



# EVELEIGH LOCOMOTIVE WORKSHOPS

## F A B R I C I N V E N T O R Y





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## 1.0 EXECUTIVE SUMMARY

This Heritage Fabric Inventory is Volume II of the "Eveleigh Locomotive Workshops Conservation Management Plan" (CMP). It is a review of the 1996 version produced by Otto Cserhalmi + Partners for the Department of Public Works and Services. The workshops building was photographed and re-assessed in 2002 in order to document its condition, outstanding works and completed works. The inventory includes the significance, condition and recommended works on each bay, row and annexe. The roof and roof top additions have been only partially assessed. Following the introduction, a key and glossary are provided for ease of use. The inventory proper is also in electronic form in FileMaker Pro.

The CMP (Volume I) examines the history of the Eveleigh Locomotive Workshops and its extant building fabric to arrive at a statement of heritage significance from which conservation policies and strategies are developed. The report is supported by an inventory of building fabric (this volume). It builds on the Conservation Management Plan prepared for the site by the Heritage Group, Department of Public Works and Services (DPWS) in 1996. An additional volume, (III) "The Carers' Guide" is also currently being developed.

The Eveleigh Locomotive Workshops building, built in 1887 and closed, as a railway workshop, in 1988, operated as part of a large complex of railway workshops now considered to be one of the best surviving examples of their kind in the world.

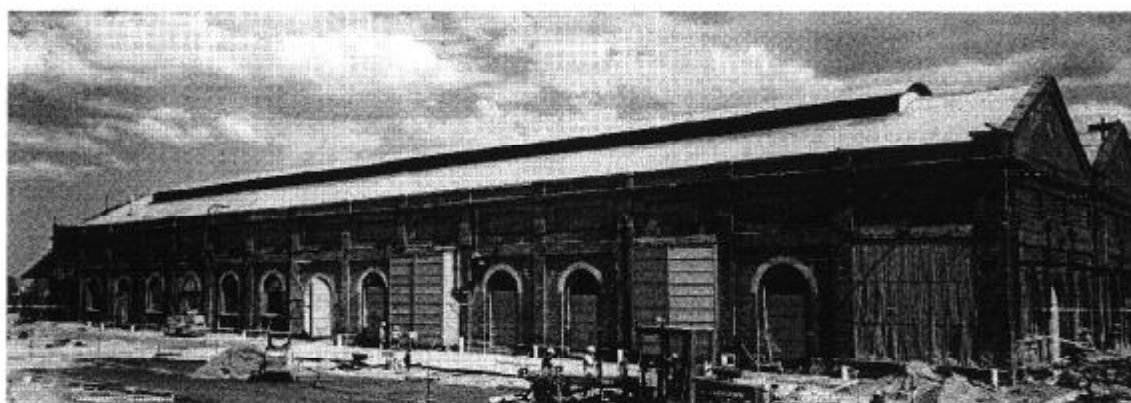
The place is of outstanding heritage significance on international, national, state, and local levels. The outstanding value of the Locomotive Workshops is dependent on the value of the place as a whole and in particular with its operating machinery. Few, if any, workshops of the late 19th Century, and of this size and quality, survive with operating machinery. The value of the machinery depends on the survival of systems, especially hydraulic and steam assemblages and collections. The loss of any of the parts diminishes the value of the whole. The place is further enhanced when it is considered in combination with the Eveleigh Carriage Workshops, sometimes referred to as the North Eveleigh Railway Workshops, as the combination of the two workshops is rare on an international scale.

The building is robust and has been adaptively re-used within the conserved building envelope.

Detailed levels of significance are ascribed in the CMP Vol. I. The general conservation policy recommends the retention of heritage significance in accordance with the principals of the Burra Charter (revised 1999). Such conservation should be achieved through minimal intervention with *maintenance* being the single most important conservation process. It is imperative that the internal spaces be conserved, that is, the grand industrial spaces that visually define workshops and factories of this era and size, and the design of which is generated by the overhead travelling cranes.

