	
inserts.	N/A	-			
Bullseye	N/A	1		The second secon	
BULISETE	INA				
UPPER WALL	SI	C3	RI	Light wash & repoint as required.	
STONEWORK					
comice	SI	C3	RI	Light wash & repoint as required.	
BRICKWORK					
rims	SI	C3	RI	Light wash & repoint as required.	
panels	SI	C2	R3	Remove vegetation and repoint. Light wash.	
inserts	SI	C3	RI	Preserve porcelain ferrules	
WINDOWS	N/A				
Louvres	N/A				
LOWER WALL					
BRICKWORK	723		light -		ne present
rim	51	C3	RI	Light wash & repoint as required.	
arches	SI	C3	R1	Light wash & repoint as required.	
panels	SI	C3	RI	Light wash & repoint as required.	
panel under sill	SI	C3	RI	Light wash & repoint as required.	
inserts	SI	C3	RI	Preserve bolts as indicated.	
STONEWORK					
window sills	SI	CZ	R3	Mortar fill and Els joints. Inject cracks as indicated.	
plinth	SI	СЗ	RI	Light wash & repoint as required.	
corbel	N/A			The same arrangement in the contract of	
inserts	N/A				
WINDOWS	N/Ā	1		Blind window.	
Door(s)	N/A	7			
1.5				Annual Marian Control of the Control	And the second s

Record # 15	Row Q/I east			key S1 - high, S2 - moderate, S3 - low, S4 - ir	key S1 - high, S2 - moderate, S3 - low, S4 - intrusive.		
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repr			
lower wall continued	resolvenia rischen vonen	A COPPLANIES AND ADDRESS OF		TO THE WAY AND A PROBLEM WHEN THE WAY TO SEE THE WAY AND THE WAY THE WAY AND AND THE WAY AND AND THE WAY AND AND THE WAY AND T	we der weit verreichte der der		
GLAZED INFILL	N/A	1	- 1		E. J		
THRESHOLD	N/A						
TIMBER FRAMED WALL	N/A	1		l i			
SERVICE PIPES	SI	C3	RI	Preserve pipes			
STEELWORK	N/A	i					
PILASTER	SI	C3	RI	Light wash & repoint as required.			
STONEWORK							
coping	SI	C2	R3	Patch stone as indicated.			
comice	SI	C3	RI	Light wash & repoint as required.	1		
plinth	SI	C3	RI	Light wash & repoint as required.			
inserts	Nil						
Влокмолк							
parapet	SI	C3	RI	Light wash & repoint as required.			
body	SI	C3	RI	Light wash & repoint as required.	I		
down pipes	S3	C3	RI	New downpipe added in 1995.			
inserts	Nil	l					
END PILASTER	SI	a	RI	Monitor. Repoint and light wash as required.			
STONEWORKS							
coping	SI	CZ	RI	Monitor hole through coping and comice.			
comice	SI	C2	RI	Monitor hole through coping and comice.	1		
pinth	SI	C3	RI	Light wash & repoint as required.			
inserts	S3	C2	RI	Monitor corroding insert			
BRICKWORK							
parapet	SI	C3	RI	Light wash & repoint as required.			
body	SI	C2	R3	Remove vegetation and repoint.			
pipes	SI	C3	RI	Preserve pipes as indicated.			
inserts	S2	C3	RI	Monitor and preserve bolts.			
OTHERI	51	C2	RI	Preserve oil containers & auxillary pipework. See machinery report.			
OTHER 2	SI	C3	RI	Preserve historic bolts and fittings as indicated in photo			
OTHER 3		A		and the same and the same as indicated in priorio			
O'LIPIN 3	****				E		

	Row Q/I east	Record # 15
OMMENTS	CHAING SO SHIPTS, PARKETONING COMPANIES TO SERVICE ASSESSMENT AS MINISTER OF THE SERVICE OF THE	and a reference as the section of th
The east wall had extensive works carried out Technology Park. Most of the required work some further inspection. The stone joints sho tops sealed with elastometric sealant. If this ha should be applied to this wall.	identified in 1995 has been completed, ould be checked to see if they have bee	en filled with mortar and the
Works in 1995 included structural repairs to downpipes in the walls. These should be mon	the brickwork in pilasters which had itored to check that no further cracks de	been damaged by corroding welop.



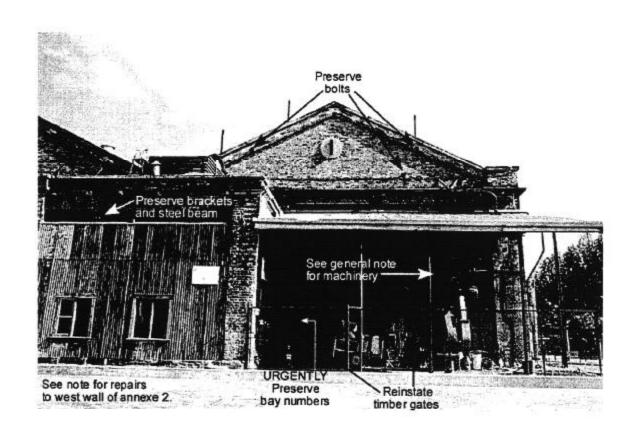
BUILDING FABRIC INVENTORY

SOUTH WALL **INVENTORY SHEETS**

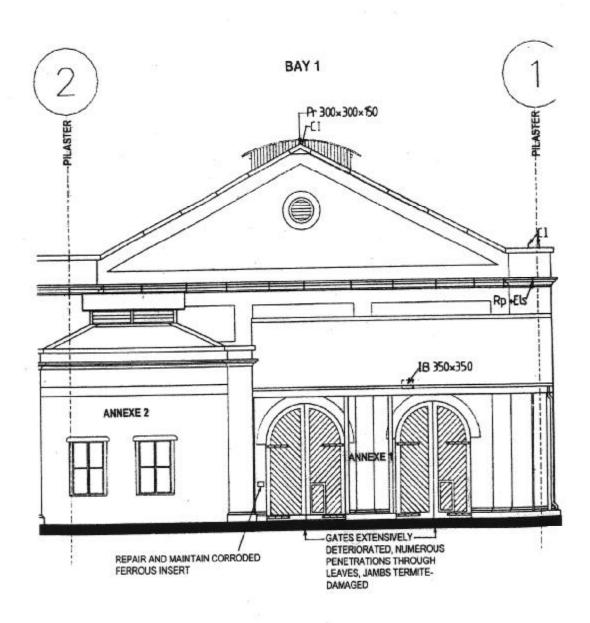
DRAFT 2003

BUILDING FABRIC INVENTORY

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LOCATION	Bay I/I south	RECORD	#	1
	⊠ BAY □ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST		
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET		

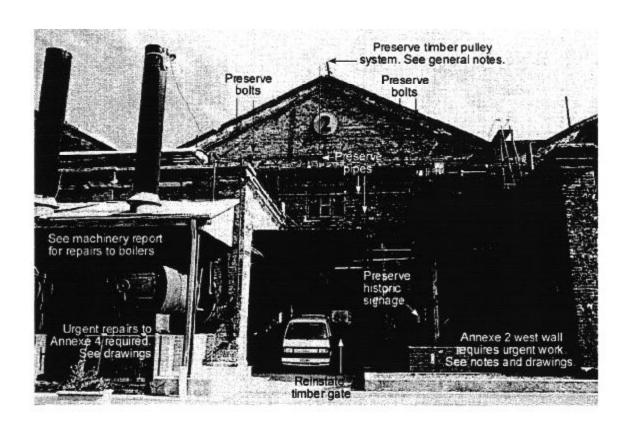


Record # I	Bay I/I south	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
☐ Ps Small epoxy ☑ Pr Patch stone ☐ IB Insert Brick	ed stone insert sert, remove and epoxy patch	In

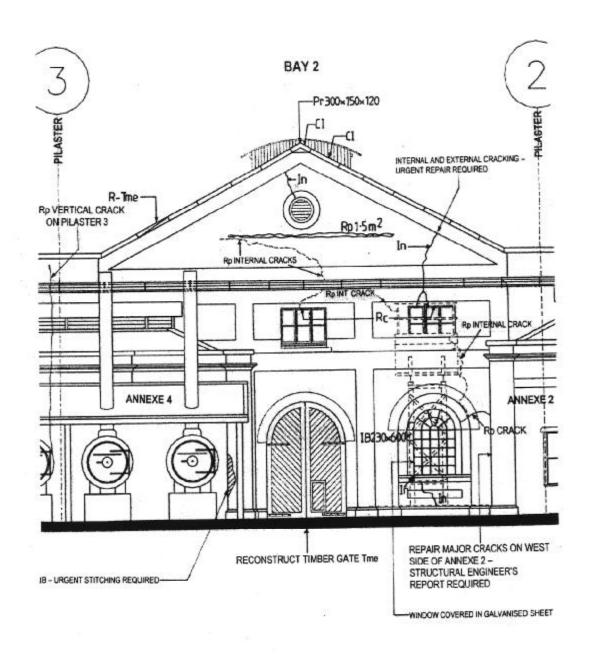
key SI - high, S2 - moderat CI - bad, C2 - poor, C RI - maintain, R2 - urg	3 - good		sive.	Bay I/I south Record #	ŧ 1
DESCRIPTION TO THE PROPERTY OF	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C3	RI	Generally good condition. Minor repairs noted on drawing.	E-101-10-10-10-10-10-10-10-10-10-10-10-10
STONEWORK				, services on a string.	
coping	SI	C2	R3	Mortar fill & els horizontal stone joints	
weathering	N/A	J91	d Same		
inserts	53	CI	R3	Remove corroded inserts and patch as indicated in drawing.	
BRICKWORK					
rims	\$1	CI	R2	Light wash and repoint as required. Structural assessment	Ungent
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A	for the			
BULLSEYE	SI	C3	R3	Louvres covered by modern signage. See general note.	
		J	J !Q	courses covered by modern signage, see general note.	-
UPPER WALL	SI	СЗ	RI	Light wash, repoint brick as required. Els stone joints.	
STONEWORK					
comice	SI	0	R3	Mortar fill & els horizontal stone joints and patch as indicated.	
BRICKWORK			1100	to tall in a cis not contain static junts and pater as indicated.	
rims	SI	C3	RI	Light wash and repoint as required.	
panek	SI	C3	RI		
338700000	772.535		- N	Light wash and repoint as required.	
inserts	N/A	1			
WINDOWS	N/A	l] [
Louvres	N/A	l	1		
LOWER WALL BRIOWORK					
rm	SI	C3	RI	Light wash and repoint as required.	
arches	ŠI	СЗ	RI		
panels	SI	C3	RI	Numerous attachments to panels in use. Monitor stability.	
panel under	N/A		151	Numer das accomments to panels in use. Profitor scaping.	
sil inserts	S2	a	R3	Monitor inserts, repair if required, removal may damage	
STONEWORK					
window sills	N/A	r gaenne		f	
ploth	SI	CZ	R3	Mortar fill & els horizontal stone joints.	
247-25-2007			7 200	i rocar illi ocids norizontal stone joints.	22202 000
corbel	N/A	1000			
inserts	52	C2	RI	Monitor all inserts for corrosion.	
WINDOWS	N/A				
Door(s)	SI	CI	R2	Major termite damage to gates. Damage affecting stability	URGENT

Record # I	Bay 1/1 south S1 - high, S2 - moderate, S3 - low, S4 - intrusive. C1 - bad, C2 - poor, C3 - good.						
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	RI - maintain, R2 - urgent work, R3 - repa	ir NOTES		
lower wall continued	DOMESTIC CONTRACTOR				March - March		
GLAZED INFILL	N/A	1	1. 1		The state		
	SI	C3	RI	Mortar fill & els horizontal stone joints.	1		
THRESHOLD	31	C	N	The second secon	1		
TIMBER FRAMED WALL	N/A						
SERVICE PIPES	SI	C3	RI	See general note for machinery.	1		
STEELWORK	N/A				1		
PILASTER			1		LJ		
STONEWORK	24000	2000	Aggs more				
coping	SI	C2	R3	Remove corroded insert and patch stone.			
comice	SI	C2	R3	Mortar fill and els joints and repoint.	15 3		
plinth	SI	C3	RI				
inserts	\$3	CI	R3	Remove comoded insert as indicated in drawing.			
BRICKWORK							
parapet	SI	C3	RI	Light wash and repoint as required.			
body	51	C3	RI	Monitor for water ingress. Light wash, repoint as required.			
down pipes	N/A		1	1	[
inserts	53	a	R3	Monitor inserts for corrosion.	1		
END PILASTER	N/A						
STONEWORKS							
coping	N/A	1			. L		
comice	N/A			1-1-			
plinth	N/A		ì	III	1		
inserts	Nil] [_ Ll		
BRICKWORK					Tyra ceesares		
parapet	N/A			[3	i		
body	N/A				-		
pipes	N/A			.] [
inserts	Nil	1 _	. L	It is an a second contract of			
OTHERI	SI	CI	R2	Preserve Bay numbers immediately.	URGENT		
OTHER 2		T		1			
OTHER 3	part 11 -		-				

COMMENTS	Bay I/I south	Record # I
See separate entry for Annexe 2/ South.		
these pipes are still in use, so any repair v	ed by termite damage and the many holes cause work should be done in consultation with the b es are affecting stability and the gates should b	lacksmith using the workshop
There is severe structural cracking in th general introduction to this fabric invento repair.	ne brickwork where Annex 2 adjoins Bay 1. To bry. A structural engineering assessment is needed	This is commented on in the ed and urgent stabilisation and
The brickwork in the gable rims in Bays corroding embedded metal. There is cru- assessed and repaired. The fault needs str	I to 4 South are split on their bed planes indic de repointing in this area and it is not known in fuctural assessment and repair.	ating a possible problem with f the problem was adequately



LOCATION	Bay 2/2 south	RECORD #	2
	BAY ROW ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	☐URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	

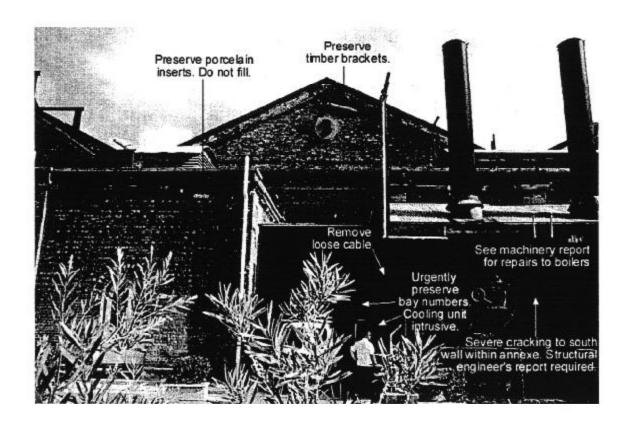


Record # 2	Bay 2/2 south	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Rp Re point CI Corrode Ps Small ep Pr Patch st IS IB Insert Br	one ointed stone insert d insert, remove and epoxy patch oxy patch one with reinforcement	In

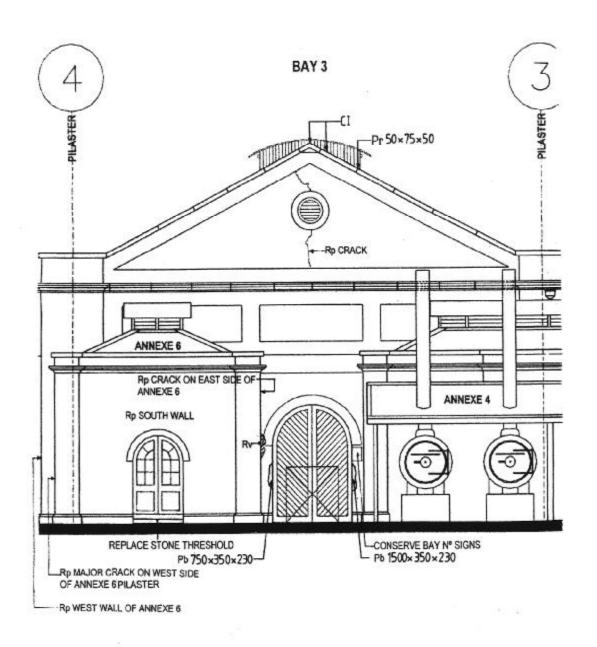
key \$1 - high, \$2 - moderat C1 - bad, C2 - poor, C R1 - maintain, R2 - urge	3 - good		ive.	Bay 2/2 south Record #	2
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	CI	R3	Major internal & external cracking. Repair urgently.	URGENT
STONEWORK		Same of the same	Cheek Internet	No selection and selection and the selection of the selec	
coping	52	CZ	R3	Replace stone and patch where required. See drawing.	
weathering	N/A				
inserts	\$3	CI	R3 .	Remove corroded inserts and patch stone.	
BRICKWORK rims	SI	C3	RI	Light wash and repoint as required. Structural assessment	URGENT
panels	SI	CI	R2	Repair major cracking immediately. See drawing for details.	URGENT
inserts	N/A	<u>.</u>	114	repair major cracking intributately, see drawing for details.	ONGENT
BULISEYE		-			
BOLISETE	SI	C2	R3	Repair crack. Modern signage covers louvres. See general	******
UPPER WALL	SI	C2	R3	Repair internal and external cracking as soon as possible.	URGENT
STONEWORK				Total portion and the second s	
comice	SI	C2	R3	Repair cracks.	
BRICKWORK					
rims	SI	CI	R2	Repair internal cracking urgently.	URGENT
panels	SI	a	R3	Repair internal/external cracking.	
inserts	N/A		1	N	
Windows	SI	a	R3	Apply rust converter to window heads.	
Louvres	N/A		IL		
LOWER WALL					
BRICKWORK					
rim	SI	C2	R3	Repoint internal crack.	
arches	SI	CI	R2	Repoint internal and external cracking.	URGENT
panels	SI	CI	R2	Repair internal cracking.	URGENT
panel under	SI	CI	R2	Repair large crack.	URGENT
sill inserts	N/A				
STONEWORK					
window sills	SI	CZ	R3	Mortar fill & Els joints. Inject crack as indicated on drawing.	
plinth	SI	C2	R3	Plinth exfoliating. Mortar fill & Els joints.	
corbel	N/A				
nserts	N/A	- 1			
Windows	SI	CZ	R3	Galvanised sheet covering window. Need further	
Doo3(s)	51	CI	R3	Reconstruct timber gate.	

Record # 2	Bay 2/2	south		key S1 - high, S2 - moderate, S3 - low, S4 - int	\$1 - high, \$2 - moderate, \$3 - low, \$4 - intrusive.	
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repai	r NOTES	
NAME OF THE PERSON OF THE PERS		ar mercanism where	Table Comment		CORPANIES CO.	
fower wall continued GLAZED INFILL	SI	C3	RI		1 1	
	100	H		M. J. Clinad Clateralds of Injets	-	
THRESHOLD	\$1	C2	R3	Mortar fill and Els topside of joints.		
TMBER FRAMED WALL	N/A		11			
SERVICE PIPES	SI	C3	RI	Rust proof as required.		
STEELWORK	SI	C2	RI	See machinery report for recommended works.		
PILASTER	\$1	СЗ	RI	Generally good condition, Light wash, Repoint, Els joints.		
STONEWORK						
coping	SI	C3	RI	Mortar fill and Els joints.		
comice	SI	C3	RI	Mortar fill and Els stone joints and crack.		
plinth	SI	C2	R3	Plinth exfoliating. Mortar fill and Els joints.		
inserts	Nil			Service Servic	1	
BRICKWORK						
parapet	SI	C3	RI	Light wash and repoint as required.		
(7) (2)	SI	C3	RI	Light wash and repoint as required. Part obscured by Anx 2.	1	
down pipes	3,000,000,000	1	\$11		-	
	N/A					
inserts	Nil	1	i i	The second of the properties we		
END PILASTER	N/A					
STONEWORKS						
coping	N/A	1	1202		1	
comice	N/A		-		7	
plinth	N/A				1	
inserts	Nil					
BAICKWORK						
parapet	N/A		- 1		1	
body	N/A	ļ	1 ****	F	1-0	
335	N/A		-			
pipes inserts	NII	1	4	VI		
#30/3	250	time to	100	The second second second		
OTHERI	SI	C3	RI	Preserve historic signage.	1	
OTHER 2	SI	C2	RI	Stabilise and preserve timber pulley system (electical insulators).	1	
OTHER 3						

COMMENTS	Bay 2/2 south	Record # 2
The brickwork in the gable rims in Bays I to corroding embedded metal. There is crude reassessed and repaired. The fault needs structure	epointing in this area and it is not known if	ating a possible problem with the problem was adequately
A section of plinth is noted for repair. See gen east wall in 1995. Some of the stone is alread be inferior stone or chemical treatment to the consideration. It may be preferable to treat we taken not to breach the asphalt damp proof co	y cracked and exfoliating. The cause of this ne stone at the time of installation. The re with sacrificial render prior to installation of	s is not known but is likely to epair of plinths needs further
If the replacement or indenting of coping or should be monitored and made safe at least e	comice stones as recommended does no very two years. This is a matter of public sa	at proceed them these stone fety.
a		



LOCATION	Bay 3/3 south		RECORD #	3
4	BAY ROW ANNEXE	□NORTH □SOUTH □EAST □WEST		
	☑ URGENT WORK	☑HP [HIGH PRIORITY] □INTRUSIV	'E INTERPRET	

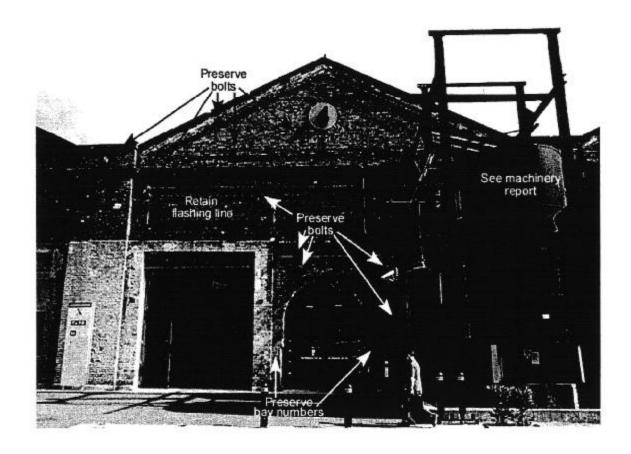


Recor	d#	Bay 3/3 south	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
	Re poi Corror Small e Patch Insert	stone i jointed stone insert int ited insert, remove and epoxy patch poxy patch stone with reinforcement	In

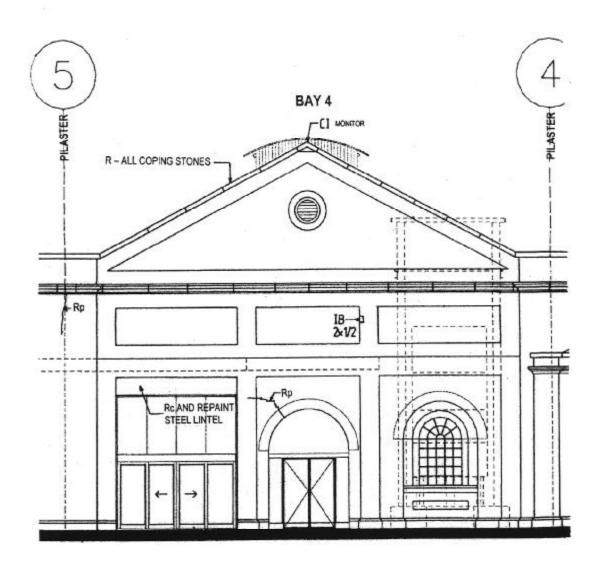
key ST - high, S2 - moderat CT - bad, C2 - poor, C RT - maintain, R2 - urge	3 - good		ve.	Bay 3/3 south Record #	3
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	CZ	R3	Repair large crack. Patch as indicated. Light wash, repoint.	
STONEWORK coping	SI	C2	R3	Patch where indicated in drawing, Fill & Els joints.	
weathering	N/A			The second second	
inserts	S3	CI	R3	Remove corroded inserts & patch stone as drawing indicates	
BRICKWORK	SI	C3	RI	Light wash and repoint as required. Structural assessment	URGENT
panels	SI	CI	R2	Repair large crack	URGENT
inserts	N/A	1	1.00.0000		
BULLSEYE	SI	C3	R3	Louvres covered by modern signage. See general note.	
UPPER WALL	SI	C3	RI		
STONEWORK					
comice	SI	C3	RI		
BRICKWORK					
rims	SI	C3	RI	Light wash and repoint as required.	a Passar
panels	SI	C2	RI	Internal cracking, Structural engineer's report required.	URGENT
inserts	N/A			1	
Windows	N/A				
Louvres	N/A				
LOWER WALL					
ńm	ŚI	СЗ	RI	Monitor for internal cracking.	1981 F
arches	SI	CI	R2	Remove vegetation. Stitch brickwork urgently. Preserve	URGENT
panels	SI	C2	R3	Severe internal cracking. Structural engineer's report	URGENT
panel under	N/A			THE R. P. LEWIS CO., LANSING, MICH. 49 P.	
sill inserts	N/A	4	711-111-1		
STONEWORK					
window sills	N/A				
plinth	SI	C2	R3	Plinth exfoliating. Mortar fill and Els topside of joints.	
corbel	N/A				
inserts	N/A				
WINDOWS					10 1 =
	N/A		4.00	Yes and the second of the seco	
Door(s)	SI	C2	RI		

Record # 3	Bay 3/3	south		key \$1 - high, \$2 - moderate, \$3 - low, \$4 - in	S1 - high, S2 - moderate, S3 - low, S4 - intrusive.	
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	C! - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repai		
lower wall continued	-	NAME OF TAXABLE PARTY.	Description Control of		age entry and constraints	
GLAZED INFILL	N/A		1 1			
THRESHOLD	SI	C2	R3	Threshold exfoliating, Mortar fill and Els joints.		
TIMBER FRAMED	N/A		1		L	
SERVICE PIPES	SI	C3	RI	See machinery report for further detail.		
STEELWORK	SI	C3	RI	See machinery report for further detail.		
PILASTER	SI	C2	R3		i	
STONEWORK					7	
coping	SI	C2	R3	Mortar fill and Els joints.	-	
comice	SI	C2	R3	Mortar fill and Els joints.	1	
plinth	SI	C2	R3	Mortar fill and Els joints. Exfoliating plinth.		
inserts	Nil	F		**************************************	1	
Вяскуюнк						
parapet	SI	CI	R2	Repair major cracking	URGENT	
body	SI	CI	R2	Repair severe vertical crack immediately	URGENT	
down pipes	N/A				-	
inserts	Nil	4	() i		11	
	S 200		1	The common of the contract of the	/1 200	
END PILASTER	State of		[
END PILASTER STONEWORKS	N/A					
	State of					
STONEWORKS	N/A N/A				-	
STONEWORKS coping	N/A					
STONEWORKS caping comice	N/A N/A					
STONEWORKS coping comice plinth	N/A N/A N/A					
STONEWORKS coping comice plinth inserts	N/A N/A N/A					
STONEWORKS coping comice plinth inserts BRICKWORK	N/A N/A N/A N/A N/A					
STONEWORKS coping comice plinth inserts BRICKWORK parapet	N/A N/A N/A N/I					
STONEWORKS coping comice plinth inserts BRIOKWORK parapet body	N/A N/A N/A Nii N/A					
STONEWORKS coping comice plinth inserts BRICKWORK parapet body pipes	N/A N/A N/A Nil N/A N/A					
STONEWORKS coping comice plinth inserts BRICKWORK parapet body pipes inserts	N/A N/A N/A Nil N/A N/A					

COMMENTS	Bay 3/3	SOUTH PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF THE PRODUCTION OF T	Record # 3
See separate entry for annexe 4 and n	nachinery report for boilers.		
The brickwork in the gable rims in Ba corroding embedded metal. There is assessed and repaired. The fault needs	crude repointing in this area and	it is not known if the	ing a possible problem wi ne problem was adequate
A section of plinth is noted for repair, may be preferable to treat with sacrifi in any works to the plinth.	See general notes re plinths. The cial render. Care should be take	e repair of plinths ne n not to breach the	eds further consideration. asphalt damp proof cour
	*		



OCATION	Bay 4/4 south			RECORD #		4
	BAY □ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST				
	☐ URGENT WORK	HP [HIGH PRIORITY]	□INTRUSIVE		T	



Record # 4 Bay 4/4 south		NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.			
Pr Patch stone	ed stone insert sert, remove and epoxy patch	In hject crack with epoxy mixture Rc Apply rust-converter to comoded ferrous metal insert Tme To match existing Zac New Zincalume capping to replace corroded capping Rv Remove vegetation and rake out joints 20mm deep MS Make safe by removing loose stone Pb Patch brickwork Rb Reconstruction of brick surface of wall Ot Other, see "Notes"			

key S1 - high, S2 - moderate, S3 - low, S4 - intrusive. C1 - bad, C2 - poor, C3 - good R1 - maintain, R2 - urgent work, R3 - repair			sive.	Bay 4/4 south Record #	4
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	CI	R3	Brickwork in good condition but coping needs replacing	URGENT
STONEWORK coping	SI	CI	R2	Replace all coping stones, except apex stone.	I IDCCNIT
weathering	N/A	Ci	NZ	replace all coping stories, except apex storie.	URGENT
inserts	53	CI	R3	Perman insert and patch apply stone	
BRICKWORK	22	, CI	N3	Remove insert and patch apex stone.	
rims	SI	C3	RI	Light wash and repoint as required. Structural assessment	URGENT
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A			£ [i
BULLSEYE	SI	C3	R3	Louvres covered by modern signage. See general note.	
UPPER WALL STONEWORK	SI	C3	RI	Good condition. Light wash, repoint as required,	
comice	SI	C3	RI		
BRICKWORK				man - Arvanona recent and control of the control of the land of the control of th	
rims	SI	C3	RI	Light wash and repoint as required. Insert brick indicated.	100000
panels	SI	C3	RI	Light wash, repoint as required. Retain flashing line.	
inserts	N/A	1	11		
WINDOWS	N/A	j]		
LOURES	N/A	1	1		
LOWER WALL BRICKWORK					
rim	51	C3	RI	Light wash and repoint as required.	
arches	SI	C2	R3	Repoint crack.	HP
panek	SI	C2	R3	Repoint crack.	
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	N/A	1			
STONEWORK					
window sills	SI	C2	R3	Mortar fill & Els joints	
plinth	SI	C3	RI		
corbe	N/A			The control of	
inserts	N/A				
WINDOWS	SI	СЗ	RI		0.5003
Door(s)	53	СЗ	RI	New glazed doors installed 1995.	18 14

Record # 4	Bay 4/4 south			key S1 - high, S2 - moderate, S3 - low, S4 -	intrusive.
DESCRIPTION	SIGNIFICANCE	CONDITION		CI - bad, C2 - poor, C3 - good RI - maintain, R2 - urgent work, R3 - re RECOMMENDED WORKS	
lower wall continued	executarion man	m market in the last	<u> </u>	THE RESERVED FOR THE PROPERTY OF THE PROPERTY	OTERNATIVE PRODUCTION OF THE
GLAZED INFILL	SI	C3	RI	Interpret former rope annex.	Interpret
THRESHOLD	SI	C2	R3	Mortar fill and Els topside of joints.	
TIMBER FRAMED	N/A	1	1		1
WALL SERVICE PIPES	N/A	11:1-11:1			
5 YO - 200 A 1869	SI	C2	R3	Apply rust converter to steel lintel. Repaint.	
STEELWORK	51	CZ	K	Apply rust converter to steel witer. Nepasite	SI &
PILASTER	SI	C3	RI	Generally good condition. Light wash, repoint. Els joints	. 1
STONEWORK	SI	C2	R3	Mortar Fill & Els joints.	
coping		*			
comice	SI	C3	RI	Mortar Fill & Els joints.	
plinth	SI	C3	RI	Mortar Fill & Els joints.	
inserts	Nil				
BRICKWORK					
parapet	SI	C3	RI	Light wash and repoint as required.	
body	SI	C3	RI	Light wash and repoint as required.	
down pipes	N/A		1		- []
inserts	Nil	1	1		1
END PILASTER	N/A				
STONEWORKS					
coping	N/A	1	1 4		
comice	N/A	-			
plinth	N/A		1		. 1
inserts	Nil				
BRICKWORK					
parapet	N/A	1	-	The second secon	1
body	N/A	1	Fare		1
pipes	N/A				
inserts	Nil	I	L	11.	
OTHER	Sī	C3		Interpret location of rope armex	Interpret
OTHER 2	2060		1	g mentember kenten der state in der der der der der der der der der der	
OTHER 3		-	-		-

COMMENTS	Bay 4/4 south	Record # 4
The glazed opening at left was the location of was an annex in this location known as the roto a tarpulin hung in the opening and faced to be displayed here because of exposure to	rope annex which was removed in 1995. The out. This should be interpreted at this local	ne lottery tickets were adhered
The brickwork in the gable rims in Bays I to corroding embedded metal. There is crude assessed and repaired. The fault needs struc	repointing in this area and it is not known	icating a possible problem with if the problem was adequately
A section of plinth is noted for repair. See g may be preferable to treat with sacrificial re in any works to the plinth.	eneral notes re plinths. The repair of plinths nder , Care should be taken not to breach	needs further consideration. It the asphalt damp proof course
If the replacement or indenting of coping of should be monitored and made safe at least	or comice stones as recommended does nevery two years. This is a matter of public s	not proceed them these stone safety.

EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

This is the only bay with corbels intact. Preserve and hietpres. 롸 NOTES Done Record # 15 9 Light wash and repoint as required. Tar line neutral Repoirt, Replace coping stones. Bs joints. Monitor inserts. Louvres covered by modern signage. See general note. Light wash, repoint as required. Retain flashing line. Replace comice stones shown. Fit and Els joints. Remove comoded insert and patch apex stone. Repoint rim, Light wash as required. Light, wash and repoint as required. Light wash and repoint as required. Light wash and repoint as required. Light wash and repoint as required. Repair crack. Mortar fill & Bs joints. New glazed door added in 1995. Repoint Light wash as required. Repair minor crack, hisert brick, Bay 16/15 south RECOMPENDED WORKS Monitor timber block. 2 Z 2 2 2 2 2 2 2 2 2 2 2 2 8 8 ā hery S1 - high S2 - moderate, S3 - low, 54 - intrave C1 - bad, C2 - poor, C3 - good R1 - mentan, R2 - urgert work, R3 - repair 0 O Ü a a a ũ 0 O 0 0 0 0 0 0 0 0 O 0 ООИВШОИ O NA īs ₹ Z × XX 2 2 PEDIMENT/PARAPET SI SIGNELCANCE 2 versions sits SI weathering Stowerons ments arches comice panek panels panels paper Storework LOWBR WALL phrit DESCRIPTION Whoons PER UPPER WALL Backwork Smit E. LOAMES Василовк

OTTO CIERHALM + PARTNERS PAL 2003

EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

	SNIFICANCE	мошомо	ноплонито	CI - bal, CI - poor CJ - good RI - mainsn R2 - urgent work, R3 - recar	Tall Control
DESCRIPTION	06	cc	38	RECOMMENDED WORKS	000
lower wall continued					
Guzzo Ineu.	S	O	2		
Тыяранош	55	0	ā		
Times Payed	₹				
Spence Pres	15	a	8	Rust proof corroded pipes.	u
Steamore	N.A.	L			
PLASTER	55	a	8	Els joints. Light wash & report as required.	
\$-cnewcar.	ō	a	83	Mortar fill and Bis joints	4
comice	ī	Q	133	Mortar fill & Bs joints.	-
E S	-5		Ц	Americ 20s conceals plinth. Unable to inspect.	Ц
inserts	Z	L			
Buchon					
parapet	īs	O	2	Light wash and repoint as required.	
bod	īS	H		Arnese 20s conceals plinth and body. Unable to impect	
sadid uwop	N/Z	L			
ments	ž				
END PILASTER.					Ц
Stowworks					
Sudan	20	ō	2	Puplace coping stone.	호
comce	īs	O	R	Mortar fill and Els joints.	L
pirth	5	O	ĕ	Mortar fill and Els joints.	-
interts	ž				
BICCADE					
undusd	15	O	83	Repoint entire parapet. Light wash as required	Ŧ
pody	5	a	2	Repoint Insert bricks as indicated. Light wash as required.	<u>±</u>
10 de	N/A	L			
reets	₹	_8		MANAGE SCHOOL SHEET STATE OF THE SECOND STATE	
OTHER	is.	a	2	Repar or restach timber electrical fame, See general notes.	4
OTHER 1	*		83	Famove intrusive electrical cables. See photo.	intrusive

OTTO CSEHALM + PANTINERS PIL, 2003

COMMENTS

Bay 16/15 south.

Record # 15

Further investigate line of tar across lower panel. This may be remnant weatherproofing from a former annexe building Monitor this area for corrosion and water ingress.

Timber frame holding electrical cabing is hanging precariously and should be made safe immediately. The timber bracket is of neutral significance and may be repaired or reattached as desired.

Orange pipes and cabling watally intrusive. Remove if possible, or consider more sympathetic solution.

If the replacement or indenting of coping or comice stores as recommended does not proceed them these stone should be monitored and made sale at least every two years. This is a matter of public salety.

EVELEIGH LOCOMOTIVE WORKSHOPS BUILDING FABRIC INVENTORY

DRAFT 2003

SOUTH WALL ANNEXES INVENTORY SHEETS

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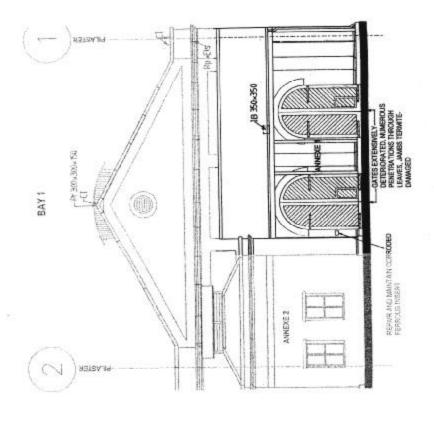
Otto Cserhalmi + Partners P/L

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BAY DORTH ROW SCUTH ANNEXE DEAST

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Date of print 25/06/2003



Record # 1	Arnese I/ South	AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
R replace stone H Harbe pintes R R Re point C Coroded ins R Stall group R B Insert Stone R B Insert Brick R B Insert Brick R B Fortar Brick R B Fortar Brick	d stone freet. Fig. remove and epoxy patch. Jack reinforcement and backing roof to top	In higher exist with abovy ministure Re, Appril varietoments to corroded ferrous mails inset. The for math existing The for math existing The formath existing Se News Zincshume stapsing to replace corroded togging Se News Zincshume stapsing to replace to pints Zimm deep Se News Zincshume stapsing to the state of pints Zimm deep Se News Sincshume stapsing to the state of pints Zimm deep Se News Sincshume stapsing to the state of the sta

OTTO CSERHALM + PARTNERS PIL 2003

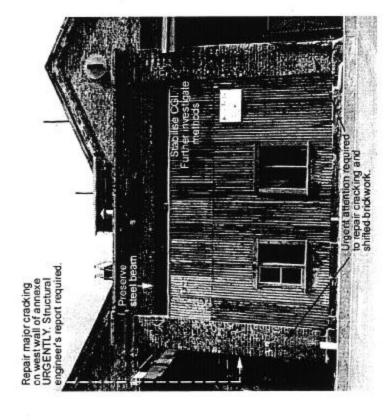
PWETEIGH LOCOMOTIVE WORKSHÜPS FABRIC INVENTORY Date of print 25/08/2003 3 NOTES Record # Annexe I/ South RECOMPENDED WORKS MOTADITTO38 key Si - Fright St - moderate, SJ - Ibw, S4 - Frimske, Cl - Ibel C2 - poor C3 - good Ni - marrian, N2 - vrgent work, N3 - mpar OTTO CSENIALMI + PARTNERS P/L 2003 N'A конвию N'N sal NVA states NVA NVA NVA XX N.N × PED MENT/PARAPET NI'A Y.Z N.N XX N'N ž V.Z X.Z ž ×2 windowsills Ni'A XX Ž N'N SIGNIBOVINCE weathering Stovework inserts comice panels panels banes arches corbel DESCRIPTION BROWORK STOREWORK LOWER WALL plenth Louviss UPPER WALL BECKACIA rms WASONS E Wecons Doores B.ALEYE

EVELEIGH LOCOMOTIVE WORKSHOPS FABRIC INVENTORY

Date of print 25/08/2003 4 NOTES. key 51 - high S2 - moderate, S3 - low, S4 - intusive. C1 - bad C2 - poor, C3 - gold R1 - maintain, R2 - ingert work, R3 - repor RECOMMENDED WORKS RECTHICATION OTTO CSERHALM + PARTNERS PIL 2003 Annexe 1/ South CONDITION N/A N/A × Z × N/N NA X down pipes DESCRIPTION See well continued Treath Played What. Struct Pres ladked merts parper BND PLASTER Record # | Sudco GAZED INFU. Storewolss Child 1000 THESTORY frid STONEMORK STILLWORK OTHER? OTHER) PLASTER OTHER

OTTO CSERHALM + PARTNERS PIL. 2003

FABRIC INVENTORY



LOCATION Annexe 2 /South			**C-C-C-C-C-C-C-C-C-C-C-C-C-C-C-C-C-C-C
□ BAY □ ROW ⊠ ANNEXE	SOUTH EAST WEST		
M URGENT WORK	SUBGENT WORK STHEIGH PRIORITY NEW SWE	TINTRUSIVE	TINTERPRET

OTTO CRENALM + PARTNERS P/L 2003

FABRIC INVENTIORY

OTTO CSEH-MUNI + PARTNERS PVL 2003

JPS FABRIC INVENTORY

NOTES + Record # 5 Els stone joints. Light wash, repoint brickwork as required. Good condition. Els joints. Light, wash, repoint as required. Apply rust converter to window heads as required. Light wash and repoint as required. Light wash and repoint as required. Plinth exfoliating severely. Repair Arnexe 2 /South RECOMPENDED WORKS Mortar fill and els joints. Mortar fill and els joints. R æ 2 83 2 E. Ē. PARCTIFICATION. luny S1 - high S2 - modernte S3 - low, S4 - intruúve C1 - blut C2 - poor, C3 - good R1 - maintain, R2 - urgent work, R3 - repor a O 0 O a O d đ CONDITION NIA NA Ϋ́Z N'N N. N. N.N PEDIMENT/PARAPET SI N.N N.N NA NA × ×× N/N wincow sits N/A SIGNIFICANCE STONEWOOK STONEWOOK westerng h ments comice panek pareis arches panel cartee DESCUPTION Browner STOVENOR LOWER WALL Sp. UPPRWALL BOWDE rims Whoows E STOREMORK LOURS BACKNORK Buusen

OTTO CSERHALM + PARTNERS P/L, 2003

EVELEICH LOCOMOTIVE VVORKSHOPS

FARRIC" INVENTORY

	Name of the last	Willewe & races		SI - Hgh, S2 - moderate, S3 - low, S4 - int	angive.
DESCRIPTION	ROMECHAGE	NOLIDON	RECTIFICATION	CI - bad CZ - panc. RI - marran RZ - urgert work R3 - repair RECORMENDED WORKS	Notes
lawer wall continued	-	Company of the last	CORP. STATE	A films with 4-clear at materials is as as an human and comment the control of first to 15,500 files and A films with 4-clear at materials and a films of the control of th	
GASSD Note	O	C	R	Glass intact.	
Тняезнош	NA				
Tingga RAMED	N/A	J			
Service Pres	N/A				
STEELWORK	55	a	ē	Montor steel beam. Apply rust converter if required	
PLASTER	25	а	2	Stables plaster, repair major cracks. Repoint.	URGENT
Stonework	15	۵	8	Mortar fil and els joints.	
comice	2	a	2	Mortar fill and els joints.	
pints	15	ū	2	Pinth exfolating severely. Rapair	÷
sheets.	ž	L			
Browon					
parates	15	С	æ	Light wash and repoint as required.	u
body	5	ŭ	82	Repair major cracks. Stabilise brickwork. Light wash, repoint.	UNGBNT
sadd wop	NA	L			
t see	ž	4	4		
BND PLASTER.	īs	ō	22	Platter may be unstable. Repair cracks, remove vegetation.	URGENT
STONEWORS					
Tudoo	5	0	æ	Mortar III and els joints.	
cornice	15	0	ā	Portar fill and els joints.	
plents	15	ō	2	Plinth exfoliating soverely. Repair	÷
then	2	4	4		
Brockyou					
partect	5	D	ž	Light wash and repoint as required.	
body	S	Ū	Ŋ	Remove vegetation. Repair major cracks. Stabilise brickwork.	÷
sodd	¥				
ireers	ž		4		
OTHER	5	ō	2	Repar major cracking on west wall of smesse immediately. Unstable.	N3080
OTHER 2	25	۵	5	Szokse compared non investigate preservation techniques.	
		1	1	the property of the second sec	

OTTO CER-W.HI + PARTNERS PA. 2003

EVELEGH LOCOMOTIVE WORKSHOPS

Record # 5

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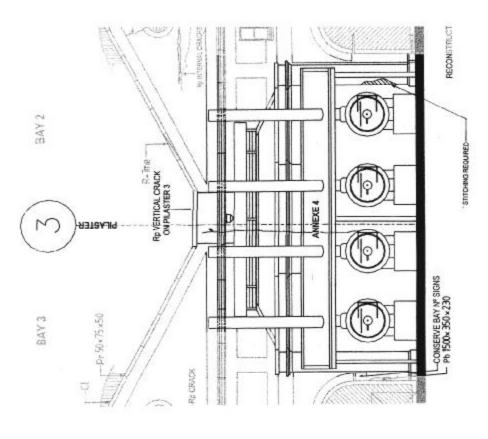
LOCATION Annexe 4 /South

RECORD # 7

□ NORTH SOUTH □ EAST WEST ☐ BAY ☐ ROW ⊠ANNEXE

SURGENT WORK SHP (HGH PRIORITY) □INTRUSIVE □INTERPRET

OTTO CSENHALNI + PARTNERS PIL 2003



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. Annexe 4 /South Record # 7

OTTO CSBHALM + PARTNERS PIL 2003

Date of print 25/08/2003 39 FABRIC INVENTIORY Severe cracking. Urgent uttention - consult, machinery report. URGENT URGENT NOTES Record # 7 Severe cracking Urgent attention - consult machinery report. -EVELEIGH LOCOMOTIVE WORKSHÖPS Annexe 4 /South RECOMPENDED WORKS Not surveyable 2 2 **РЕСПИСАТІОМ** OTTO CIBRHALM + PARTNESS P/L 2003 key SI - Ngh SI - moderate S3 - low. S4 - intrusive C1 - bul, C2 - poor C3 - good R1 - martan, R2 - urgert work R3 - repair ō ō мощамоо NN × ×× ×Z × NA V.N AN N'N XX ď. × N.V NIA K.Z PEDPRINTPARAPET N/A N/Z panel under 1 sil neerts wincow silk weathering Stowards neets arches panel panels COTTO panes PERMITS Porbel LOWER WALL plinth BACOVORK STOREWORK DESCRIPTION BACONORS im. Whoows LOUMS Œ. STONEMOR UPPER WALL BLUSHE

EVELEIGH LOCUMOTIVE WORKSHOPS

FABRIC INVENTORY

Date of print 25/08/2003 40 UNGENT UNGENT NOTES Done lory Si - high, Si - modernon, Si - low, Se - intrune Ci - bad, Ci - poor, Ci - good Ri - mantan, Ri - urgert work, Ri - repar Stitch brickwork urgently in eastern pillar, Light wash, repoint. Internal downpipes caused cracking, now diverted but intact. Urgently stitch eastern pilar. West pillar good condition. Urgently preserve boilers. Consult machinery report. Repoint vertical crack in plaster 3. Els joints. Repoint large vertical grack in plaster. Light wash and repoint as required. RECOMPRIDED WORKS Mortar fill and els joints Mortar fill and els joints Mortar fill and els joints 5 NOTANITOR 2 5 5 2 ë 2 5 OTTO CSER-MUM + PARTNERS PIL 2003 Annexe 4 /South ō O O O O ū ō ō ō CONDITION ō N/A N/A 42 N/A N/A 5 Z XX XX 3CM HCVACE NA S. NA š ā 50 15 C 2 S cown pipes lover woll continued Record # 7 Terson Ruses parapet GAZIONAL WALL Service PHIS Plinth from streets eserts END PLASTER parapet DESCRIPTION Sudo body mets Sec THES+XD STONEMONE BRCCANOR STONEWORK body SPEELWORK BROWNER PLASTER OTHER 2 OTHER 3 OTHERS

EVELEIGH LOCOMOTIVE VVOKISHOPS

FABRIC' İNVENTORY

COMMENS	
A CONTRACTOR OF THE PROPERTY O	anakani shistili nahindan unimmessi menasa majara sekang nahangginan indusi ketan
Annexe 4 is in very bad condition and is structurally where installed a large steel beam was inserted and	Annexe 4 is in very bad condition and is structurally unstable, it was ongrafly a brick siniex but when larger bot where installed a large steel beam was inserted and a light weight leanto annex added. The two parts of the an

slers should be conserved in this form.

A structural engineer's report is required to assess severe cracking on the back wall and the overall condition of the annexe. Cracks should then be repaired as soon as possible in consultation with this report. The eastern plaster bickwork needs to be stitched urgently. The four boilers are also severely deteriorating and the pit below them has blocked stormwater drains and fils with water. The boiler insulation is cose and should be assessed as it may be asbestos.

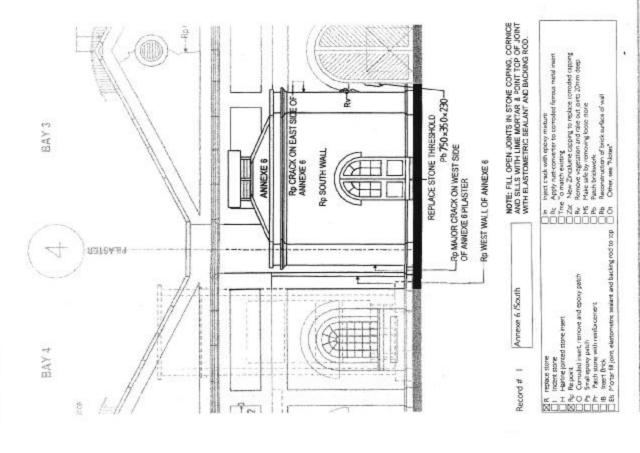
Recommendations for preservation of the botions should be outlined in the muchinery report. Interpretive signage could also be prepared.

OTTO CERHALM + PARTNERS P/L 2003

Date of print 25/08/2003 1

OTTO CER-WLHI + PARTNERS PIL 2003

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OTTO CSERVALM + PARTINERS PIL 2003

FABRIC'INVENTORY Date of print 25/08/2003 3 West & east walls - repair severe cracking. Report south, URGENT NOTES Record # 1 Bs joints. Light, wash and repoint as required. Mortar fil, ek joints. Patch stone. Light wash. Light wash and repoint as required. Light wash and repoint as required. Fatch stone, els joints. Light wash. Annews 6 /South RECOMMENDED WORKS Mortar fill and els joints. Mortar fit and els joints EVELEIGH LOCOMOTIVE VVORKSHOPS 5 2 2 2 ōċ 5 2 2 2 72 NUCTRICATION OTTO CSEHALMI + PARTNERS PIL 2003 hery S1 - high S2 - modientin, S3 - low, S4 - inbrukez. C1 - bad, C2 - poor, C3 - good R1 - montdon, R2 - urgent work, R3 - repair a U Ü 0 0 Q C 0 0 O СОИОШОИ IS AN AN 15 NA NA NA N'A NA ¥ Z. NVA N.A NA NA .s ¥ × 5 5 15 REMEMBER PECIMENT/PARAPET SI panel under sall inserts window silk weathering Becovina ferra panels inserts comice inserts Sudos pares insurts corbes ST-000FE LOWER WALL duid DESCRIPTION UPPER WALL STONEWORK STEE. WNDOWS STONEWORK STONENORE LOUMES WALCOMS Dcce(5) BALEN

EVELEIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

Record # 1	Annex	Annexe 6 /South	æ	lety 51 - high 52 - moderate 53 - low, 54	- intusive.
	ACE.	N	NOIT	C1 - bad, C2 - paer, C3 - good R1 - mantan, R2 - urgent work, R3 - repair	ande
DESCRIPTION	SEMBCM	СОМВШО	NCTHCA	RECOMPENDED WORKS	NOTES
Destrated Sownerd		-			
GAZID Ivita	25	0	E.		
Тневнол	S	ū	2	Replace stone threshold.	
THESH FAMED	ď.				
Service Pres	N/N				
STBLWORK	₹ Z				
PLASTER	5	a	2	Repairt, patch briddwork Repair any crecks. Bis joints.	4
Scorenous	20	Q	2	Mortar fill and els joirts.	
comice	S	Q	2	Mortar fill and els joints. Light wash.	
died	5	0	18	Es joints.	
27.000	ž				
BROWDIK					
paripet	55	0	æ	Light wash and repoint as required.	
body	Ιō.	Ω	2	Remove vegetation, repoint brickwork. Light wash	-
radd uwop	×				
irverts.	Z				
END PLASTER	ī	a	8	Light wash and report as nequired Repair any crades	4
STONEWORKS					
Budoo	55	а	B	Mortar fill and els joints. Light wash.	
comice	S	a	5	Nortar fill and els joints. Light wash.	
dulq	īs	۵	R		-
rest	ž	4	4		1
Bicriose					
parabet	ī	Ū	8	Severe cracking. Urgent repair. Light wash as required.	UNGENT
body	S	ū	8	Severe cracking. Urgent repair. Light wash as required.	URGENT
sociel	Y.Z		L		
irsets	2				
OTHER	5	Ü	8	Reput Umber floor within arrays.	÷
OTHER 2	5	0	8	Conserve & interpret hydraulic, machinery inside	Interpret
OTHER 3					

OTTO CSBHALM + PARTNERS P/L, 2003

Date of print 25/08/2003 S

OTTO CSER-KLM + PARTNERS PAL, 2003

SOUTH SOUTH WEST □ BAY □ ROW ⊠ ANINEXE

□URGENT WORK □ HP [HIGH PRIORITY] □ INTRUSIVE □ INTERPRET

OTTO CSERHALM + PARTINERS PIL, 2003

FABRIC INVENTORY

1

EVELEIGHT OCOMOTIVE WORKSHOPS

NOTE: FILL CPEN JONTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. Annexe 8a /South Record # 1

ANNEXE 82

- 4000-230

OTTO CERHALM + PARTNERS P/L 2003

FABRIC INVENTORY Date of print 25/08/2003 3 NOTES Record # 1 Annexe 8a /South RECOMPRISED WORKS EVELEIGH LOCOMOTIVE WORKSHOPS RECTITION OTTO CSERHALM + PARTNERS PIL. 2003 Ney 51 - high 52 - moderate, 53 - low, 54 - intrusive C1 - bad C2 - poor, C3 - good R1 - mantan, 82 - urgent work, R3 - regain NA N.A. NA parelander N/A sil nserts N/A NA NA N N.A N'N × PEDIMENT/PARAPET N/A × X ×× XX SIGNILICANCE window silk weathering Stovework coping parek nserts comice andres panels pares pleth corbe STENENCHE LOWER WALL Bacowosk DESCRIPTION BROWNSK riens Whodays STONENDRE UPPBR WALL 10 MSE WNDOWS Door(s)

EVEREIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

Date of print 25/08/2003 4 NOTES key S1 - high S2 - moderate, S3 - law, S4 - innuave. C1 - bad. C2 - poor. C3 - good R1 - maintan R2 - urgert work. R3 - repar RECOMMENDED WORKS **ВЕСТИСАТІОН** OTTO CARHALMI + PARTNERS PIL 2003 Annexe Ba /South NOLLIGNOO × 2 Y X NA NA MA N/A NA Y.Z × N/A sadd uwop DESCRIPTION lower wolf continued Three RAMES Wall Searce Pres parsper. ments parapet END PILASTER Record # 1 body Budoo GAZED INTL. STONENDAG plim street sadd THEHOD STEELWORK 4000 STONEWORK Висомози **PLASTER** O'HER? OTHER! OTHER

E		1

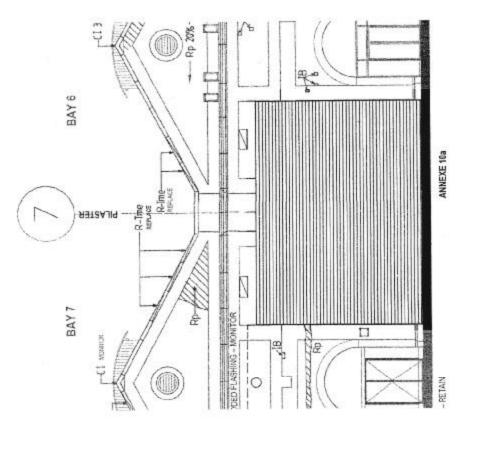
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□ BAY

EAST | **⊠ANNEXE**

LOCATION Annexe 10s /South

☐ URGENT WORK ☐ HP [HIGH PRORITY] ☐ INTRUSIVE ☐ INTERPRET

OTTO CSERHALM + PARTNERS P/L 2003



FABRIC INVENTORY

EVELEIGH LOLUMOTIVE WORKSHOPS

MITHELASTIC R regulate score I refer score I regulate score Re Apply rack- C Concided freet remove and spory patch Ry Remove and Ry Remove and spory patch Ry Remove and spory patch Ry Remove and spory patch Ry Remove and spory patch Ry Remove and spory patch Ry Remove and spory patch Ry Remove and spory patch Ry Ry Remove and spory patch Ry Ry Ry Ry Ry Ry Ry Ry Ry Ry Ry Ry Ry R	AND SILLS WITH LIME MORTAR & POINT TOP OF JOHN WITH ELASTOMETRIC SEALANT AND BACKING ROD. In pied once with growy mature Re Apply rust-converter to comoded forms, metal mant The much positive. Zur New Jeroshre capping to replace comoded daping. Riv Remove regetation and rise out pims Jihm deep Riv Search Provinced Rooms store. Riv Search Provinced Rooms store. Riv Search Provinced Rooms store. Riv Search Provinced Rooms store.
hart Brok. No Recontrust Monte if and electrometre evaluat and harking and for the City. Other see	contraction of brick surface of wail

PECHANICAL BOOMS NAMED AND AND AND AND AND AND AND AND AND AN	lay Samuel Samue	8,53 - low, 54 - m 3 - good		Arrange 10s South		
PECCATION PECCO VORES	NOTENDEN	int work, R3 - reput	a de la composition della comp	CONTRACT TO STATE OF THE STATE	Record #	7
NA NA NA		CONDILLON	PECTIFICATION	RECOMPENDED WORKS		STON
NAN NAN NAN NAN NAN NAN NAN NAN NAN NAN	HOPEN PARAFE					
NAN NAN NAN NAN NAN NAN NAN NAN NAN NAN	Storework		1			
NA NA NA NA NA NA NA NA NA NA NA NA NA N	weathering					
NA NA NA	nsets		-			j
NA NA NA	Browok					
NA NA NA NA NA NA NA NA NA NA NA NA NA N	parets					
NA NA NA NA NA NA NA NA NA NA NA NA NA N	inserts					
NA NA NA NA NA NA NA NA NA NA NA NA NA N	R. e. sys					
NA NA NA NA NA NA NA NA NA NA NA NA NA N						
N.Y. N.Y.	UPPERWALL	N'A				
A/N A/N	STONEWORK					
N/N A/N	сотное					
AN AN AN AN AN AN AN AN AN AN AN AN AN A	Beconde					
NA NA	spured		H T			
NA NA	meets					4
N.A. N.A.	Whepows					_
N/A N/A	Lowes		H			
Signature of the state of the s	LONG WALL					
La MA	Blowork					
Index NA NA	arches					
on sits NA NA	pareds					
NA NA	panel under sil nserts	Ī				
nth their steel series NA NA NA	STOREWORK					
one one NA NA NA	window sils					
orts N/A N/A	plents					
N/A N/A N/A	corbel					
N.A.	integris			The second secon		
NA	Whoows	N.A.				
	Doga(s)	ď.				1

FABRIC INVENTORY NOTES lary S1 - high S2 - moderate, S3 - low, S4 - intrusee C1 - bad C2 - poor, C3 - good R1 - mantan, R2 - urgent work, R3 - repair 44 RECOMMENDED WORKS EVELEIGHTEOCOMOTIVE WORKSHOPS **МСТИНСАТІОР** Annexe : Oa /South CONDITION XX × sold usop banting law yavd Tream Rivero Wince Spruce Pres parapet Record # 2 BND PLASTER. DESCRIPTION GAZEO INFLL body. STONEMONS perty T-RESHOLD plinth STORENOR STEELWORK PLASTER

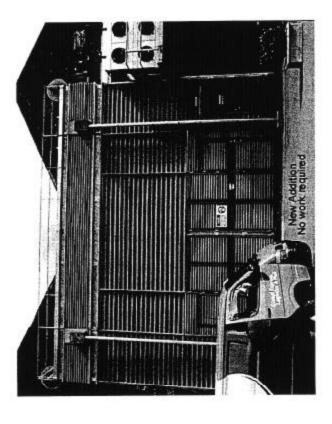
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Date of print 25/08/2003 10 OTTO CERHALM + PARTNERS PIL 2003

OTHER 3 OTHER? OTHER

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New addition with neutral significance. No data entered for this arrieve.		COMMBUTS	Arnexe 10a /South	Record # 2
		New addition with neutral significance. No data entered for this	is armove.	
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,5	10000			
□ B&Y □ ROW ⊠ ANNEXE	0.000	□ NORTH □ SOUTH □ EAST □ WEST		
☐ URGEN	T WORK	URGENT WORK THE HEAD PRIOR TO INTRUST TO INTERPRET	□ INTRUSIVE	MINTERPRE

OTTO CSER-WLM + PARTNERS P/L 2003

-- Rp 20%-BAY 6 ANNEXE 10a -R-Ime repact R-Ime-repact PILASTER BAY 7 DED FLASHING - MONITOR PC1 MONEOR the state of - RETAIN

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace state | A replace Annexe 10s /South Record # 3

OTTO CSEHALM + PARTNERS P/L 2003

FABRIC INVENTORY Date of print 25/08/2003 15 NOTES Record # 3 -EVÈLEIGH LOCOMOTIVE WORKSHÜPS FAB Annexe 10a /South RECOMPENDED WORKS RECTIFICATION OTTO CSER-IAM + PARTNERS P/L, 2003 key S1 - high S2 - moderate, S3 - law, S4 - sinnake. C1 - bac, C2 - poor, C3 - good R1 - mantan, R2 - urgent work, R3 - repair Y.Z ₹ Z ×2 XX PEDPENTIPARAPET NIA ¥.Z N.N MA windowsile NVA N/N NA ×2 N. panel under 1 sal inserts weathering Browck ms panes sees nets arches panek Sudo comice plinth corbe LOWER WALL DESCRIPTION Storework WHOOMS E UPPER WALL COUMES STONEWORK Вломопи Wisbows Dook(s)

Date of print 25/08/2003 16 FABRIC INVENTORY NOTES key S1 - high S2 - moderate S3 - low, 54 - mtusve C1 - bad, C2 - poor, C3 - pood R1 - maintain, R2 - urgent work, R3 - mpair RECOMPRINGED WORKS EVELEIGH LOCGMOTIVE WORKSHOPS RECINCATION Annexe 10a /South OTTO CERHALM + PARTNERS PAL 2003 СОИБШОИ ≨ 2 MA × Z Z × × NA NA N/A ¥ × N/A XX מ ×2 clown pipes been not continued Thesia Raveso Wasa. Service Pres parapet freets BND PILASTER Record # 3 parapes body Budos comice DESCRIPTION GAZED INFUL STUMENTHES Sudoo inserts THEHOD body piper STONEWORK STEENWOOR PLASTER OTHER? OTHER 3 OTHER

Vo data ortries required.		THE REPORT OF THE PROPERTY AND ADDRESS OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF T	PSSSPorter Lander was a
New addition with neutral agnificance. No data entries required.	COMMENTS	Annexe I Ca /South	Record # 3
	New addition with neutral significance. No data o	intries required.	
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FABRIC INVENTORY

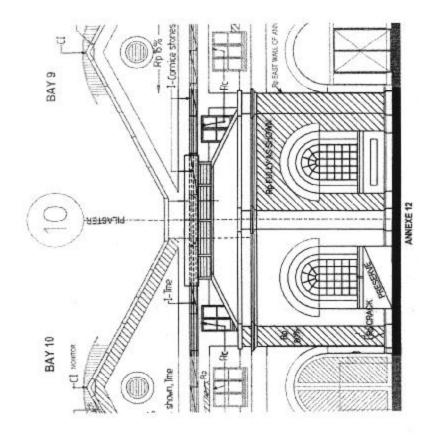
LOCATION Arneve 12 /South BAY □ ROW ⊠ ANNEXE

RECORD # 4

SOUTH SOUTH WEST

□URGENT WORK ◎ HP (HIGH PRIORITY) □ INTRUSIVE □ INTERPRET

FABRIC INVENTORY



NOTE: FILL OPEN JONTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. | R. register state | R. Agister Annexe 12 /South Record # 4

OTTO CSELLALMI + PARTNERS PVL 2003

EVELBIGH LOCOMOTIVE WORKSHOPS

FABRIC INVENTORY

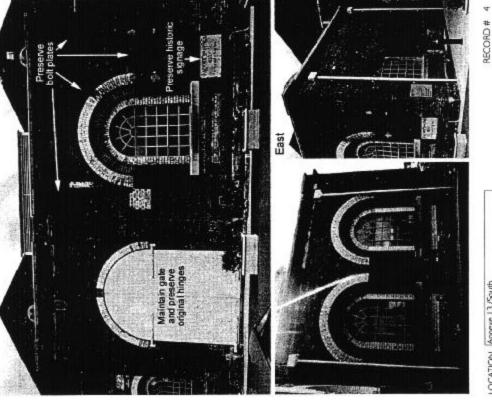
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DESCRIPTION	SIGNECANCE	COMBILION	NCITACATION	RECOMMENDED WORKS
PEDIMBNT/PARAPET	-5	a	22	Bis joints. Repoint brickwork. Light wash as required.
Stokewake	5	a	2	Bs joints. Light wash as required.
weathering	N/A			
inserts	Y.		J	
Bacowcar	NA			
		C	50	Recover account light worth accountined
	N/N	1	2	The state of the s
Busere	N.A			
		1		
UPSBLWALL		7	2	be joints, repoint, paron agin wash as required.
	15	a	2	Els joints. Repoint cracks. Parch brick. Iight wash as required.
	Alita			
panels	× ×		L	
inserts	N.Y			
Vincons	Y.Y			
Louves	N/N			
December film	-55	α	2	[Ceneral plaster] Repoint brickwork. Light wash as required
arthes	IS	O	æ	South wal: monitor eastern arch. Repoint arches as req'd.
spund	15	Ū	8	Repoint fully (all walls). Light wash as required.
panel under	15	0	æ	Eight wash, repoint. Unable to survey panel behind urinal
rearts	5	O	<u>«</u>	Preserve historic bolt plates.
\$*cy6wc4k				
window sile	5	α	5	Els joints. Light wash as required. Repair cracks if required.
plnth	ī,	a	8	Plinth backy emoded, repair, repoint, Light wash.
onte	ž			
inserts	N/A		1	
Whodes	ī	0	8	Apply rust converter to Fames if required

FABRIC' INVENTORY

EVELEIGH LOCOMOTIVE WORKSHOPS

МОЦУОНЦЭВИ Д Д Д Д Д Д Д Д Д Д Д Д Д Д Д Д Д Д Д	C1 - bat C2 - coor. C3 - cod R1 - marran R2 - urgent work R3 - repair R2O2PrefNDED WORKS B3 joints. B4 joints. Light wash as required. B5 joints. Light wash as required. E8 joints. Patch light wash if required. E8 joints. Patch light wash if required.
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	piester] Repoint fuly. Bis joints, Light wach as Light wash as required. Patch light wash is required.
	piester] Repoint fuly. Es joints, Light wach as Light wash as required. Patch light wash as required.
	piester] Repoint fuly. Es joints, Light wach as Light wash as required. Patch light wash is required.
NAN	
	Disjoints Light wash as required. Els joints. Patch light wash as required. Els joints. Patch, light wash if required.
	Ek pints. Patch, light wash as required. Ek pints. Patch, light wash i required.
2	čti pirts. Patch, light wazh if required.
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	Repoint parapet. Light wash as required.
	Repoint fully, Light wash as required.
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
2 2 2 2 2 2 3 3 3 3 3 3 3 3 3 3 3 3 3 3	(Western pilaster) Repoint fulty. Bs joints, Light wash, HP
2 2 2 2 3 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	
	Eb pints, Light wash as required.
2 2 2 3 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	Els joints, Patch, light wash as required.
Z 2 2 2	Bis joints. Patch light wash if required.
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
2	Repoint parapet. Light wash as required.
	Repair crads. Repoint 80% of body, Light wash as required.
Con Control	
ners N	
OTHER SI CO RS U	Unral - strip siner paint, treat comosion, consult, paint specialist.
OTHER 2 SS CS NU 1	New downpapes installed east/west wats in 1955. No work
OTHER 3	

COMMENTS	Annexe 12 /South	Record # 3
	誤	
OTTO CSERVALPI + PARTNERS PVL 2003	Date of	Date of print 25/08/2003



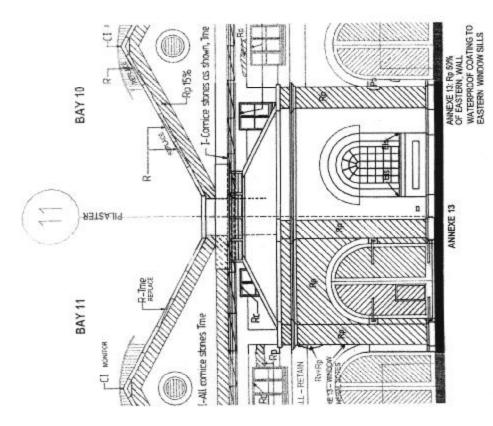
LOCATION Annexe 13 /South

BAY SOUTH
SANNEXE BAST
NEST

□URGENT WORK SHP [HIGH PRIORITY] □ INTRUSIVE □ INTERPRET

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..



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD. | In Inter-crack with abovy minture | In A. Apply material intert | Inc. Apply material material intert | Inc. To match estimate to camaded formus metal intert | Inc. To match estimate capping to replace camaded capping | Inc. To match estimate capping to replace camaded capping | Inc. Persons Agention and rake out part 20mm deep | Inc. Parts able by removing [looz stone | 20 Parts habitwork | 20 Parts and Parts Annexe 13 /South Record # 4

OTTO CSBHALM + PARTNERS PIL. 2003

Date of print 25/08/2003

20

S2 - moderate	E I	SI - low, 54 - indusive	*	Armoxe 13 /South Reco	Record # 4
CI - but, CI - poor, CJ - good RI - mantan, RZ - urgent work, R3 - repair	H work B	3 - repar			
DESCRIPTION	BIRCHICE	мошамоэ	RECTINCATION	RECOMPENDED WORKS	NOTES
PEDIMENT/PARAPET	22	O	ē	Light wash repoint as required Els joints.	
Srowwork	15	0	ōc	Els loims. Patch any cracks. Light wash as required.	
Susqueen	N.N.				
rserts	N.A.				
Bacowcea.	N.N				
spared	is	a	2	Repoint whole parapet as indicated. Light wash as required	72
nserts	NA				
Buusen	N.				
UPPER WALL	5	ō	2	Repair comide, repoint cracks. Treat corrosion.	호
Stonework					
comice	S	ō	2	Patch stone. Repoint cracks. Bis joints. Light wash.	<u>+</u>
BICKNOW	N/A				
panek	K.N				
ricerts	N'A				
Whodas	¥.Z				
Louves	¥.				
Brownek ###	ī,	α	8	[Central plaster] Peppoint. Light wash as recuired	
arches	N	O	ā	Montor arches for crading, Light wash, repoint as regid	-po
parets	v	a	2	Repoint brichwork Light wash as required	
panel under	ī	a	ß	hsert brick (west wall). Light wash, repoint as required.	
ngerts	ij.	0	æ	Monitor bolt plates for comosion and water ingress.	
Storework					
lęś wopuw	ī	а	2	Bs parts.	
plintn	ī	ō	5	Bs joints Repoint crack, Monitor hole-base of central	of large
Schel	×				
steen	×		1		
Whoows	īs	α	2	Apply rust converter to frames as required.	

OTTO CSENHALMI + PARTNERS P/L 2003

EVELEIGH LOCOMOTIVE WORKSHOPS

NOTES hey SI - high, SI - moderite, SI - low, 54 - intraver-CI - bad, CI - point, CI - good RI - maintain, RI - crigent work, RI - inpair Repoint whole body, Insert missing brids, Light wash as [East pilester] Bis joints. Repair brickwork. Light wash, repoint. Preserve historic signage [south wolf] in consultation with a specialist. Repaint, Light wash as required. Monitor bolt plate for corresion and water ingress. Repoint whole parapet. Light wash as required. Bs joints. Repoint cracks and patch if required. New dowrpipes notabled 1995. No work required Els joints. Repair any cracks. Patch if required. Bijoints. Light wash, repoint as required Els joints. Repoint cracks Light wash. Bs joints. Repoint cracks. Light wash. Repoint. Light wash as required. RECOMMENDED WORKS Mortar fill and els joints. Els joints. Light wach. [West pilaster] 83 83 R3 5 83 8 13 2 2 5 5 5 2 8 2 2 × RECTRCATION Annexe 13 /South 0 0 O Q Q 0 a a 0 0 Ø C Q 0 0 0 C NOLLGNGO AN AN 5 3 N/A 55 XX 5 2 2 S 25 Z SICKIECANCE ŝ 50 sadd uwop THREE FAMES WALL SEARCE PIES barranal contraed brubet reserts Record # 4 END PLASTER abusos parapet (pog Sudoo appr Natur DESCRIPTION STONEWORS GAZED INFL. comics things are a plinth THEHOLD. STBELVYCAX 6000 STONEMOR OTHER 2 OTHER 3 PLASTER OTHER

Date of print 25/08/2003 22

ОТО СВИЧИМ + PARTNERS P/L 2003

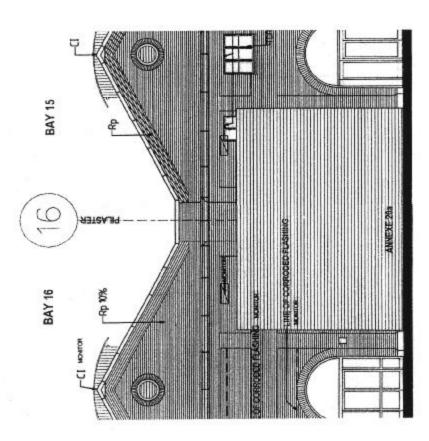
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FABRIC INVENTORY

OTTO CSENHALMS + PARTNERS PAL 2003

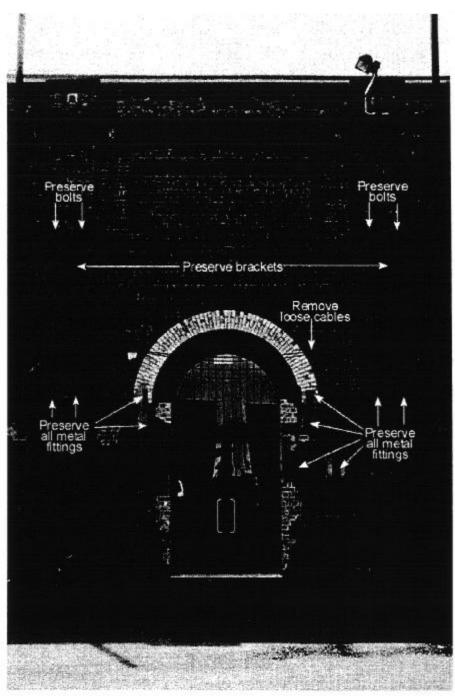
Date of print 25/08/2003 31

RECORD# 6

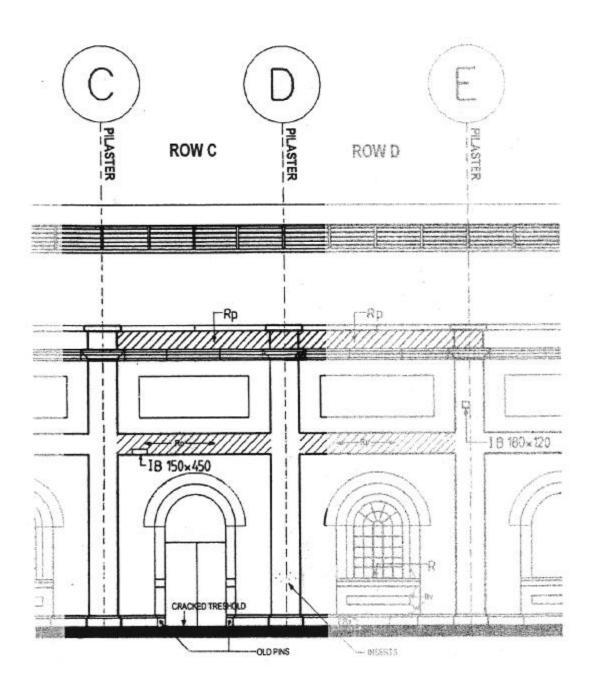


Record # 6	Annexe 20a /South	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.	STONE COPING, CORNICE AR & PCINT TOP OF JOINT NT AND BACKING ROD.
I repair store Inches store Inches ported store Inches point Connobel store Sinal spore patch Paul store with r I brank store with r I brank store with r I brank store with r I brank store with r I brank store with r I brank store with r I brank store with r I brank store with r I brank store with relations and relations with relation	ed state insert best, remove and epoxy patch outh reinforcement, with reinforcement, sealers and backing rod to top	In Inject critick with speay mediume Re. Apply car-conventor to compiled in Time In naturo eciting. Ze. New Zinsaume capping to replace Rive Remose vegetation and rate out joint Fig. Pales as the year-conventy floate street Resonancies on place street Resonancies on place street Resonancies on place strates of an	ure moded formus metal insert replace connoded capping to all joints 20mm deep 5 store ise of wall

OTTO CSERHALM + PARTNERS P/L 2003



LOCATION	Row C/13 west	RECO	ORD#	3
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST		
	URGENT WORK	☐ HP [HIGH PRIORITY] ☑ INTRUSIVE ☐ INTERPRET		

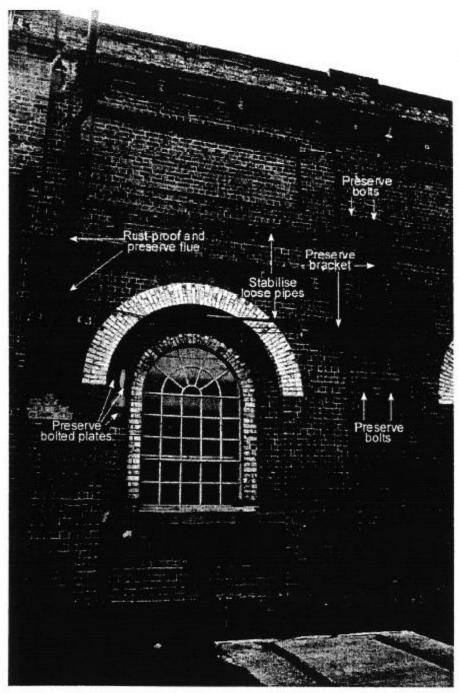


Record # 3	Row C/13 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epoxy Pr Patch stone	ed stone insert ert, remove and epoxy patch	In

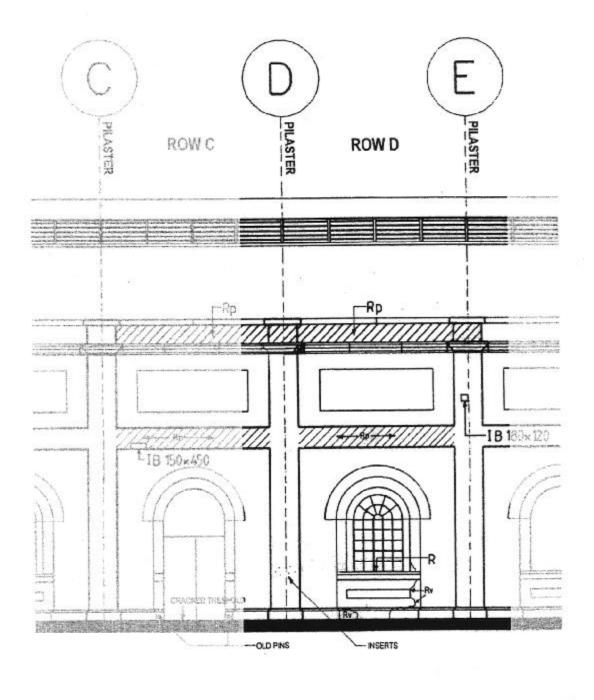
key ST - high, S2 - moderat CT - bad, C2 - poor, C RT - maintain, R2 - urge	3 - good		ive.	Row C/13 west Record	# 3
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint parapet brickwork. Els joints. Light wash as required.	
STONEWORK					
coping	\$1	C2	R3	Mortar fill and Els joints.	
weathering	NA				
inserts	N/A				
BRICKWORK					
rims	N/A		-		-
panels	SI	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A			The second secon	
BULLSEYE	N/A		1		
UPPER WALL	SI	C3	RI	Light wash and repoint as required.	
STONEWORK				Territoria de la companya del companya de la companya de la companya del companya de la companya	
comice	Sī	СЗ	RI	Mortar fill and els stone joints.	
BRICKWORK	3.	-	100	i for car fill and els scorie joints.	
nms	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	h
33	-			algrit wast and repolite as required.	-
inserts	N/A		1		
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL BRICKWORK					
rim	SI	C2	R3	Repoint rim and insert brick as shown.	
arches	ŠĪ	C3	RI	Light wash and repoint as required.	-
panels	SI	C3	RI	Light wash and repoint as required.	100
panel under	N/A		Marie 1	e loqui co	
sill inserts	N/A	10000-111-00			
Stonework					
window sills	N/A				
		C3	D)	1	
plinth	SI	C3	RI		
corbel	N/A				
inserts	N/A				
Windows	N/A		100		
		10 <u>000</u> 00 m mm	121	MANAGEMENT OF THE PARTY OF THE	
DOOR(5)	53	U	RI	New glazed door installed 1995.	Done

Record # 3	Row C/13 west			key \$1 - high, \$2 - moderate, \$3 - low, \$4 - in	crusive.
DESCRIPTION SIGNATURE OF SIGNAT		CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	NOTES		
lower wall continued					A
GLAZED INFILL	53	C3	RI	New glazed door added 1995.	Done
THRESHOLD	SI	CI	R3	Repair cracked threshold. Els joints. Light wash as required.	
TIMBER FRAMED	N/A	i	1	I L	1
WALL SERVICE PIPES	N/A	-	-		
STEELWORK	SI	C2	RI	Preserve steel brackets. Rust proof as required.	Interpret
PILASTER				1	face of
STONEWORK					
coping	SI	C2	R3	Els joints. Light wash as required.	لنسا
comice	SI	C3	RI	1	
plinth	SI	C3	RI		
inserts	Nil				
BRICKWORK					
parapet	SI	C2	R3	Repoint entire parapet. Light wash as required.	
body	SI	C3	RI	Light wash and repoint as required.	i
down pipes	N/A	-			
inserts	52	C2	RI	Monitor inserts and brickwork. Repair as necessary	Comment
END PILASTER	N/A				
STONEWORKS					
coping	N/A	1	45.0	THE REPORT OF THE PARTY OF THE	
comice	N/A	1	-	1	
plinth	N/A	i	-	ii	
inserts	NI				I
BRICKWORK					
parapet	N/A		F	1	
body	N/A			I come a series and a series an	
pipes	N/A	-			1
inserts	Nil	1		Figure 1	
OTHERI	S4	C2	R3	Remove loose cables stretched between steel brackets.	Intrusive.
OTHER 2	51	C2	RI	Monitor historic metal fittings for corrosion and cracked brickwork.	
OTHER 3		-	-	- HILL -	

COMMENTS		Row C/13 West	Record # 3
Consider a more sympathetic li	ighting solution for the wes	t wall.	Microsoft Market (n. 16. Messachet auch der Amelikanis photograf einer auf von
In the pilaster and lower pane surrounding brickwork for crac to structure or fabric. Consider	ks. Do not remove unless	nsert is rusting and expanding a	and causing significant damage
£			



LOCATION	Row D/12 west	RECORD #	4
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	

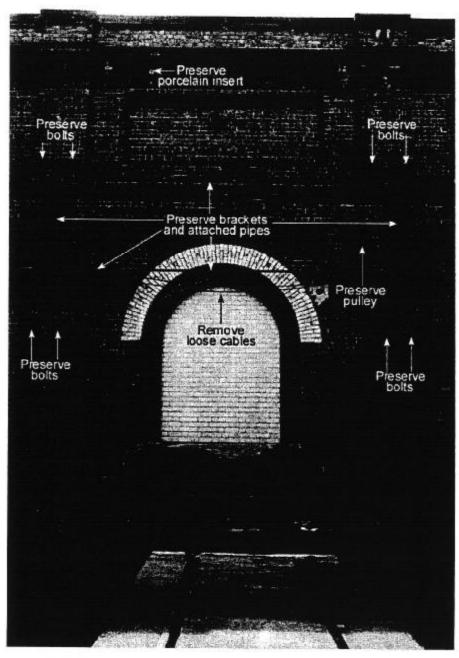


Record # 4	Row D/12 west	AN	D SILLS WITH LIME MORTAR & POINT TOP OF JOINT TH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epox	ne inted stone insert insert, remove and epoxy patch ky patch ne with reinforcement	☐ Tme	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

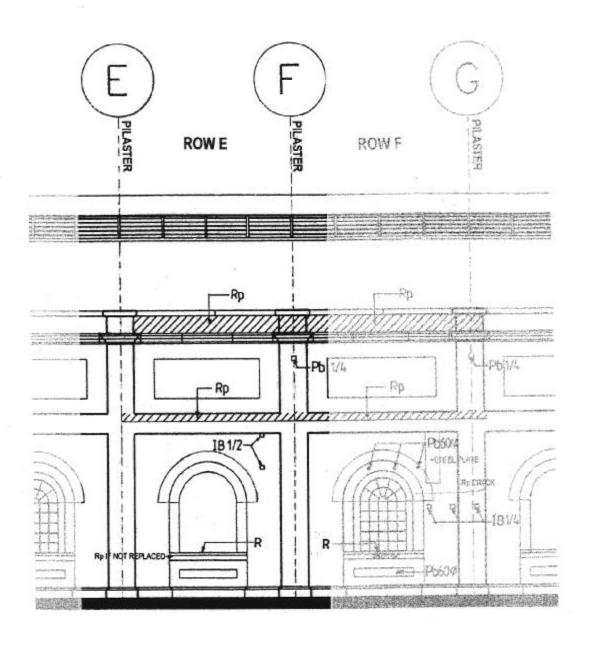
key SI - high, S2 - moderat CI - bad, C2 - poor, C RI - maintain, R2 - urge	3 - good		we.	Row D/12 west Record #	4
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	(2	R3	Repoint parapet brickwork. Els joints. Light wash as required.	
STONEWORK					
coping	51	CZ	R3	Mortar fill and Els joints. Light wash as required.	
weathering	N/A				
inserts	NVA				
BRICKWORK rims	N/A		12	process and the same of the sa	
		-			-
panels	SI	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A		7.0		
BULLSEYE	NVA				
UPPER WALL	SI	C2	R3	Repair cornice. Light wash and repoint as required.	
STONEWORK					
comice	SI	C2	R3	Patch cornice. See drawing.	
BRICKWORK				process in which the control and control and an income an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income an income and an income and an income and an income and an income an income and an income and an income and an income and an income an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income and an income an income and an income an income and an income and an income and an income and an income and an income and an income and an income and an income and an income an income and an income and an income an income and an income an income and an income an income and an income an income an income and an income an income and an income an income and an income an income and an income an inco	
rims	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A		1000		
		lie II	1 100	The same of the sa	
WINDOWS	N/A				
Louvres	N/A			L	
LOWER WALL BRIOKWORK					
rim	SI	Q	R3	Repoint brickwork as shown in drawing.	
arches	SI	СЗ	R2	Repair minor crack in arch. Light wash as required.	4
panels	SI	α	R3	Light wash and repoint as required.	
panel under	51	C2	R3	Remove vegetation and repoint brickwork as required.	
sill inserts	SI	C2	RI	Monitor steel plates in arch for corrosion & cracked	
STON=WORK					
				4 To 27 To 27 A to 2 A	
window sills	SI	CI	R3	Replace window sill to match existing. Light wash as required.	
plinth	SI	CZ	R3	Remove vegetation. Patch if required. Light wash.	
corbel	N/A			li managaran a a a a a a a a a a a a a a a a a a	
inserts	N/A				
WINDOWS	SI	C3	RI		
Door(s)	N/A				

Record # 4	Row D/	12 west		key \$1 - high, \$2 - moderate, \$3 - low, \$4 - int	rusive.	
DESCRIPTION.	SIGNIFICANCE		RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent, work, R3 - repai	NOTES	
DESCRIPTION		0	<u>2</u>	THE COLUMN TO THE PROPERTY OF	market and the state of	
lower wall continued		444	10.0		4 1	
GLAZED INFILL	SI	C3	RI			
THRESHOLD	N/A				L	
TIMBER FRAMED	N/A		4		L	
WALL SERVICE PIPES	N/A		1			
STEELWORK	SI	C2	RI	Preserve brackets for length of building. Rust proof if	Interpret	
PILASTER					L J	
STONEWORK		4.5.0	***************************************			
coping	SI	C3	RI	Mortar fill and Els stone joints		
comice	SI	C3	RI	The second secon	1	
plinth	SI	C3	RI			
inserts	Nil				1	
BRICKWORK						
parapet	SI	a	R3	Repoint entire parapet.		
body	SI	a	R3	Insert brick as indicated. Light wash and repoint as required.	L.,,,,,	
down pipes	N/A					
inserts	Nil			Paragraphic control of	1	
END PILASTER	N/A			1		
STONEWORKS	L. T.		-			
N. 200 (190 (190 (190 (190 (190 (190 (190 (1	A1//A		1 10 10	ar and the same of	4	
coping	N/A	- 04-1				
comice	N/A					
plinth	N/A		1		4-	
inserts	Nil					
BRICKWORK						
parapet	N/A	-	- E			
body	N/A	1	-	1		
pipes	N/A					
		1		1	1	
inserts	Nil	1			100000000000000000000000000000000000000	
OTHERI	SI	C2	RI	Rust proof and preserve flue.		
OTHER 2	52	C2	R3	Stabilise loose pipes extending from bracket.	1	
OTHER 3		1				

COMMENTS	Row D/12 west	Record # 4
entality in the entry of the entry amount of all the first other than a subject to be a subject to the subject of the entry of the entr		manifest discharge en reinst en tan Political Galle
	\$ 3	



LOCATION	Row E/11 west		F	RECORD # 5
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST		
	URGENT WORK	HP [HIGH PRIORITY]	☐ INTERPRET	r

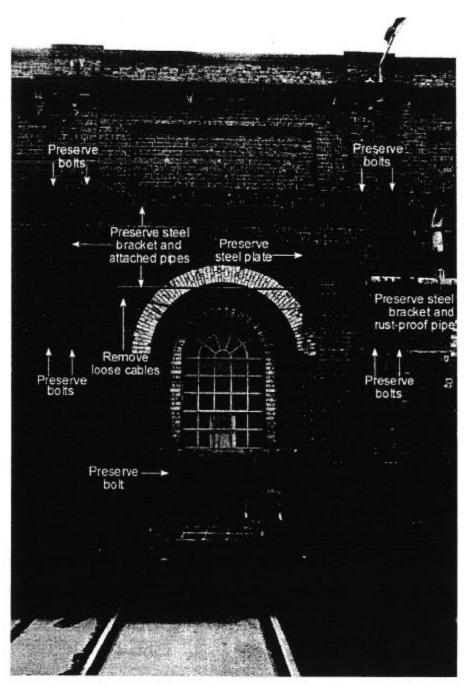


Reco	rd#5	Row E/11 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
H & O & & B	Re point Corroded ins Small epoxy Patch stone Insert Brick	ed stone insert sert, remove and epoxy patch	In

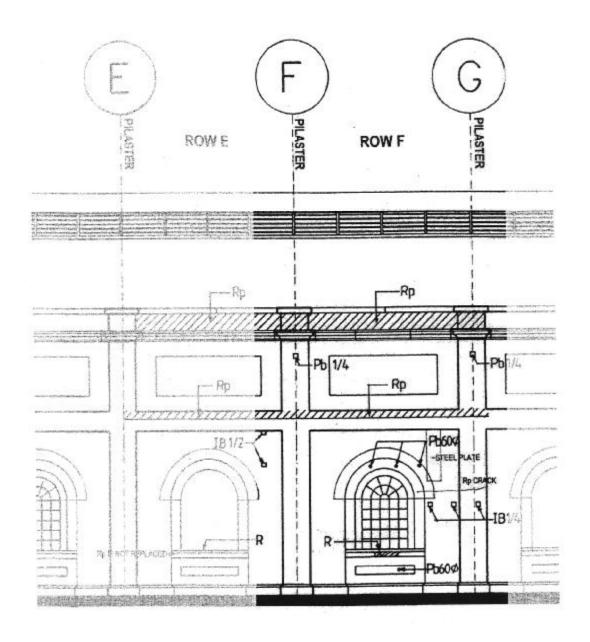
key S1 - high, S2 - moderati C1 - bad, C2 - poor, C R1 - maintain, R2 - urge	3 - good		ive.	Row E/11 west Record #	5
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	a	R3	Repoint parapet. Els joints. Light wash as required.	
STONEWORK coping	ŠI	ā	R3	Mortar fill and els joints.	
weathering	N/A		1.3	Tion and and ets joints.	
inserts	N/A	0.4	hasan		10
BRICKWORK	147	Securities	-	L	1
rims	N/A	1	1800 0	1	1
panels	SI	CZ	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				1 1
BULISEYE	NA				
	1.77		-		
UPPER WALL	SI	C3	RI	Light wash and repoint as required. Monitor inserts.	
STONEWORK					
comice	SI	C3	RI		T)
BRICKWORK					
rims	SI	C3	RI	Light wash and repoint as required. Preserve porcelain insert.	
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	SI	C3	RI	Preserve porcelain insert. Monitor ferrous inserts for	1
WINDOWS	N/A		1		
Louvres	N/A	ţ	L		L
LOWER WALL BRICKWORK					
rim	SI	C2	R3	Repoint brickwork as shown.	11.
arches	SI	СЗ	RI	Light wash and repoint as required.	
panels	SI	CZ	R3	Insert brick as indicated. Light wash and repoint as required.	
panel under	SI	СЗ	RI	Light wash and repoint as required.	
sill inserts	51	G	RI	Preserve pulley.	
STONEWORK					
window sills	51	CI	R3	Replace sill. [Repoint cracks, Els joints if unable to replace]	
plinth	SI	C3	RI		
corbel	N/A			F R 1911-19 (1911 1911 1911 1911 1911 1911	-1
inserts	N/A				
Windows	SI	C3	RI	Light wash and repoint blind window as required.	I
Door(5)	N/A				

Record # 5	Row E/I	I west		key S1 - high, S2 - moderate, S3 - low, S4 - in	rusive.
	SIGNIFICANCE	CONDITION	RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repa	NOTES
DESCRIPTION	S	8	22	RECOMMENDED WORKS	MOIES
lower wall continued	angle surrier treatment	en it of known			V.
GLAZED INFILL	N/A	b			1
THRESHOLD	N/A		[İ.,
TIMBER FRAMED	N/A				1
SERVICE PIPES	52	C2	RI	Preserve pipes and rust proof as required.	
STEELWORK	SI	C2	RI	Preserve brackets and attached pipe. Rust proof as required.	Interpret
PILASTER	SI	C2	R3	Repoint parapet. Patch brick. Els joints. Light wash as	
STONEWORK		ed-chiralité			
coping	SI	C2	R3	Mortar fill and Els joints in coping.	
comice	SI	C3	RI	1	1
plinth	51	C3	RI	1	
inserts	Nil				
BRICKWORK					
parapet	SI	C2	R3	Repoint entire parapet. Light wash as required.	
body	SI	C2	R3	Patch brick and repoint as shown. Light wash as required.	L
down pipes	N/A	1			
inserts	Nil				L.
END PILASTER	N/A			1	
STONEWORKS					
coping	N/A			1.	
comice	N/A		1		
plinth	N/A	Ä			
inserts	Nil				
BRICKWORK					
parapet	N/A	1		11	
body	N/A			1	
pipes	N/A			11	
inserts	Nil	1.			ļ., .
OTHERI	54	C2	R3	Remove loase wires from historic bracket.	Intrusive
OTHER 2					1
OTHER 3	-	-			
All the same of th		The second second		the state of the s	

COMMENTS		Row E/11 west	Record # 5
	from the transfer guarantees the second and the first second		ed referencia in communicación de la communicación de la communicación de la communicación de la communicación



LOCATION	Row F/10 west	RECO	ORD#	6
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST ☑ WEST		
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET		

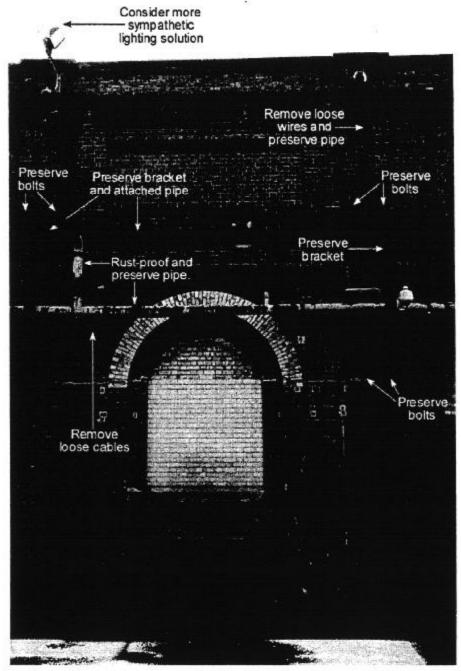


Recor	d# 6	Row F/10 west	ANI	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE D SILLS WITH LIME MORTAR & POINT TOP OF JOINT THE ELASTOMETRIC SEALANT AND BACKING ROD.
_ I & C & & B	Re point Corroded in Small epoxy Patch stone Insert Brick	e ted stone insert nsert, remove and epoxy patch patch with reinforcement	Rc Tme	Inject crack with epoxy mixture Apply rust-converter to compded femous metal insert To match existing New Zincalume capping to replace comoded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

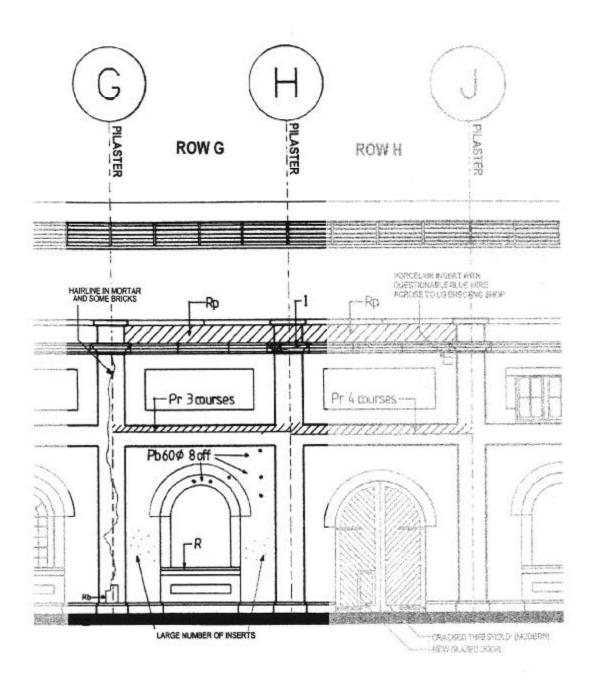
key 51 - high, \$2 - moderate C1 - bad, C2 - poor, C3 R1 - maintain, R2 - urge	3 - good		ve.	Row F/10 west Record #	6
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONEWORK	ages (married	i seenieri	1		
caping	SI	C2	R3	Mortar fill and Els jioints. Light wash as required.	
weathering	N/A				
inserts	N/A	1			
Brickwork		1 7 5		N. E. S. C. C. C. C. C. C. C. C. C. C. C. C. C.	
nms	N/A	-			
panels	SI	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	NVA			I have a second and the second and t	
BULLSEYE	N/A		-		-
UPPER WALL	SI	C3	RI	Light wash and repoint as required.	
STONEWORK	000		1	The state of the s	
comice	SI	C3	RI		
	31		150	id.	
BRICKWORK	SI	СЗ	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	-
	(4.16)		NI	DE L'Hast and reporte às required.	1
inserts	N/A	1		I have been proportionally the second of	
WINDOWS	N/A				l
LOUVRES	N/A			. I C	1
LOWER WALL					
BRICKWORK	SI	CZ	R3	Repoint where shown. Light wash as required.	125
arches	SI	C2	R3	Patch brickwork and repoint crack as shown.	
panels	SI	C3	RI	Repoint crack. Insert bricks. Light wash, repoint as required.	
panel under sil	SI	C2	R3	Repoint and patch brick as shown. Light wash as required.	
inserts	SI	C3	RI	Preserve bolt.	1
STONEWORK					
window sil's	SI	CI	R3	Replace sill.	
plinth	SI	C3	RI		
corbel	N/A	4	=36	a processor man or man and	
inserts	N/A	T.			
			D.1		
WNDOWS	SI	C3	RI	1	
Dock(s)	N/A	- CANADA			TORMORE

Record # 6	Row F/1	0 west		key S1 - high, S2 - moderate, S3 - low, S4 - into	S1 - high, S2 - moderate, S3 - low, S4 - intrusive.	
DESCRIPTION	SIGNIFICANGE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repair	r NOTES	
ower wall continued	article and the second	THE REAL PROPERTY.	all and the second section in the second	Marrier Statement (No. 1900) Service (No. 1900) Service (No. 1900)	20	
GLAZED INFILL	SI	C3	RI		1	
THRESHOLD	N/A					
TIMBER FRAMED	N/A		1	1	L	
WALL Service Pipes	SI	C2	R3	Rust proof pipe.		
STEELWORK	SI	C3	RI	Preserve steel brackets for length of building. Preserve plate.	Interpret	
PILASTER	SI	C2	R3	Repoint parapet and body. Patch, insert bricks. Els joints.	L	
STONEWORK						
coping	SI	C2	R3	Mortar fill and apply Els to joints.	1	
comice	SI	G	RI			
plinth	SI	C3	RI			
inserts	Nil		(**************************************			
BRICKWORK						
parapet	SI	C2	R3	Repoint parapet. Light wash as required.	F	
body	SI	CI	R3	Patch brickwork Insert brick Repoint cracks (see row	HP	
down pipes	N/A					
inserts	Nil	1			1	
END PILASTER	N/A				1	
STONEWORKS	former man			****		
coping	N/A				L	
comice	N/A	1			1	
plinth	N/A				A)	
inserts	Nil				Ĺ	
BRICKWORK						
parapet	N/A	1		[E	
body	N/A					
pipes	N/A		7		100	
inserts	Nil		1	L		
OTHERI	54	Q	R3	Remove loose wires from historic bracket.	Intrusive	
Section 1		100	A155.9			
OTHER 2			-1			

COMMENTS THE CO	o Francos es a convenien deposit e a nyon	Row F/10 West	Market School (School	Record # 6
PVC pipe inserted into panel under wir	ndow sill. Monitor fo	r cracks and water ingre	ss then reasess.	
See drawing for Row G / West for furt	her information rega	arding vertical crack in pi	aster F.	



LOCATION	Row G/9 west			RECO	ECORD #	7
*	□ BAY □ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST ☑ WEST				
	URGENT WORK	HP [HIGH PRIORITY]	INTRUSIVE	INTERPRET	-	

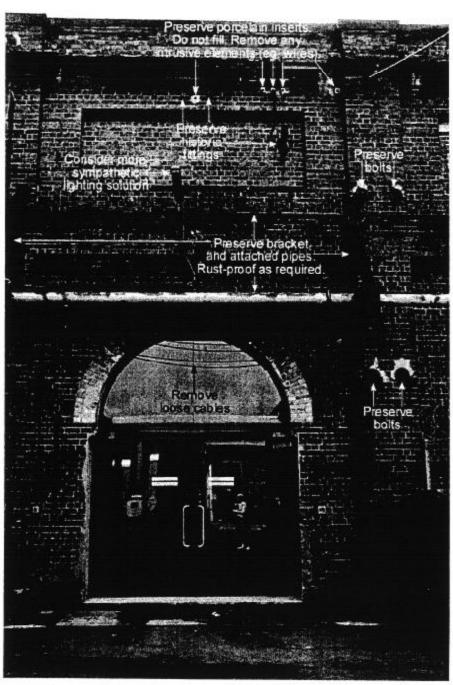


Record # 7		Row G/9 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.				
H & O & & B	Small epoxy p Patch stone v Insert Brick	ert, remove and epoxy patch	Rc Tree	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"			

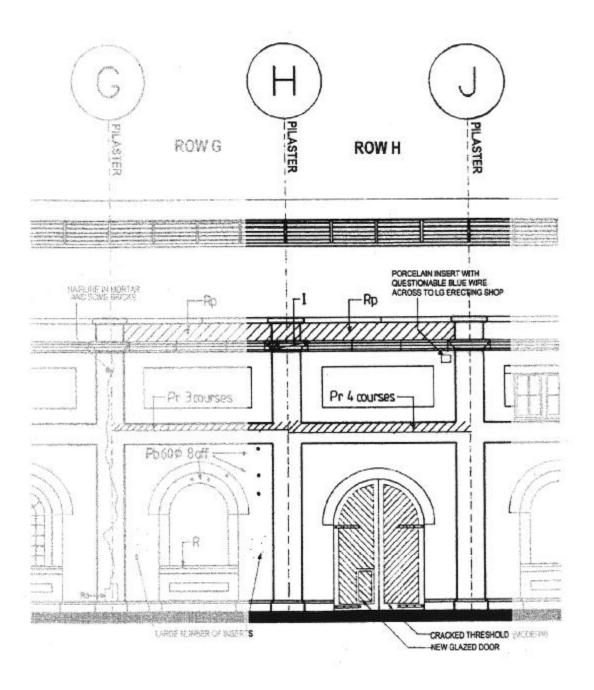
key SI - high, SZ - modera CI - bad, C2 - poor, C	3 - good		ve.	Row G/9 west Record #	7
RI - maintan, R2 - urg	ent work, R	NOILIGNOO	RECTHICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint parapet and Els joints.	
STONEWORK	27			(1)	
coping	51	CZ	R3	Mortar fill and Els joints.	
weathening	N/A	1,000			1
inserts	N/A	ŧ			
BRICKWORK rims	N/A				
panels	SI	CZ	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A		10	repoint entre parapet. Light wash as required.	
BULLSEYE		1000			1
BOLLSEYE	N/A				
UPPER WALL STONEWORK	SI	СЗ	RI	Light wash and repoint as required.	
comice	SI	C3	RI		-
BRICKWORK			351		1
rims	ŠI	C3	RI	Light wash and repoint as required.	
panels	52	C3	RI	Light wash and repoint as required.	
inserts	N/A			agre trast and report as required.	
#10 0 IS					
WINDOWS	N/A				
LOUVRES	N/A		1	L	
LOWER WALL BRICKWORK					
rim	51	C2	R3	Repoint 3 brick courses as shown.	
arches	SI	C2	R3	Patch brick as indicated.	
panels	SI	C2	R3	Patch brickwork as shown. Light wash as required.	1
panel under	SI	C3	R2	Light wash and repoint as required.	
sill inserts	S2	C3	RI	Monitor inserts. Only remove if causing instability or damage	
STONEWORK					
window sills	SI	CI	R3	Replace sill.	
plinth	SI	C3	RI	mont at strategic at the Control of	
corbel	N/A			P. C. S. S. S. S. S. S. S. S. S. S. S. S. S.	
inserts	N/A			IS	î
Windows	SI	G	RI	Light wash and repoint blind window as required.	
Door(s)	N/A	2070-0	=10		
The second secon	Acres C. T.				

Record # 7	Row G/9 west			key S1 - high, S2 - moderate, S3 - low, S4 - int	rusive.	
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repai	NOTES	
lower wall continued	N SUPPRINCIPAL STR	allocation when the	etrus etros etros atom	September 19 Septe	# IF THE SERVICE SERVI	
GLAZED INPUL	N/A	1	II.	El an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual and an annual an annual and an annual an annu	l	
THRESHOLD	N/A			V ₂ , =		
TIMBER FRAMED	N/A		1		L	
WALL SERVICE PIPES	SI	C2	R3	Rust proof pipe.		
STEELWORK	SI	C2	RI	Preserve brackets for length of building, Rust proof as	Interpret	
PILASTER				J L	l	
STONEWORK					70 - 20	
coping	51	C2	R3	Mortar fill and else joints.	į!	
comice	SI	CI	R3	Repair comice - inject crack and patch stone as required.		
plinth	SI	C3	RI	1		
inserts	SI	C3	RI	Preserve significant historic bolts.		
BRICKWORK						
parapet	SI	C2	R3	Repoint entire parapet. Light wash as required.	L	
body	SI	C2	R3	Repoint as shown. Light wash as required.	L	
down pipes	N/A			1	[
inserts		İ.,			1. 1	
END PILASTER	N/A			1		
STONEWORKS		-				
coping	N/A	1		Tr		
comice	N/A			4 parent	1	
plinth	N/A	Ï	1	Name of the second		
inserts	Nil	L		J.C.	1	
BRICKWORK						
parapet	N/A	-		The second contract the second contract the second contract to the s		
body	NA			1		
pipes	N/A					
inserts	Nil		1_			
OTHERI	54	C2	R3	Remove all loose wires	Intrusive	
OTHER 2		4				
OTHER 3		1				

OMMENTS		Row G/9 west	Record # 7
Consider a more sympath	netic lighting solution for the w		e en y Prist en euro y auro en euro de entre en en en en en en en en en en en en en



LOCATION	Row H/8 west	REC	CORD #	8
	□ BAY ☑ ROW □ ANNEXE	□NORTH □SOUTH □EAST □WEST		
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTERPRET		

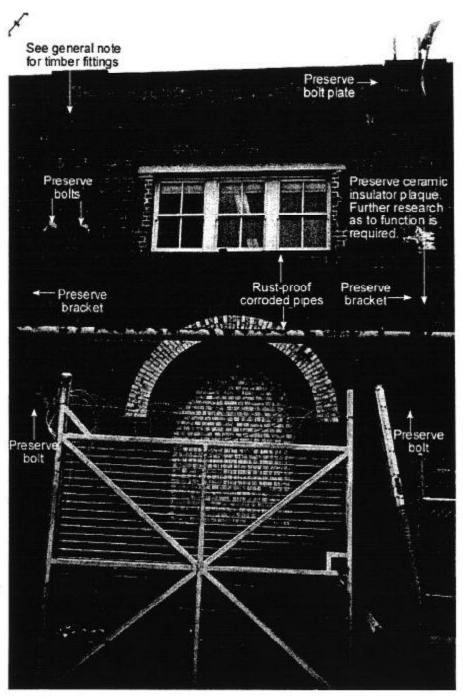


Reco	ord	#	8	Row H/8 west	ANI	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE D SILLS WITH LIME MORTAR & POINT TOP OF JOINT TH ELASTOMETRIC SEALANT AND BACKING ROD.
\$0 £ £ £	In H. C. Sr P. Ir	dent airlin e po lomo mall Patch	int ded inse epoxy p stone w Brick	I stone insert ort, remove and epoxy patch atch with reinforcement , elastometric sealant and backing rod to top	Tme	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

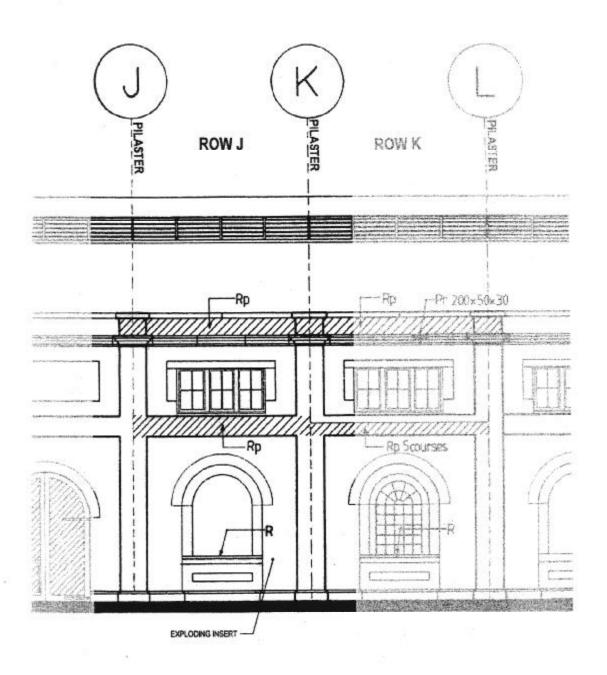
key S1 - high, S2 - moderat C1 - bad, C2 - poor, C R1 - maintain, R2 - urge	3 - good		isive.	Row H/8 west Record #	∮ 8
DESCRIPTION	SIGNFICANCE	CONDITION	RECTHICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	ŠI	CI	R3	Repoint parapet and Els joints. Light wash as required.	
STONEWORK					
coping weathering	SI N/A	C2	R3	Mortar fill & Els joints. Light wash as required,	
inserts	N/A	4 6	1		Name and
BRICKWORK	TWO	4		- Land	-
rims	N/A	4 1	1	Personal in the second of the second	100
panels	SI	C2	R3	Repoint parapet.	
inserts	N/A		4 17	Topone paragraph	
Buuseye	N/A	1 1 00	i baru		
DOLLETE	INA	- \	1		
UPPER WALL	S۱	CZ	R3	Remove intrusive cables from porcelain inserts.	Intrusive.
STONEWORK					
comice	SI	C3	Ri		
BRICKWORK			1 2	Experience and the second of t	
rims	SI	C3	RI	Light wash and repoint as required.	
panels	Si	C3	RI	Light wash and repoint as required.	
inserts	54	CZ	R3	Remove intrusive cables from porcelain ferrules. Do not fill.	Intrusive.
WINDOWS	NA		1		
Louvres	N/A	1 5	11	J	
LOWER WALL BRICKWORK					
rim	SI	C2	R3	Repoint 4 courses as shown. Light wash as required.	
arches	SI	C3	RI		
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	N/A		1 1		
sill inserts	N/A				
STONEWORK					
window sills	N/A	1		T-1	
plinth	SI	C3	RI		
corbel	N/A			- pre-	
inserts	N/A				
WINDOWS	N/A				*******
Door(s)	53	C3	RI	No. should be said a proc	6
man (2)	3.3	6.7	PS I	New glazed door installed 1995	Done

Record # 8	Row H/	key S1 - high, S2 - moderate, S3 - low, S4 -	ntrusive.		
description	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - rep RECOMMENDED WORKS	NOTES
lower wall continued	n committee of the second	NACTOR AND ADDRESS OF	THE RESERVE THE PARTY OF THE PA	ABBRECORPORATE TUTO AND PROTECTION OF PROTECTION AND PROTECTION OF THE TOTAL P	2020
GLAZED INFILL	53	C3	RI	New glazed door.	Done
THRESHOLD	53	CI	R3	Repair cracked threshold (modern).	
TIMBER FRAMED	N/A	1			. I.
WALL SERVICE PIPES	SI	CI	R3	Rust proof corroded pipe.	
\$TEELWORK	SI	a	RI	Preserve steel brackets and rust-proof as required.	Interpret
PILASTER	SI	C2	R3	Els joints. Light wash and repoint brickwork as required.	. 1 F
\$TONEWORK	1025 E	63		Martin 60 and 55 labets	1
coping	SI	C2	R3	Mortar fill and Els joints	
comice	SI	C3	RI		1 1
plinth	SI	C3	RI		
inserts	Nil	-			1
BRICKWORK					
parapet	SI	C3	RI	Light wash and repoint as required.	
body	51	C3	RI	Light wash and repoint as required.	_ h
down pipes	N/A	1	1	1	
inserts	Nil	1			1
END PILASTER	N/A	7			
STONEWORKS					
coping	N/A	1	1		
cornice	N/A		7	11	a a mark
plinth	N/A	4	1	11	
inserts	Nil	1		Minimum district of the co	
BRICKWORK					
parapet	N/A	1		II	1
body	Ñ/A	1 -		The second secon	
pipes	N/A	¥			
inserts	Nil	l.		1	
OTHERI	\$4	C2	R3	Remove loose cables from steel bracket.	
OTHER 2		1		1	
OTHER 3		-		-	

OMMENTS	Row H/8 west	Record # 8
Consider a more sympathetic lighting solu	tion for the west wall.	u nombro (Micro Bayarana, ny arakatra minina kaominina dia kaominina dia kaominina dia kaominina dia kaominina



LOCATION	Row J/7 west			RECORD #	9
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST			
	URGENT WORK	HP [HIGH PRIORITY]	☐INTRUSIVE ☐INTERPR	RET	

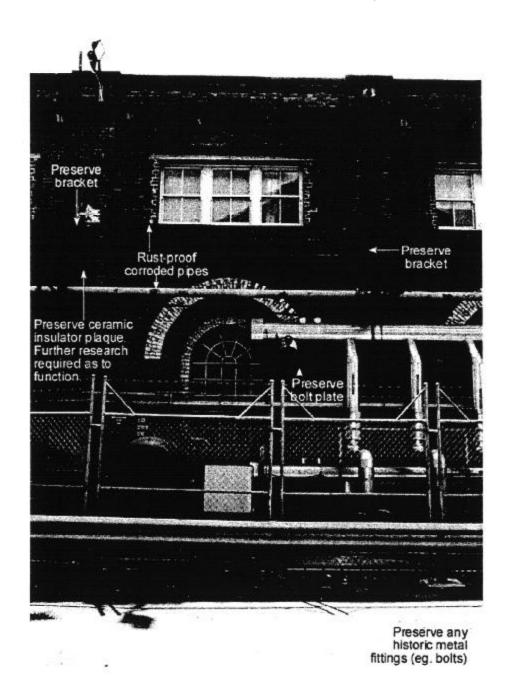


Record # 9		Raw J/7 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.			
	Re point Corroded inse Small epoxy p Patch stone v Insert Brick	d stone insert ert, remove and époxy patch atch with reinforcement t, elastometric sealant and backing rod to top	In Inject crack with epoxy mixture Rc Apply rust-converter to corroded ferrous metal insert Time To match existing Zac New Zincalume capping to replace corroded capping Rv Remove vegetation and rake out joints 20mm deep MS Make safe by removing loose stone Pb Partch brickwork Rb Reconstruction of brick surface of wall Otter, see "Notes"			

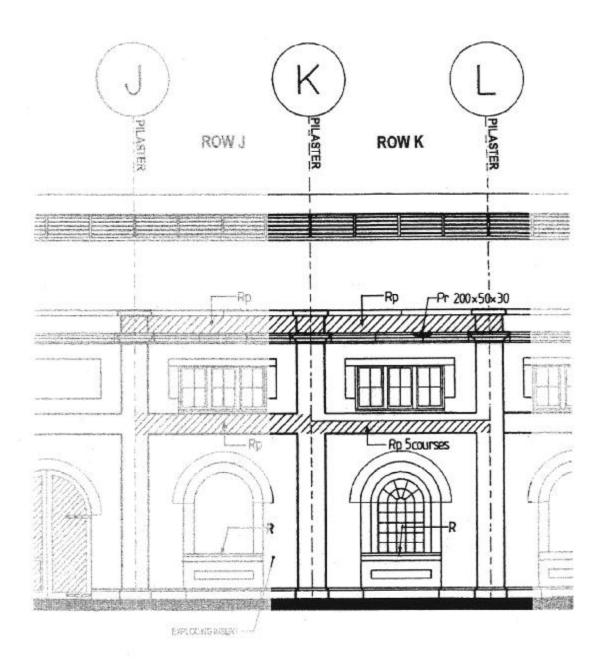
key SI - high, S2 - moderat CI - bad, C2 - poor, C RI - maintain, R2 - urge	3 - good		sive.	Row J/7 west Reco	rd# 9
DESCRIPTION	SIGNFICANCE	CONDITION	RECTHICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	a	R3	Repoint parapet. Els joints. Light wash as required.	
STONEWORK					
coping	51	Q	R3	Mortar fill and Els joints. Light wash as required.	
weathering	N/A	ida i			_1 = 1
inserts	N/A	J			
BRICKWORK	0.0000000000000000000000000000000000000	10000			
rims	N/A		-		
panels	51	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	SI	CZ	RI	Preserve bolt plate.	.] :
BULLSEYE .	N/A		J		
UPPER WALL	SI	C3	RI	Light wash and repoint as required.	
STONEWORK					
comice	SI	C3	RI		
BRICKWORK				14	34 - 45' 154
rims	SI	СЗ	RI	Repoint and light wash as required.	1.0
panels	SI	C3	RI	Light wash and repoint as required.	-
inserts	N/A	I			
lisers		-	100	The state of the s	
WNDOWS	SI	C3	RI		
LOUVRES	N/A	1			
LOWER WALL BRICKWORK					
rim	51	CZ	R3	Repoint rim as indicated.	
arches	SI	СЗ	RI		
panels	SI	C3	RI	Light wash and repoint as required.	1 1
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	N/A	1			
Stonework					
window sills	SI	CI	R3	Replace sill.	
plinth	SI	C3	RI	Description of the second of t	
corbel	N/A	1010			
inserts	N/A				1
WINDOWS	ŠI	C3	RI	Light wash and repoint blind window as required.	
Door(s)	N/A				

Record # 9	Row J/7 west			key \$1 - high, \$2 - moderate, \$3 - low, \$4 - intrusive.	
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	NOTES
lower wall continued	arterior and the same start of	AND ASSESSMENT OF THE PARTY.	and the second of the second	Security Control of the Control of t	
GLAZED INFILL	SI	C3	RI	11	1!
THRESHOLD	N/A		E		1
TIMBER FRAMED WALL	N/A	L	l	II	L
SERVICE PIPES	SI	C2	R3	Rust proof corroded pipes.	
STEELWORK	SI	C2	R3	Preserve steel brackets. Rust proof if required.	Interpret
PILASTER	SI	CZ	R3	Repoint parapet and body as shown. Els joints.	11
STONEWORK				The second secon	4
coping	51	C2	R3	Mortar fill and Els joints on horizontal surfaces.	
comice	SI	C3	RI		
plinth	SI	C3	RI		
inserts	Nil	1	1		
BRICKWORK					
parapet	SI	C2	R3	Repoint entire parapet.	
body	SI	C2	R3	Repoint brickwork as shown.	_ L
down pipes	N/A	1	1 1		
inserts	SI	C3	RI	Preserve ceramic insulator plaque. Research function.	
END PILASTER	N/A		-	1	
STONEWORKS	CONTRACT TO	1000			
coping	N/A			1	
cornice	54				
plinth	N/A	ii .	N.		
inserts	NI				
BRICKWORK					
parapet	N/A	[1		
body	N/A	L		4	Parent.
pipes	N/A				
inserts	Ni				·
OTHERI					
OTHER 2					1
OTHER 3					
O I FIER 3				The second state of the second	

OMMENTS	Row J/7 west	Record # 9	
	teren her yang selap selap bilang hari selabih E. C. ya. ya seri Millarik K. C. Lesi		



LOCATION	Row K/6 west	RECORD #	10
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	



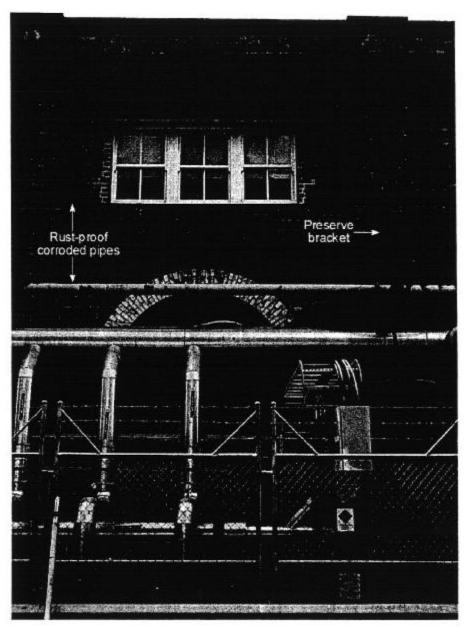
Record	# 10	Row K/6 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
H Ha	dent stone arrine joint e point comoded in mall epoxy Patch stone nsert Brick	eted stone insert remove and epoxy patch r patch e with reinforcement	In

key S1 - high, S2 - moderati C1 - bad, C2 - poor, C:	3 - good		ve.	Row K/6 west Recon	d# 10
RI - maintain, R2 - urge DESCRIPTION	SIGNFICANCE SIGNFICANCE	- repair	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint parapet. Els joints	
STONEWORK	31		Ю	repoint parapet. Els joints	
coping	Si	C2	R3	Mortar fill and els joints.	11
weathering	N/A			The second of th	1
inserts	N/A				1 100
BRICKWORK					
nims	N/A			1	
panels	51	C2	R3	Repoint entire parapet as shown. Light wash as required.	- per se
inserts	N/A				
BULLSEYE	N/A				
100.00000000000000000000000000000000000	1210				
UPPER WALL	ŠI	C2	R3	Repair cornice.	
STONEWORK					
comice	SI	CZ	R3	Patch stone with reinforcement as indicated in drawing.	
BRICKWORK	2531 14				
rims	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	-
00000000	1000	S0000000000000000000000000000000000000	200		
inserts	N/A			- Annual Company of the company	
Windows	SI	C3	RI		
LOUVRES	N/A		1		
LOWER WALL					
BRICKWORK					
rim	SI	C3	RI	Repoint as indicated in drawing. Light wash as required.	
arches	SI	C3	RI	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
panels	SI	C3	R1	Light wash and repoint as required.	
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	SI	C3	RI	Preserve bolt plate.	
STONEWORK					
window sills	SI	CI	R3	Replace stone.	n, i
plinth	SI	C3	RI		
corbel	N/A	8000	250		
inserts	Si				
WINDOWS	SI	C3	RI		
Door(s)	N/A				

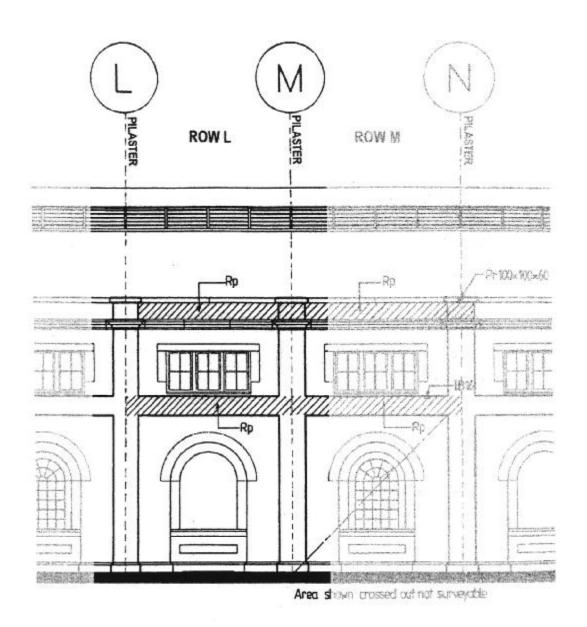
Record # 10	Row K/6 west key S1 - high, S2 - moderate, S3 - low, S4					
DESCRIPTION	SIGNIFICANGE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	par NOTES	
lower wall cantinued	ACCUMENT THE PLANT	CAROLINA MARKA	TO STATE OF THE PARTY OF THE PA	A HOLD STORY OF STREET STREET, STREET STREET, STREET STREET, S		
GLAZED INPILL	SI	C3	RI	III	1	
THRESHOLD	N/A			I		
TIMBER FRAMED	N/A	1			L	
WALL SERVICE PIPES	SI	C2	R3	Rust proof corroded pipes.		
STEELWORK	SI	СЗ	RI	Preserve steel brackets.	Interpret	
PILASTER	SI	C2	R3	Els joints repoint brickwork as shown, light wash is required.	L	
STONEWORK						
coping	SI	C2	R3	Mortar fill and els joints.	-	
cornice	SI	C3	RI		1	
plinth	SI	C3	RI			
inserts	Nil	[1			
BRICKWORK						
parapet	SI	C2	R3	Repoint parapet		
body	SI	C2	R3	Repoint as shown.	. L	
down pipes	N/A	-	P			
inserts	Nil	1		E 2 2 2 2 2	L	
END PILASTER	N/A	-	-			
STONEWORKS	2.811			The second secon		
coping	N/A		1	1		
cornice	N/A	-		7	1	
plinth	N/A	- 1			1	
inserts	Nil	1	1		L	
BRICKWORK						
parapet	N/A		-1		(m.em. m	
body	N/A		= []	I have a second and the second and t		
pipes	N/A					
nserts	Nil	1	1	Annual en e		
OTHERI		. [-			
OTHER 2		1		1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2		
OTHER 3		T-1-11-11				

OMMENTS		Row K/6 west	Record # 10
	enationer among partners having and	Communication of the state of t	may water more reported to the first contract methods from
	8		

Preserve any historic fittings (eg. steel bolts)



LOCATION	Row L/5 west			RECORD #	# 11
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST			
	URGENT WORK	HP [HIGH PRIORITY]	□INTRUSIVE	INTERPRET	



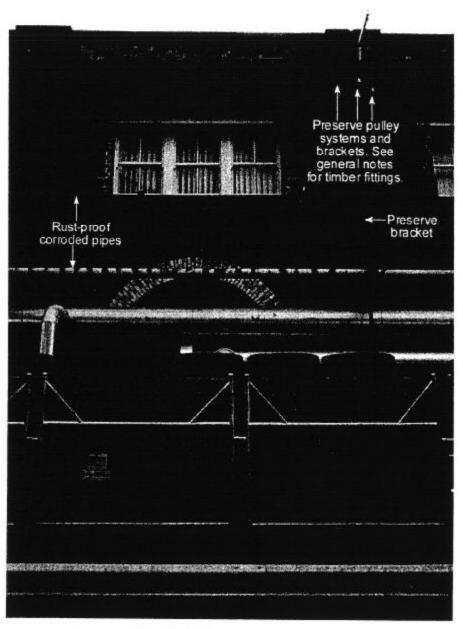
Record # 11	Row L/5 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CO AND SILLS WITH LIME MORTAR & POINT TOP OF WITH ELASTOMETRIC SEALANT AND BACKING RO	JOINT
Ps Small epoxy Pr Patch stone	ed stone insert sert, remove and epoxy patch	In	

key ST - high, S2 - moderat CT - bad. C2 - poor. C RT - maintain, R2 - urge	3 - good		ive.	Row L/5 west	# 11
DESCRIPTION	SIGNFICANCE	CONDITION	RECTRICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	Œ.	R3	Repoint parapet. Els joints. Light wash as required.	100 (000)
STONEWORK	3,		10	repoint parapet. Els joints, Elgit wash as required.	
coping	SI	C2	R3	Mortar fill & Els horizontal joints. Light wash as required.	
weathering	N/A		3.		
inserts	N/A				
BRICKWORK	1.00.1		-		-
rims	N/A				7.2
panels	SI	C2	R3	Repoint entire parapet. Light wash as required.	-
inserts	N/A				-1
BULLSEYE	N/A				- 1
BOUSETE	N/A				
UPPER WALL	ŠĪ	СЗ	RI	Light wash and repoint as required.	11
STONEWORK			172012		
comice	SI	C3	R2	.,	.,
BRICKWORK	31	<u>.</u>	152	11.80	
rims	SI	C	DI	Tribulation in the second seco	Y
	SI	3	RI	Light wash and repoint as required.	
panels	30,000,000	u	RI	Light wash and repoint as required.	1
inserts	N/A				
WINDOWS	SI	C3	RI		1 =
LOUVRES	N/A	Å.			1
LOWER WALL					
BRICKWORK				or Arramania Date into a const	
rim	SI	C2	R3	Repoint rim as shown.	
arches	SI	C3	RI		
panels	SI	C3	RI	Light wash and repoint as required.	1
panel under	N/A				
sill inserts	N/A				
Stonework					
window sills	SI	C2	R3	Els horizontal joints.	
plinth	SI	C3	RI		
corbel	N/A			ge - mar all designation of the	N 888 1
inserts	N/A				
WINDOWS	51	C3	RI	Light wash and repoint blind window as required.	-
	26230	100-00	17.550	- g oponis onne minori as required.	

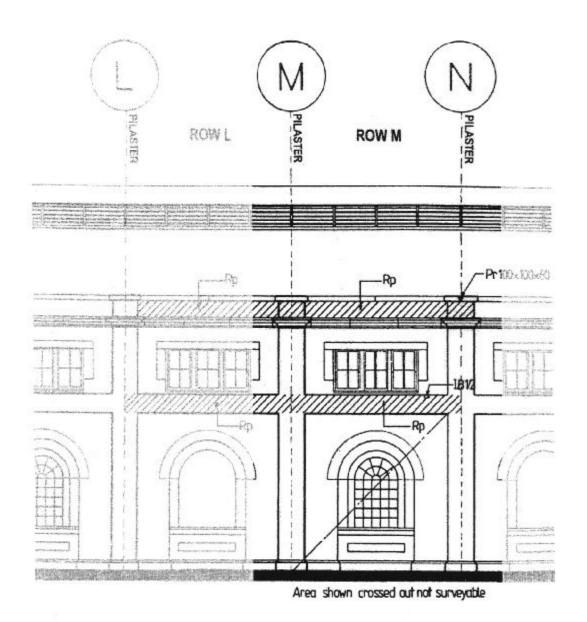
Record # 11	Row L/S	west		key S1 - high, S2 - moderate, S3 - low, S4 - intrusive.		
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa	NOTES	
lower wall continued		THE PERSON WITH	en monamento de la com	Chapter appropriate international de Haufrichand Marin (C. 1979) (1542)	COLUMN TO SECULIA SECU	
GLAZED INFILL	N/A			No. 2 Company of the company of the		
THRESHOLD	N/A					
TIMBER FRAMED	N/A	1	i I		1	
WALL SERVICE PIPES	SI	C2	R3	Rust proof corroded pipes.		
DERVICE FIRE			10000000000	1	latement :	
STEELWORK	SI	C3	RI	Preserve steel brackets for length of building.	Interpret	
PILASTER	SI	C2	R3	Repoint parapet and body as shown. Light wash as required.	LJ	
STONEWORK						
coping	SI	C3	R3	Mortar fill and els joints.	1	
comice	SI	C3	RI			
plinth	SI	C3	RI			
inserts	Nil	1	Ī			
BRICKWORK						
parapet	SI	C2	R3	Repoint entire parapet.		
body	SI	C2	R3	Repoint brickwork as shown. Light wash as required.	L	
down pipes	N/A					
inserts	Nil				1 .1	
END PILASTER	N/A					
STONEWORKS						
coping	N/A	1	Y.	Name and the second		
comice	N/A	1	,			
plinth	N/A	4	1			
inserts	Nil					
Brickwork						
parapet	N/A					
body	N/A				1	
pipes	N/A		-			
inserts	Nil	1				
OTHERI	- 10 1000					
OTHER 2				i		
		-	1	The second secon		
OTHER 3					4 0	

COMMENTS		Row L/5 west	Record # 11
An erimment and traversional deviation of the terrological Europe and the attended and an incident	MINERODO PROCESTA NA PRANTE	er i svalu områder i med indrivere kontrollerinskriver i	errozonichowania anomaenia oko derektorania (v. o

Preserve any historic fittings (eg. steel bolts)



LOCATION	Row M/4 west	RECORD #	12
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	



Record	d #	12	Row M/4 west	A	OTE: FILL OPEN JOINTS IN STONE COPING, CORNICE ND SILLS WITH LIME MORTAR & POINT TOP OF JOINT ITH ELASTOMETRIC SEALANT AND BACKING ROD.
I	ndent	stone stone	d stone insert	Rc	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert the To match existing
⊠ Rp F	Re po Como	int ided inse	ert, remove and epoxy patch	□ Za □ Rv	New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone
⊠ Pr ⊠ iB i	Patch Insert	stone v Brick	with reinforcement , elastometric sealant and backing rod to top	□ Pb	Patch brickwork Reconstruction of brick surface of wall

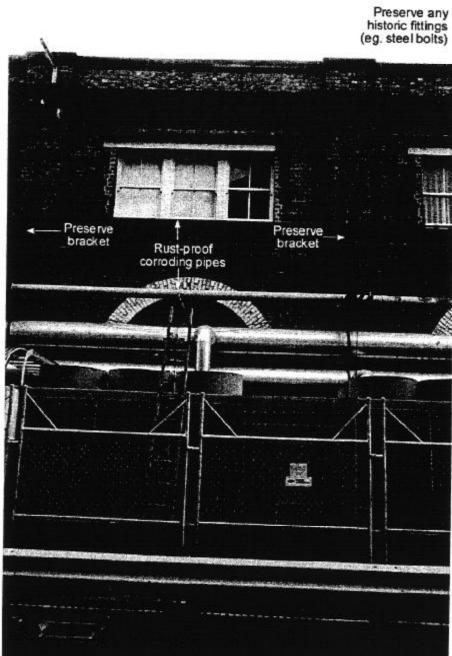
key S1 - high, S2 - moderat C1 - bad, C2 - poor, C R1 - maintain, R2 - urg	3 - good		ve.	Row M/4 west Record #	12
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIRCATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint parapet. Els joints. Light wash as required.	72.72
STONEWORK coping	SI	C2	R3	Mortar fill and Els horizontal joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK	550				
rims	N/A				
panels	SI	C2	R3	Repoint entire parapet.	
inserts	N/A	i		7 L	
BULLSEYE	N/A				
UPPER WALL					
STONEWORK				The state of the s	
comice	SI	C3	RI	** ************************************	
BRICKWORK					
nims	SI	C2	R3	Insert brick. Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	-
inserts	N/A				
Windows	SI	C3	RI		
Louvres	N/A			ī L	
LOWER WALL BRICKWORK				8	
rim	51	C2	R3	Repoint rim.	
arches				Not surveyable	
panels				Not surveyable	-
panel under				Not surveyable	
sill inserts	N/A	-	7		
STONEWORK					
window sills				Not surveyable	
plinth				Not surveyable	
cortel	N/A			Process of the second of	
inserts	N/A				
WINDOWS				Not surveyable.	
Door(s)	N/A			a management of the same of th	

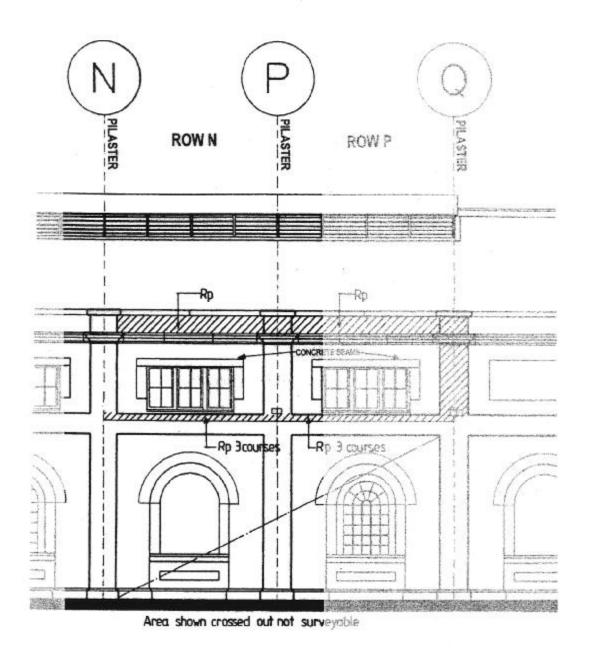
Record # 12	Row M	/4 west		key S1 - high, S2 - moderate, S3 - low, S4 - in	\$1 - high, \$2 - moderate, \$3 - low, \$4 - intrusive.		
DESCRIPTION	SIGNIFICANGE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repa RECOMMENDED WORKS	NOTES		
lower wall continued	SUMMENT CHARGE	This was a second	AND DESCRIPTION OF THE PARTY OF	CONTRACTOR OF THE CONTRACT AND A CONTRACTOR OF THE PROPERTY OF THE PROPERTY OF THE CONTRACTOR OF THE C	MACHINE AND ADDRESS OF THE		
GLAZED INFILL		1	1	Not surveyable			
THRESHOLD	N/A	L					
TIMBER FRAMEO WALL	N/A	1		1	11		
SERVICE PIPES	SI	C2	R3	Rust proof corroded pipes.			
STEELWORK	SI	C3 .	RI	Preserve steel brackets for length of building.	Interpret		
PILASTER	SI	C2	R3	Repoint brickwork and patch stone as shown in drawing.	1		
STONEWORK	1122 (100)				I TO TO		
coping	SI	C2	R3	Patch stone with reinforcement as shown,			
comice	SI	C3	RI				
plinth	SI	C3	RI				
inserts	Nil	1					
BRICKWORK							
parapet	SI	C2	R3	Repoint entire parapet.			
body	SI	C2	R3	Repoint parapet as shown. Light wash as required.	L		
down pipes	N/A		-	Assembly to the control of the contr	F		
inserts	Nil				1		
END PILASTER	N/A						
STONEWORKS							
coping	N/A	I	1	1			
comice	N/A	1	T	1	F		
plinth	N/A	l.	1				
inserts	Nil	1					
BRICKWORK							
parapet	N/A		1	i i	1		
body	N/A	L	1	1	1 1		
pipes	N/A	I.	[1		
inserts	Nil	l	l				
OTHERI	ŠI	C2	R3	Preserve timber pulley system. (electrical insulators). See note.			
OTHER 2			1				
OTHER 3		-					

	respectively. The transfer of the control of the c
-VELEICH	LOCOMOTIVE VVORKSHOPS
LVELEIGH	LUCUMUTIVE VVURKSHUPS

FABRIC INVENTORY

COMMENTS		Row M/4 west	Record # 12
	NAME OF THE PROPERTY OF THE STREET, THE ST	A CONTRACTOR OF THE STATE OF TH	MOTOR Control Service To Colombia and Real State
			07





Record # 13	Row N/3 west	ANE	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE O SILLS WITH LIME MORTAR & POINT TOP OF JOINT HELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epoxy p Pr Patch stone v IB Insert Brick	ert, remove and epoxy patch atch	Rc Tme Zac Rv MS Pb Rb	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

key SI - high, S2 - modera CI - bad, C2 - poor, C RI - maintain, R2 - urg	23 - good		we.	Row N/3 west Record a	# 13
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
ATTENDED OF THE OWNER OF THE	erenc'hoù-vioden-v	TOTAL SALES CONTRACTOR	A SHOULD SEE	The section of the contract of	Thousand Com-
PEDIMENT/PARAPET	r SI	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONEWORK					
coping	SI	C2	R3	Mortar fill and Els horizontal joints. Light wash as required.	
weathering	N/A			11	
inserts	N/A			The second secon	-
BRICKWORK					La Company
nims	N/A				
panels	SI	C2	R3	Repoint entire parapet.	
inserts	N/A				
BULLSEYE	N/A	1	7 = 3		
	Telefornia				
UPPER WALL	SI	C3	RI	Light wash and repoint brickwork as required.	
STONEWORK				- But and a special and a sequence.	
comice	SI	C2 1		5 p =	
	31	C3	RI		
BRICKWORK	97	-	227	The state of the s	
rims	SI	C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	SI	C3	RI		
LOUVRES	N/A		1	L	
LOWER WALL					
BRICKWORK					
rim	SI	C2	R3	Repoint 3 courses as shown. Light wash as required.	
arches		1		Not surveyable	
panels				Not surveyable	
panel under		20-0			
sill				Not surveyable	
nserts	N/A				
STONEWORK					
window sills				Not surveyable	
plinth				Not surveyable	
corbel	N/A			y and the second second	
inserts	N/A				
WINDOWS		7.5		Blind window not surveyable	100
				CONTRACTOR OF THE STATE OF THE	

Record # 13	Row N/3 west			key S1 - high, S2 - moderate, S3 - low, S4 - int	rusive.	
	SIGNIFICANCE		RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - reg		
DESCRIPTION	Š.	Ö	~	RECOMMENDED WORKS	NOTES	
lower wall continued		10	ne ne		F F	
GLAZED INFIL	(a) = \$	1		Not surveyable	1	
THRESHOLD	N/A					
TIMBER FRAMED WALL	N/A	Ĺ	11			
SERVICE PIPES			11	Rust proof corroded pipes.		
STEELWORK				Preserve steel brackets for length of building.	Interpret	
PILASTER	SI	CZ	R3	Repoint parapet and body. Els joints. Light wash as required.		
STONEWORK		r		And the second s	1	
coping	SI	C2	R3	Mortar fill and els joints.		
comice	SI	C3	RI		1	
plinth	SI	C3	RI			
inserts	Nil		-	3.64 (a) - 10.00 (a) - 10.00 (b) - 10.00 (c) - 10.00 (
BRICKWORK						
parapet	SI	C2	R3	Repoint entire parapet.		
body	SI	C2	R3	Repoint brickwork as indicated.		
down pipes	N/A					
inserts	Nil	1	L.,			
END PILASTER	N/A					
STONEWORKS						
coping	N/A			H =		
comice	N/A		7	**************************************		
plinth	N/A					
inserts	Nil				1	
BRICKWORK						
parapet	N/A	1	1	The same of the sa		
body	N/A	1	-	provide a second contract on the second contract of	7	
pipes	N/A	-				
inserts	Nil	i				
OTHERI			-			
		t and	YET OLDER	T.	E 0	
OTHER 2	1222.35		1 .220	Marian and American and American		
OTHER 3		1	-	·	L	

ey 11 - high, S2 - moderate 11 - bad, C2 - poor, C3	3 - good		е.		Annexe 20a /South	Record #	6
- maintain, R2 - urge	nt work, R3	- repair					
ESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECON	MMENDED WORKS		NOTES
EDIMENT/PARAPET		4.040		ļ	* 10 (11 1) at all access the c		
STONEWORK							
coping				1			
				1			
inserts			-	i			
BRICKWORK				1			
0621002300				-			
panels		-		-			
inserts				L .			
BULLSEYE				Ĺ			
DDED WALL			10-14-03	r			
PPER WALL				-			
Stanework							
comice							
BRICKWORK							
rims				L		Contract Contract	
panels	-			-			********
inserts				1			
				1			
WINDOWS			1	L.,			
LOUVRES			1	1			
OWER WALL							
BRICKWORK							
rim			-	1			
arches		1		1-1-1			
panels				i			
panel under		r ai					
sill				1	V-17		
inserts				1			
STONEWORK							
window sills			50 54	1			
plinth	. 9			1			*
				of the		*****	
corbel				1			
nserts	33						
WINDOWS	TT-1						2.52670
				10			
Door(s)				1			

Record # 6	Annexe 20a /South			key S1 - high, S2 - moderate, S3 - low, S4 - int	nave.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repai	NOTES
lower wall continued	INDEXTOR DUTCH	SOLT-OF STATE	AND THE RESIDENCE	ny dia dia dia kaominina ano dia 400 metatra dia 2007-20040 mendentra dia Prisente di Salam d	NAME OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF THE PERSON OF T
GLAZED INFILL		17	P. 16		
THRESHOLD				The second secon	
TIMBER FRAMED WALL SERVICE PIPES	0.44.080-7.0				
STEELWORK		ł			I i
PILASTER		Į			[]
STONEWORK					
coping	1				-
comice					1 7
plinth	E				
inserts		l	[]		
BRICKWORK					
parapet	-	insinin.	(
body	L				LJ
down pipes	-	r	+		r
inserts		1			1 1
END PILASTER					[
STONEWORKS		Lacons	A		h
coping			1 1	I am a man a man a man a man a man a man a man a man a man a man a man a man a man a man a man a man a man a m	T
comice				[1
plinth		1	5		
inserts					
BRICKWORK	-	·/			
		1		The second of the second second	1
parapet body					
pipes					1
inserts	= 1/4/	L	1	la escarranti sa can in comenc	La sa el
OTHERI	******	· · · ·	ļ		1
OTHER 2		Į.			1
OTHER 3		Í			

COMMENTS THE THE THE PROPERTY AND ADMINISTRATION OF THE PROPERTY OF THE PROPE	Annexe ZUa /South	Record # 6
New addition is of neutral significance. I		

BUILDING FABRIC INVENTORY

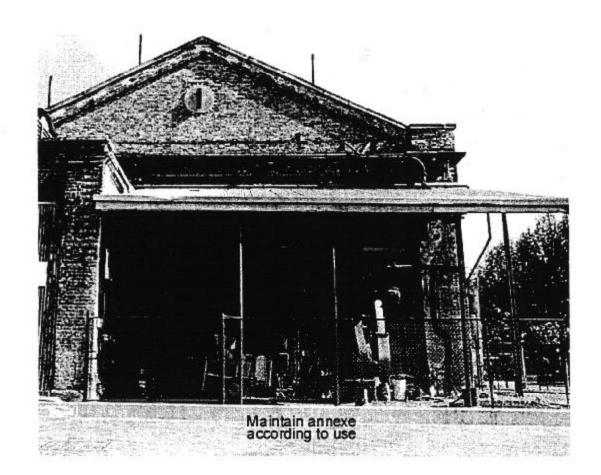
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SOUTH WALL ANNEXES INVENTORY SHEETS

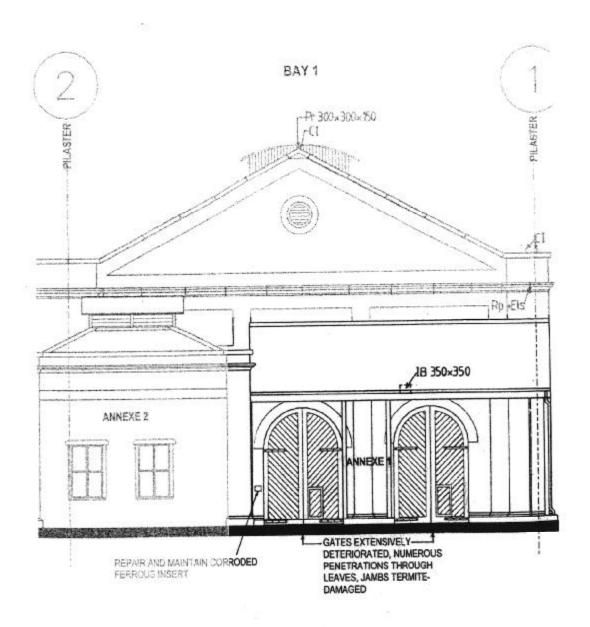
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BUILDING FABRIC INVENTORY

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LOCATION	Annexe 1/ South	RECORD #	
	□ BAY □ ROW ☑ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	

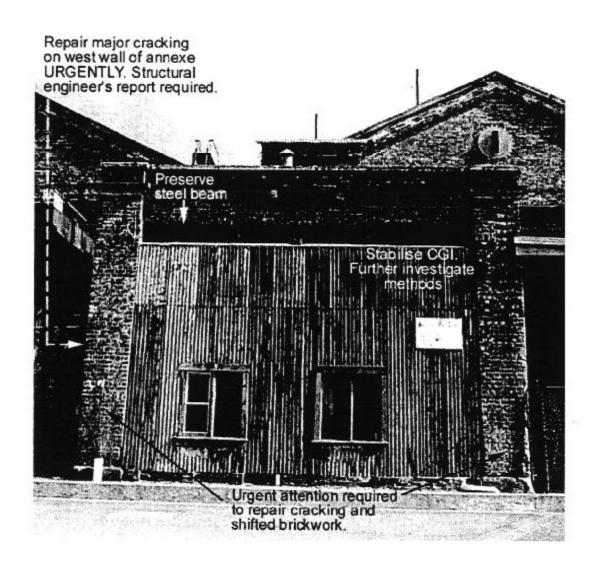


Record #	Annexe I/ South	AND	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE O SILLS WITH LIME MORTAR & POINT TOP OF JOINT H ELASTOMETRIC SEALANT AND BACKING ROD.
☐ Ps Small epoxy ☐ Pr Patch stone ☑ IB Insert Brick	ed stone insert sert, remove and epoxy patch	Rc Tme	Inject crack with epoxy mixture Apply rust-converter to corroded femous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

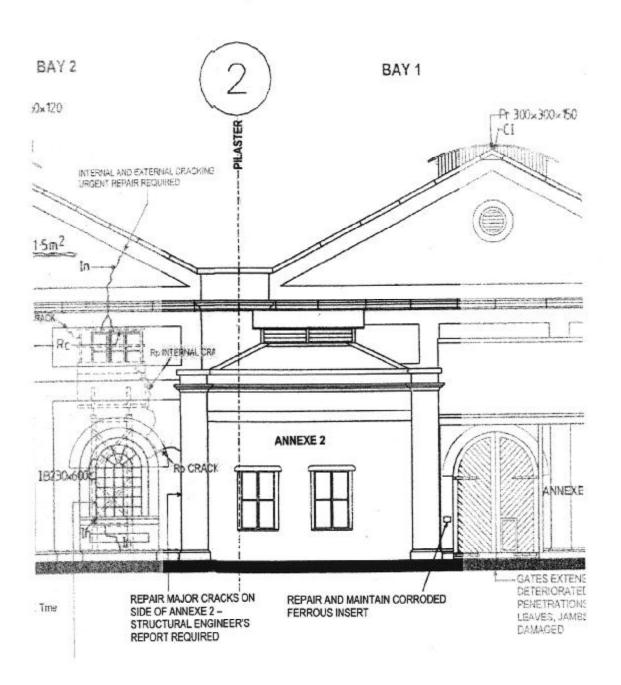
key SI - high, S2 - moderate CI - bad, C2 - poor, C3	3 - good		20	Annexe I/ South Record #	l l
R1 - maintain, R2 - urge	nt work, R3	- repair			
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
				or the property of the Control of th	ecolorida de la composição de la composi
PEDIMENT/PARAPET	N/A				
STONEWORK					
coping	N/A				
weathering	N/A			1	
			3		
inserts	N/A		1		
BRICKWORK					
rims	N/A				-
panels	N/A		1		
inserts	N/A			1	
BULLSEYE	N/A				
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	1404	-	38000-00	- 1	
	NI/A			. ,	
UPPER WALL	N/A				
STONEWORK					
comice	N/A		10000	* pre-statement s'e de central executive (e.g., e.g.,	
BRICKWORK					
rims	N/A			The second of the second of	
		-	-		
panels	N/A	1	A	1	-
inserts	N/A				
***	N/A				
WINDOWS	TWA			ł 1	
LOUVRES	N/A	N3	ł	<u> </u>	
LOWER WALL					
				9	
BRICKWORK	N/A			process of the second	
		1	-		
arches	N/A				
panels	N/A	10			
panel under	N/A				
sil					
inserts	N/A				
STONEWORK					
window sills	N/A	- 1			
plinth	N/A			Î .	
corbel	N/A			province are commenced as	
inserts	N/A				
WNDOWS	N/A			Form continues a comment of a second	
	CHES		8 999	· · · · · · · · · · · · · · · · · · ·	
Door(s)					

Record #	Annexe	1/ South		key 51 - high, S2 - moderate, S3 - low, S4 - int	rusive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repai	NOTES
lower wall continued	TO THE REPORT OF THE PARTY.		CALADON, MINISTERIOR	THE RESERVE AND A SECRET CONTRACTOR OF A SECRET PROPERTY PROPERTY OF A SECRET PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY PROPERTY OF A SECRET PROPERTY	pulse to the control of the control
GLAZED INFILL	N/A				
THRESHOLD	N/A			Laboration of the control of the con	
TIMBER FRAMED WALL SERVICE PIPES	N/A				1
STEELWORK	N/A	1			
PILASTER	N/A		il	1	L
STONEWORK					
coping	N/A				1
comice	N/A	1	-		
plinth	N/A			and 6 10 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
inserts	Nil				1
BRICKWORK					
parapet	N/A				
body	N/A	1	11		1
down pipes	N/A				1
inserts	Nil		1	Constant of the Constant of th	le ment
END PILASTER	N/A				
coping	N/A	1		1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	
comice	N/A	1	1		7
plinth	N/A				1 .
inserts	Nil	1			L
BAIOKWORK					
parapet	N/A				
body	N/A	4	T		
pipes	N/A	7		Lucia de la composición dela composición de la composición de la composición de la composición de la composición dela composición de la composición de la composición dela composición dela composición de la composición de la composición de la composición de la composición de la composición de la composición dela composición de la composición de la composición dela compos	
inserts	Nil	1.,	1	[L	į
OTHERI			Į		
		1	Server.	The same was a second or consequences executed and	
OTHER 2				The street of th	10 13
OTHER 3		- Her 10-	-		L

COMMENTS	Annexe I/ South	Record # 1
Annexe I is a simple lean-to addition with rails be maintained as an open sided under cover s workshop for Wrought Artworks. The De B could constitute a public risk.	space as far as possible. However, this ann	nexe is currently operating as a
The existing fabric is not of particular significar shouyld be generally maintained. New elemen	nce but the annex form and materials sho its may be necessary for continued operati	uld be retained. The structure ional safety.
20		



LOCATION	Annexe 2 /South	RECORD #	5
	□ BAY □ ROW ☑ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST	
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	



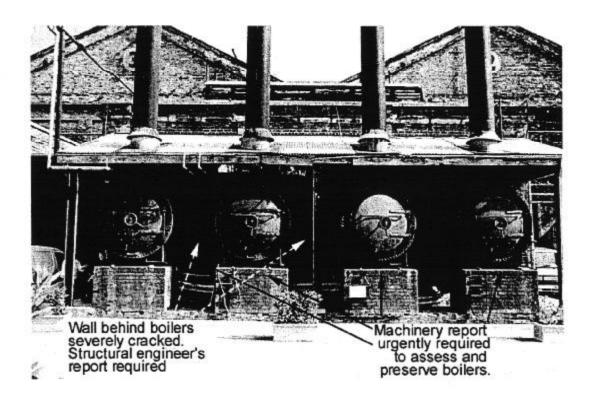
Record # 5	Annexe 2 /South	ANI	D SILLS WITH LIME MORTAR & POINT TOP OF JOINT TH ELASTOMETRIC SEALANT AND BACKING ROD.
Ps Small epoxy	ed stone insert sert, remove and epoxy patch	Rc Tme Zak	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert. To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE

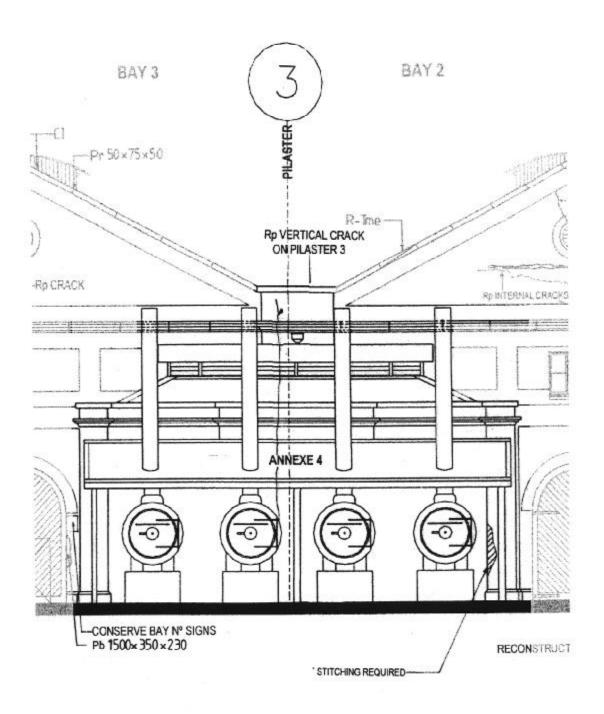
ey 1 - high, S2 - moderat 11 - bad, C2 - poor, C 11 - maintain, R2 - urg	3 - good		sive.	Annexe 2 /South Re	card # 5
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	СЗ	RI	Good condition. Els joints. Light wash, repoint as requir	red.
STONEWORK	description and	-		274	
coping	SI	C3	RI	Mortar fill and els joints.	1
weathering	N/A	ii			
inserts	N/A	Ī		· L	1
BRICKWORK					
nms	SI	G	RI	Light wash and repoint as required.	
panels	N/A		1		
inserts	N/A	E i			
BULLSEYE	N/A	1			
DOLLSE:E	INA	J			
JPPER WALL	SI	C2	R3	Els stone joints. Light wash, repoint brickwork as requir	red.
STONEWORK				The second secon	and the second
comice	SI	CZ	22	M	
	31	CZ	R3	Mortar fill and els joints.	1
BRICKWORK		0.5	36-	- A - A - A - A - A - A - A - A - A - A	
rims	SI	C3	RI	Light wash and repoint as required.	
panels	N/A				
inserts	N/A	1	1 -		1
		-	177		2 July 1
WINDOWS	N/A	-	-		
LOUVRES	N/A	l I	l 1	J. C	
OWER WALL BRICKWORK					
rim	N/A		-		
arches	N/A		1	The state of the s	
panels	N/A		1		
100000000000000000000000000000000000000				Set to the NU tribe	100
panel under sil	N/A				
inserts	N/A			contraction of the same of the	
STONEWORK					
window sills	N/A	10.0		The state of the s	
plinth	SI	C2	R3	Plinth exfoliating severely. Repair	HP
corbel	N/A	100			
inserts	N/A				
WINDOWS	S2	C2	R3	Apply rust converter to window heads as required.	
AAIMPEANAS			110	ripply rose converted to will down reads as required.	

Record # 5	Annexe 2 /South key S1 - high, S2 - moderate, S3 - low, S4 - ii					
DESCRIPTION	SIGNIFICANCE		RECTIFICATION	C1 - bad, C2 - poor, C3 - good. R1 - maintain, R2 - urgent work, R3 - repa		
ower wall continued	A PUNISHBURS	and the second	THE RESERVE AND ADDRESS.			
GLAZED INFILL	52	C3	RI	Glass intact	1, 3	
THRESHOLD	N/A					
TIMBER FRAMED	N/A		1 1		L	
WALL SERVICE PIPES	N/A	-				
STEELWORK	SI	C3	RI	Monitor steel beam. Apply rust converter if required.	1	
PILASTER	SI	C2	R3	Stabilise pilaster, repair major cracks. Repoint.	URGENT	
S-ONEWORK						
coping	SI	C2	R3	Mortar fill and els joints.		
comice	SI	C2	R3	Mortar fill and els joints.		
plinth	51	CI	R3	Plinth exfoliating severely. Repair	HP	
inserts	Nil	1	1			
BRICKWORK						
parapet	SI	C3	RI	Light wash and repoint as required.		
body	SI	CI	R2	Repair major cracks. Stabilise brickwork. Light wash, repoint.	URGENT	
down pipes	N/A					
inserts	Nil	_	l.,j			
END PILASTER STONEWORKS	\$1	CI	R2	Pilaster may be unstable. Repair cracks, remove vegetation.	URGENT	
coping	SI	C3	RI	Mortar fill and els joints.		
comice	SI	СЗ	RI	Mortar fill and els joints.	1	
plinth	SI	CI	R3	Plinth exfoliating severely. Repair	HP	
inserts	Nil				1	
BRICKWORK						
parapet	SI	C3	RI	Light wash and repoint as required.	T	
body	SI	CI	R2	Remove vegetation. Repair major cracks. Stabilise brickwork.	HP	
pipes	N/A				I.	
inserts	Nil	1	F		9	
	SI	CI	R2	Repair major cracking on west wall of annexe immediately. Unstable	URGENT	
OTHERI	3	1 7 7 7 7		A CONTROL OF THE STATE OF THE S		
OTHER 2	S2	C2	R3	Stabilise corrugated iron. Investigate preservation techniques.		

Annexe 2/South	Record # 5
ructural instability in Annexe 2. A structural of and repairing Annexe 2 should be given budy of the interior fabric.	engineer's report is require nighest priority. See also th
	ructural instability in Annexe 2. A structural of g and repairing Annexe 2 should be given I



OCATION	Annexe 4 /South	R	ECORD #	7
	□ BAY □ ROW ☑ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST		
	☐ URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET	-	



Reco	rd# 7	Annexe 4 /South	ANI	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE D SILLS WITH LIME MORTAR & POINT TOP OF JOINT THELASTOMETRIC SEALANT AND BACKING ROD.
	Re point Corroded Small epos Patch stor Insert Brio	ne nted stone insert insert, remove and epoxy patch ky patch ne with reinforcement	Rc Tme	Inject crack with epoxy mixture Apply rust-converter to corroded ferrous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

key SI - high, S2 - moderate CI - bad, C2 - poor, C: RI - maintain, R2 - urge	3 - good		e.	Annexe 4 /South Record #	7
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	N/A	011.5		1	
STONEWORK		1			
coping	N/A		POT 55	[
weathering	N/A				
38150356350,076					
inserts	N/A	ll			Tonas and
BRICKWORK	NI/A	0.00			
17/25/2000 i	N/A			<u> </u>	-
panels	N/A			1	
inserts	N/A	1		The property of the contract o	
BULLSEYE	N/A				
	N/A		-	[
UPPER WALL	IN/A				
STONEWORK					
comice	N/A				
BRICKWORK					
rims	N/A				
panels	N/A				
			-		
inserts	N/A	1		the state of the s	
WINDOWS	N/A				L
Louvres	N/A			1	
LOWER WALL					
BRICKWORK	61	c. I	D2	Personal Property and Company of the	LIDGENIT
rim	SI	CI	R2	Severe cracking, Urgent attention - consult machinery report.	URGENT
arches	N/A			provide and a second contract of the second	
panels	SI	CI	R2	Severe cracking, Urgent attention - consult machinery report.	URGENT
panel under	N/A				-
sill inserts	N/A			1	D 4 9
STONEWORK					
window sills	N/A			The second and the se	
				Network	
plinth	N/A			Not surveyable	
corbel	N/A				
inserts	N/A				
WINDOWS	1				
Door(s)					
				The same of the sa	

THRESHOLD	A'X A'X A'X A'X A'X A'X A'X A'X A'X A'X	CONDITION	RECTIFICATION	C1 - bad, C2 - poor, C3 - good R1 - maintain, R2 - urgent work, R3 - repair	NOTES
GLAZED INFILL THRESHOLD	N/A N/A N/A	tura (nt) wroa			
THRESHOLD	N/A N/A N/A				1 1
	N/A N/A				
TIMBER FRAMED	N/A		1		
				H	1
WALL SERVICE PIPES		1	- 01		
		CI	R2	Urgently preserve boilers. Consult machinery report.	URGENT
PILASTER	SI :	CI	R3	Repoint vertical crack in pllaster 3. Els joints.	1 1
STONEWORK					
	SI	C3	R3	Mortar fill and els joints	
comice	SI	C3	R3	Mortar fill and els joints	
plinth	SI	C3	R3	Mortar fill and els joints	
50,000	Nil			1 for car till and disjoints	
BRICKWORK					
parapet	SI	C3	RI	Light wash and repoint as required.	-
10. 10.	SI	CI	R3	Repoint large vertical crack in pilaster.	HP
200)	SI	CI	RI	Internal downpipes caused cracking, now diverted but intact.	Done
1347519-00	Nil	CI	is.	internal downpipes caused cracking, now overted but mace	Conc
	D			da a a	
END PILASTER	52	CI	R3	Urgently stitch eastern pillar. West pillar good condition.	URGENT
STONEWORKS					
coping	N/A		1 55	THE THE IT SEE ! IN	1
comice	N/A	7			-
0.040.040	N/A				1
inserts	Nil			Harris and the state of	
BRICKWORK					
parapet	N/A	1		Ma unimental massive constitution to a	
body	S2	CI	R3	Stitch brickwork urgently in eastern pillar. Light wash, repoint.	Urgent
	N/A	1			
inserts I	Nil	Ì	1	1	
OTHERI			- [F
OTHER 2					1
OTHER 3		potentia	-		

COMMENTS	Annexe 4 /South	Record # 7
Annexe 4 is in very bad condition and is structurally where installed a large steel beam was inserted and should be conserved in this form.		
A structural engineer's report is required to assess s annexe. Cracks should then be repaired as soon a brickwork needs to be stitched urgently. The four b blocked stormwater drains and fills with water. The asbestos.	is possible in consultation with this oilers are also severely deteriorating	report. The eastern pilaster and the pit below them has
Recommendations for preservation of the boilers s could also be prepared.	should be outlined in the machinery	report. Interpretive signage

BUILDING FABRIC INVENTORY

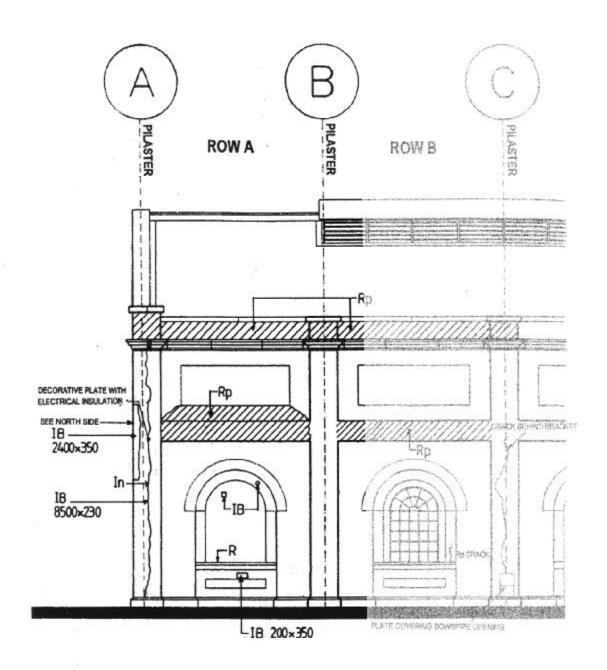
WEST WALL **INVENTORY SHEETS**

BUILDING FABRIC INVENTORY

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Preserve bolts Remove intrusive orange PVC pipa. Preserve steel bracket and beam for length of building. Remove loose cables and unattached pipe. Preserve bolts Rust-proof and preserve corroded cannister and brackets. Interpret .11

OCATION	Row A/15 west			RECORD #	1
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST			
	URGENT WORK	HP [HIGH PRIORITY]	INTRUSIVE	T	



Reco	orc	d #	F	Row A/15 west	AND	TE: FILL OPEN JOINTS IN STONE COPING, CORNICE O SILLS WITH LIME MORTAR & POINT TOP OF JOINT THE LASTOMETRIC SEALANT AND BACKING ROD.
	H	nder Hairl Re p Com Smal Pato Inse	oint roded in I epoxy ch stone ert Brick	ed stone insert sert, remove and epoxy patch	Rc Tme Zac Rv Pb Rb	Inject crack with epoxy mixture Apply rust-converter to corroded femous metal insert To match existing New Zincalume capping to replace corroded capping Remove vegetation and rake out joints 20mm deep Make safe by removing loose stone Patch brickwork Reconstruction of brick surface of wall Other, see "Notes"

key SI - high, S2 - moderate CI - bad, C2 - poor, C RI - maintain, R2 - urge	3 - good		ve.	Row A/15 west Record	# 1
DESCRIPTION	SIGNFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	SI	C2	R3	Repoint parapet brickwork. Els joints. Light wash.	
STONEWORK	8.57			repoint parapet or oxyone Els joints. Eight Wast.	
coping	SI	C2	R3	Mortar fill & Els joints. Light wash as required.	**
weathering	N/A				1 1
inserts	Ñ/A	1			H
BRICKWORK	-				
rms	N/A				Total Company
panels	SI	C2	R3	Repoint parapet. Light wash as required.	***
inserts	N/A				
BULLSEYE	N/A			The state of the s	
UPPER WALL	SI	C2	R3	Repoint rim brickwork and Els cornice joints.	
STONEWORK					
comice	SI	C2	R3	Mortar fill and Els joints.	7 11
BRICKWORK		CL	10	riortal ill and cis joints.	
rims	SI	C2	R3	Repoint brickwork as shown. Light wash as required.	
panels	SI	C3	RI	Light wash and repoint as required.	-
	333		100	in was and report as requires.	-
inserts	N/A	14 0 -			
WINDOWS	N/A		1	\	
LOUVRES	N/A	1			1
LOWER WALL BRICKWORK					
rim	SI	C2	R3	Repoint brickwork as shown. Light wash as required.	
arches	SI	C2	R3	Insert brick as shown. Light wash, repoint as required.	-
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C2	R3	Insert brick.	
sill inserts	N/A				
STONEWORK					
window sills	SI	CI	R3	Replace sill. Mortar fill and Els new joints.	
plinth	SI	C2	R3	Mortar fill and Els joints.	
corbel	N/A		100000		
inserts	N/A				
WINDOWS	SI	C2	R3	Insert brick in blind window. Light wash as required.	
Door(s)	N/A			A STATE OF THE STA	

Record #	Row A	15 west		key S1 - high, S2 - moderate, S3 - low, S4 - int	rusive
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	CI - bad, C2 - poor, C3 - good. RI - maintain, R2 - urgent work, R3 - repai	NOTES
lower wall continued	N N		<u>«</u>		ELTERNA TENNE IN THE
GLAZED INFILL	N/A	1	1	1.5	1
	A 10000000000	1		The second secon	processes.
THRESHOLD	N/A	1			
TIMBER FRAMED WALL	N/A		1		
SERVICE PIPES	54	CI	R3	Remove intrusive unattached pipes and loose cables,	Intrusive
STEELWORK	SI	C2	R3	Preserve steel bracket for length of wall. Rust proof as	1 1
PILASTER		1			1 1
STONEWORK		1	A second	I New York and the	
coping	51	C2	R3	- Mortar fill and Els joints. Light wash as required.	
comice	\$1	C2	R3	Els joints. Light wash as required.	
plinth	SI	C3	RI	1	
inserts	Nil	Pinn. + 1.	T		1
BRICKWORK					
parapet	SI	C2	R3	Repoint parapet. Light wash as required.	
body	SI	C3	RI	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil			AND IN SMETTE OF RE ASSESSED.	1 . 1
END PILASTER	SI	CI	R2	Urgently repair major crack, insert bricks and patch cornice.	URGENT
STONEWORKS					
coping	SI	C2	R3	Els joints. Light wash as required.	
comice	SI	CI	R2	Patch stone and repair crack in cornice.	HP
plinth	SI	C3	RI		10 10
inserts	Nil	Ĺ			
BRICKWORK					
parapet	SI	C2	R3	Repoint parapet	F.
body	SI	CI	R2	Repair large vertical crack urgently. Insert bricks as indicated.	URGENT
pipes	N/A				-
inserts	Nil	1			
OTHER	S4	CI	RI	Remove unattached steel pipe and loose cables from steel bracket.	Intrusive
OTHER 2	S4	Q	R3	Remove intrusive orange cables and associated alumnium brackets.	Intrusive
OTHER 3	SI	CI	R3	Rust proof corroded cannister at pilaster B. Consider interpretation.	Interpret
CHILITY	200			There per war a transfer out a region of a principle of the principle of the principle of the period	1 115000

SUMMARY OF COST ESTIMATIONS

LOCATION	0-2 years	3-5 years	6-10 years	10 + years	Sub Total	Scaffold	Travel Tower	Scissor Lift	Final Total
NORTH	13154	36872	9438	00009	119464	160000			279464
				100mm 10 mm					
WEST	2278	21691	8079	32000	64048		19500		83548
SOUTH	8729	38086	348981	4000	399796		41600		441396
EAST	2228	6053			8281			7500	15781
TOTALS:	26389	102702	366498	96000	591589	160000	61100	7500	820189
				The state of the s	-				

COST ESTIMATION: EAST

						TYPE	E OF W	DRK AS	F WORK AS IN LEGEND	QNE							STAGE (YEARS	YEARS	
Location	œ	-	I	Rp	ਹ	Ps	P	8	Els	=	S.	Zac	Ws	Pp	Rb	0-5	3-5	6-10	10+
Omod		1		(RV+Rp)					6	100			45			136	200		
Rouse NA.P		T		100	20		165		212				90	10		302	285		
Rows I &M				415	8		230		212	100			8			302	785		
Rows J&K	İ			1211	8		250		212	100			06			302	1621		
Rows G&H				100	8			20	212				8			302	180		
Rows E&F				140	8		120		212				8			302	280		
Rows C&D	r			140	8		150	1527	212	335			8			302	7577		
Rows A&B				200			230	20	190				8	9		280	460		
Totals:				2406	280		1146	1587	1563	636			875	20		2777	2000		

				TVDE	E OF WC	OF WORK AS IN LEGEND	INIEGI	GNE						٠,	STAGE (YEARS	YEARS)	
	I	Rp But Bu	ច	Ps	ă	8	Els	5	Rc	Zac	Ms	Pb	Rb Cb	0-2	3-5	6-10	10+
1		1178	8			88	379	100						379	1352	12852	
		4857	9		120	175	394	140	8			10	394	394	5392		
7008		2710	8			32	394							394	2785	7008	
14553		4809	20			55	394	-	30			60	1043	394	6001	14553	
64377	1942	2860	8			902	394	1248	30					394	4954	69870	
64377		1370	8			8	394		30					394	1428	75767	
42267		277	20				394		42					394	339	80209	
57816	-	2183	20			15	394		42			8	- Francisco	394	2224	57816	4000
	1454	5852	20				394							394	5972	22506	
1	-	788	20			88	394					35	1736	394	2674	23086	
1314	-	1654	80			320	379				360			739	2054	12704	
	2111		20			99	454				360			794	76	2111	
			20			20	444	476			360			804	516		
	1		8		45	450	424				360			784	535		
		300	49		160	35	484	606	4		360			844	1484		
			9		180	09	479				360			839	900		1
251712	2 6507	29036	909		909	2125	6999	2873	264		2160	28	2779	8729	38088	348981	4000

COST ESTIMATION: SOUTH

Stonework and Brickwork Repair Program Bleigl

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COST ESTIMATION: WEST

						TYP	TYPE OF W	WORK AS IN LEGEND	IN LEGE	QNE						•	STAGE ((YEARS	
Location	œ	-	Ξ	Rp	5	Ps	-	<u>B</u>	Els	드	28	Zac	Ms	Pb	8	0-5	3-5	6-10	10+
Dome A.B.	4000			3528	30			841	240				86			330	4369		4000
Done Can	4000			1408				150	212				86			302	1648		4000
Done Est	200			2432				40	212				86	48		302	2220	8000	8000
Dome Con	3	07/08		2012					212				86	25		302	2282	8079	4000
Kows Gar	0000	6/38		2000			9		212		09		06			302	3090		8000
Kows Jan	300			2002			45	•	212		99		06			302	3320		4000
Down MED	302			2026					212		8	-	8			302	2984		
Down own				4778					16				45			136	1778		
Totale	32000	8079		20276			86	1039	1603		180		675	112		2278	21691	8079	32000

(RS)	6-10 10+	1	4000	1200 4000			4000	BOOD	+	2190	8000	4000	4000	+	3465 8000	8000	0008	36		2628	
STAGE (YEARS)	\vdash	2239	3702	1573 13	273	273	3060	0000	+	1700 2	4764	2055	0,	-	3520 3-	2900	020	2010	1834	1359 2	
STA			-	-	H	H	t	+	+	-	- 0	H	+	-	_	\vdash	t	+			
L	0-2	816	833	833	1268	1268	791	1	8	755	755	755	-	8	721	721	1	121	721	721	
	g.							1				L	1			L	1				
	Pb	80	22	89	8	8	30	3					1	00			1	8	54	15	
	Ms	360	380	360	360	360	360	3	360	360	380	360	3	380	360	380	3	360	360	360	
	Zac				904	435								+						-	
	S.						4	7	8		42	â	2	8	9	9	3	20	20	54	
QN	5	1310	2010		T	T	470	2											100	02	
N I EGE	Els	456	473	473	473	473	2	5	382	382	395	2000	CSC	396	361	100	301	361	361	364	3
OF WORK AS IN LEGEND	<u>B</u>	2	009	1	30	4	2 5	120		8	09	1		30	8	3 8	8		8	350	3
OF WO	F.		920	565	48	230	200	220	100	100	1	1	949	400	050	3	800	200		500	23
TVDE	Ps		T	T	T	1	1	9		T	T				1					1	
	5	105		T	1	8	8			9	-				T				T	1	
	Rp	800	200	000	3			2140	3140	1500	4660	7004	1600	1060	200	NC2	2040	1500	9	200	200
	I	1	1	1200	200	1				2190					1000	3400			1		2628
	-	T	1	1	1	1					1			T	1			T	1		
	æ	t	4000	200	3			4000	8000		0000	9000	4000	4000	3	8000	8000	9000	3		
	Location	1	1	†	Bay 3	Bay 4	Bay 5	Bay 6	Bav 7	Day .	Day o	Bay 9	Ray 10	1	Bay 11	Bay 12	Rav 13	200	Bay 14	Bay 15	94

COST ESTIMATION: NORTH

- All re-pointing work including injection of epoxy mixture into cracks.
- Epoxy-patch works including removal of corroded inserts which are likely to cause damage to stones.
- · Brick inserts and patchings.
- Stage 3 (6-10 years) works indicated in the Legend as I, H, R:
 - Stone replacement works including indents, hairline jointed inserts and replacements.
- For remedial works in relation to existing annexes, refer to previous issued document:
 "Masonry And Roof Remedial Works Annexes Nos 2, 4, 6, 12 & 13" 97011 W1 by Otto Cserhalmi & Partners Pty Ltd.
- Existing cracks to be regularly monitored in accordance with the Structural Engineer's Report (prepared by Hughes Trueman & Reinhold Pty Ltd).
- 12. Investigation to be carried out in relation to existing conduits, cables, etc which may interfere with the brick/stone repair work.
 If live cables are found, allow to disconnect for duration of the work.
 Alternatively, safety measures are to be taken complying with all the relevant regulations and standards.
- All inserts on the top of coping stone course to be removed even if not all of them are shown on the drawings.
- 14. All extensively deteriorated or damaged stone window sills to be replaced in the long term (post ten-year period).
- Allow \$10,000 for scaffolding on North side of building for each bay (ie 16 bays x \$10,000 = \$160,000).
- Allow \$2,600 for hiring travel tower (cherry picker) on South side for each bay, \$1,300 on West side for each row and \$500 on East side for each row for hiring scissor lift.

GENERAL NOTES

- This report is based on a site survey undertaken by Otto Cserhalmi & Partners Pty Ltd in July 1998.
- The inspection has been carried out from the ground level using binoculars and photographic records.
 The visual accessibility of some bays is limited due to attached roofs, annexes, large number of pipe works and the like.
- The aim of this survey is to establish the nature and the approximate extent
 of the repair/repointing of the external stone and brick works.
- The quantities given in this report are indicative only for estimation purposes and are to be finalised on site at a later stage.
- The report does not contain references to repair/reinstatement of such damaged stones that are affected by pipe, duct, conduit etc. penetrations.
 These are deemed to be historic evidence of the former activities pursued in the building complex.

If, however, a closer, detailed inspection of these stones finds signs of potential hazard (i.e. loosened particles, cracks and the like), these have to be addressed.

The report also does not address remedial works concerning the plinth stone course of the building. The apparent damage to these stones could be the result of natural ageing (wear and tear) and does not seem to be an immediate hazard.

 All joints on horizontal surfaces to be re-pointed with elastomeric sealant and backing rod. These include all joints of the coping and cornice stones, regardless of whether any of them is to be replaced at a later stage (not shown on drawings).

Where Els is shown on drawing, it indicates excessively opened joint (approximately 20-25 mm wide) and it is to be mortar filled joint with elastomeric topping, using backing rod.

- All loose stone fragments to be removed to "make safe". All stones on North, West and East elevations to be included and also on South Elevation Bays 1-6 inclusive. (Not shown on drawings.)
- Re-pointing work to be carried out by skilled tradespeople having demonstrated experience in conservation work. Test area of a minimum 1 m² to be prepared for the approval of the Conservation Consultant.
- All repair works to be staged:
 - Stage 1 (0-2 years) works indicated in the Legend as Els, MS, Zac:
 - · "Make safe" works. (Removal of loose particles.)
 - Re-pointing of joints on horizontal surfaces.
 - Stage 2 (3-5 years) works indicated in the Legend as IB, In, CI, Pr, Ps, Rp, Rv Pb, Rb

SUMMARY

This report is prepared for the Department of Public Works and Services to assist in planning a budget for the remedial work of the external masonry fabric of the Australian Technology Park Building (the former Eveleigh Locomotive Workshops).

The report is based on a site survey carried out by Otto Cserhalmi & Partners Pty Ltd.

The purpose of the survey was to establish a long-term strategy for the above job.

It is recommended that the work be carried out in three main stages:

- short-term (0-2 years) includes works aimed at safety aspects
- medium-term (3-5 years) includes preventative works
- long-term (6-10 years) includes remedial works.

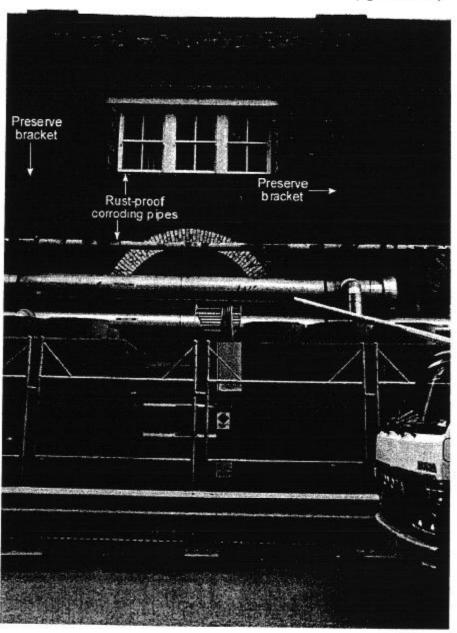
The report also contains recommendations relating to the amount of funds needed to execute the job. Note that the amounts shown are based purely on broad estimation only and updating and adjustments will have to be made as the work progresses.

The price for the stone has been obtained from the DPWS Heritage Stoneyard.

CONTENT

- Summary
- General Notes
- Legend
- Cost Estimations (N,W,S,E)
- Summary of Cost Estimations
- Drawings No 97015-R1 to R48 inclusive

Preserve any historic fittings (eg. steel bolts)



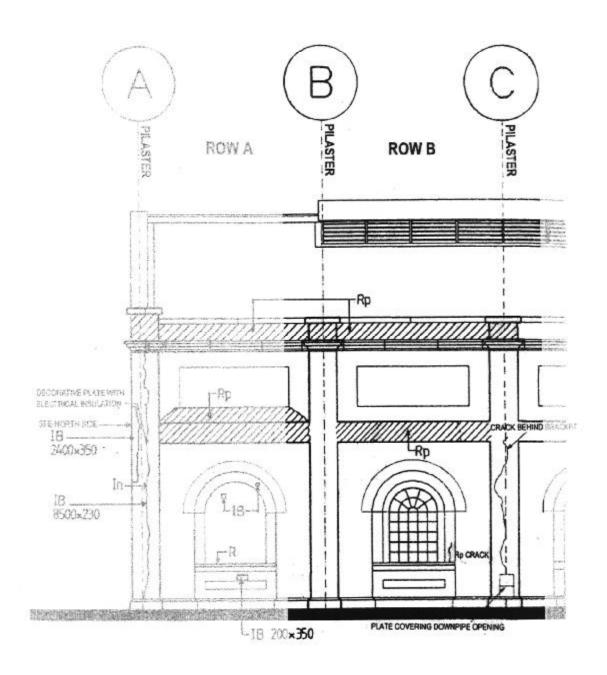
LOCATION	Row P/2 west		RECORD #	14
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST		
	URGENT WORK	☐ HP [HIGH PRIORITY] ☐ INTRUS	VE []INTERPRET	

COMMENTS	Row N/3 west	Rec	ord # 13
p600 designer), qui disense prime prime de proprieta de proprieta de secundo de como de produ	describer non-refrected discontrologicals were dis-saute constitute more trajectory estaumation	on material value of the later of	e granuscenski skal
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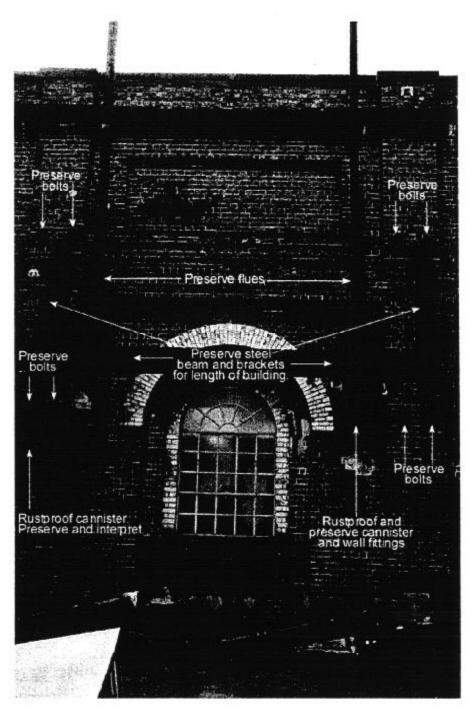
COMMENTS	L	Row B/14 west	Record # 2
the model believes (1/10 to 1/10 AC PER CONTROL PROPERTY MODEL TO PER CONTROL TO THE CONTROL TO THE CONTROL ACC	a de de trada media de trada en en en en en en en en en en en en en	hand street in the channel on the Galeranian per interestates	CHARLES ENGLISHED COM CHARLES AND A CANADA AND A SECURIÓR P
			7

Record # 2	Row B/1	4 west		key \$1 - high, \$2 - moderate, \$3 - low, \$4 - int	usive.
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIRCATION	C1 - bed, C2 - poor, C3 - good R1 - maintain, R2 - urgent work, R3 - repair RECOMMENDED WORKS	NOTES
lower wall continued	PHILIPPOINT THE	CONTRACTOR OF STREET	enperman specialistics		CONTRACTOR OF THE PARTY OF THE
GLAZED INFILL	SI	C3	RI	I a remarkable to the remarkable	1 1
THRESHOLD	N/A		1		
TIMBER FRAMED	N/A	L			Ll
SERVICE PIPES	N/A				
STEELWORK	SI	C2	R3	Preserve steel brackets. Rust proof as required.	1
PILASTER	SI	C2	R3	Repoint vertical crack. Els joints. Light wash, repoint as	HP
STONEWORK	and the state of				XII 2
coping	SI	C2	R3	Mortar fill and Els joints.	1
comice	SI	C3	RI		
plinth	SI	C3	RI		
inserts	Nil	1	[
BAICKWORK					
parapet	51	C2	R3	Repoint parapet. Light wash as required.	
body	51	C2	R3	Repoint long vertical crack. Light wash as required.	HP
down pipes	N/A		1		
inserts	NII	1			1
END PILASTER	N/A				
Stoneworks	47.000				
coping	N/A				
comice	N/A				Γ .
plinth	N/A				1
inserts	Nil				Ĺ
BRICKWORK					
parapet	N/A	-	1	and the same of th	1
body	N/A	-			1
	N/A			The same and the s	
pipes					1
pipes	Nil			Manager Comments of the Commen	+
95-87-00 Ali	Nil S1	C	R3	Rust proof, preserve corroded metal carnisters & fixings. See photo	E_
inserts		ci ci	R3	Rust proof, preserve corroded metal carnisters & fixings. See photo Preserve flues. Rust proof as required. Consider interpretation.	Intepret

key \$1 - high, \$2 - moderati C1 - bad, C2 - poor, C R1 - maintain, R2 - urge	3 - good		ive.	Row B/14 west Record i	# 2
DESCRIPTION	SIGNFICANCE	NOLIDNO	RECTIFICATION	RECOMMENDED WORKS	NOTES
eminario, participamento a entre carabado	MINISTER SHAPE			News and their transported you wintown action of manufacturers into contract on a strong wint, such as their facilities of the second of the s	THE PERSON NAMED IN
PEDIMENT/PARAPET	SI	C2	R3	Repoint entire parapet and Els joints. Light wash as required.	0.00 0.00
STONEWORK		700		Special and the special and th	
coping	SI	C2	R3	Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				8.5
BRICKWORK	-				
rims	N/A			The second secon	
panels	SI	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
50000000	1965				
UPPER WALL	SI	C2	R3	Els cornice joints. Repoint and light wash brickwork as	de la compania de la compania de la compania de la compania de la compania de la compania de la compania de la
STONEWORK					
comice	SI	C2	R3	Made 60 6 Flating Links and a second	
	31	CZ	13	Mortar fill & Els joints. Light wash as required.	1
BRICKWORK	ŠI	63	01	- value representation and a second	
rims		C3	RI	Light wash and repoint as required.	
panels	SI	C3	RI	Light wash and repoint as required.	
inserts	N/A			TI.	
WINDOWS	N/A				
	N/A			14	
LOUVRES	INA			ar Language a arabic car in a consequence of a minimum and	
LOWER WALL					
BRICKWORK					
nm	SI	C2	R3	Repoint and insert brick as indicated in drawing	
arches	SI	C2	R3	Repoint crack.	
panels	SI	C3	RI	Light wash and repoint as required.	
panel under	SI	C3	RI	Light wash and repoint as required.	
sill inserts	N/A				
STONEWORK					
window sills	SI	C2	R3	Mortar fill and Els joints. Light wash as required.	
plinth	St	C3	RI		
corbel	N/A				
inserts	N/A				
WINDOWS	SI	C3	RI		
Door(s)	N/A				



Record # 2	Row B/14 west	NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.
Rp Re poin Cl Corrod Ps Small ep Pr Patch s IB Insert 8	tone jointed stone insert t led insert, remove and epoxy patch poxy patch stone with reinforcement	In Inject crack with epoxy mixture Rc Apply rust-converter to corroded femous metal insert Time To match existing Zac New Zincalume capping to replace corroded capping Rv Remove vegetation and rake out joints 20mm deep MS Make safe by removing loose stone Pb Patch brickwork Rb Reconstruction of brick surface of wall Ot Other, see "Notes"



LOCATION	Row B/14 west			RECORD #	# 2
	□ BAY ☑ ROW □ ANNEXE	□ NORTH □ SOUTH □ EAST □ WEST			
65	URGENT WORK	HP [HIGH PRIORITY]	INTRUSIVE [INTERPRET	

OMMENTS	Row A/15 west	Record # 1
BBB to the standard with grade that the relative West and the Peter School de de Africa.	erfra 28 så ni 190 hann et kvater bleveten unvergentet propositiet och de op et et televisionen en en	ner (legal 1:3/Ca (iii) haddinas an Philosophy and her make the (iii) for a secret to become on