The policies are developed in detail for implementing and managing the conservation of the place, conserving the fabric, enhancing the cultural identity and undertaking new work. Detailed policies have been developed for treatment of the building fabric and machinery.

Initial works carried out from 1996 to adapt the place for new uses include stormwater collection and disposal and some building fabric conservation. Further work is required to conserve the building fabric, in particular the stonework, which was not conserved in the previous works. Detailed recommendations are being developed by Roger Parris for some of the machinery in a separate project undertaken concurrently with the preparation of this Conservation Management Plan.



The east wall of the Locomotive Workshops Building, Bay 1, Rows 1-15, during restoration works in 1996. Row 1 is at the left. The photo shows the many alterations to this wall. The wall was subsequently repaired and the original detail reinstated in most bays. Fire doors etc. were added in bays already altered. Source: OCP 1996

## 2.0 INTRODUCTION

### 2.1 AIMS OF THE INVENTORY

#### 2.1.1 BACKGROUND

This Heritage Fabric Inventory has been commissioned by the Sydney Harbour Foreshore Authority (SHFA). It has been prepared by Otto Cserhalmi + Partners PL (OC+P) in 2002. The inventory report is Volume II of the Eveleigh Locomotive Workshops reports as Volume I is the "Conservation Management Plan (CMP)".

#### VOLUME II THE HERITAGE FABRIC INVENTORY

This document reviews the 1996 Fabric Inventory. The primary aim of this volume is to provide a detailed physical analysis for each bay, row and annexe as well as internally when appropriate. The building was photographed in the process and all the photographs in this inventory date from 2002. The database has been set up in such a way as to identify the levels of significance for each section of the building and to facilitate the identification of required works and recommended treatments. The inventory is available in this format as well as electronically in a FileMaker Pro database. The electronic version can be reviewed and data changed when necessary.

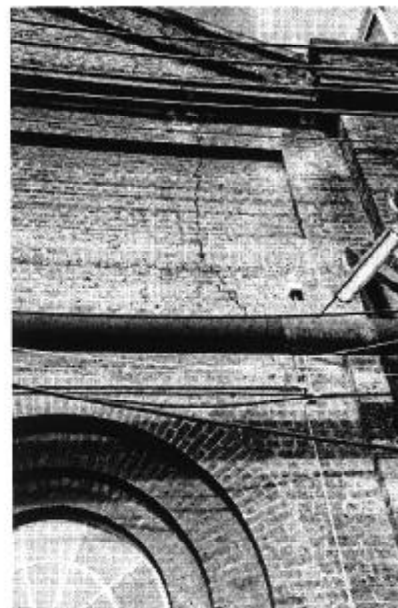
Volume II incorporates works identified in a "Stonework and Brickwork Repair Program" (Facades Life Cycle Study) prepared by OC+P for DPWS in 1998. That report included cost estimates which have not been updated in this CMP. The text of the program and cost estimates are included as an appendix. Note that the costs are 1998 prices and only external stonework and brickwork are included.

#### VOLUME I THE CONSERVATION MANAGEMENT PLAN

The CMP aims to be a practical document for the Eveleigh Locomotive Workshop to guide decisions which may affect the heritage values of the place. It will comprise one of the bases for future planning and provide a standard against which to assess the heritage impact of proposed developments. It should be used when planning development of proposals and when carrying out activities in the place.



A section of cornice that has fallen from the building. Urgent works are a maintenance priority to ensure the safety of users of the ATP as well as to halt the deterioration of the building.



Cracks that affect a large portion of the wall, such as this one (shown above), require prompt repair in order to halt irreversible deterioration.

The Australian ICOMOS Charter for the Conservation of Places of Cultural Significance (Burra Charter 1999) provides the Australia-wide accepted guidelines for heritage conservation. Section 2.0 (Conservation & Management) of the charter states:

- 2.1 *Places of cultural significance should be preserved*
- 2.2 *The aim of conservation is to retain the cultural significance of a place*
- 2.3 *Conservation is an integral part of good management of places of cultural significance*
- 2.4 *Places of cultural significance should be safeguarded and not put at risk or left in a vulnerable state.*

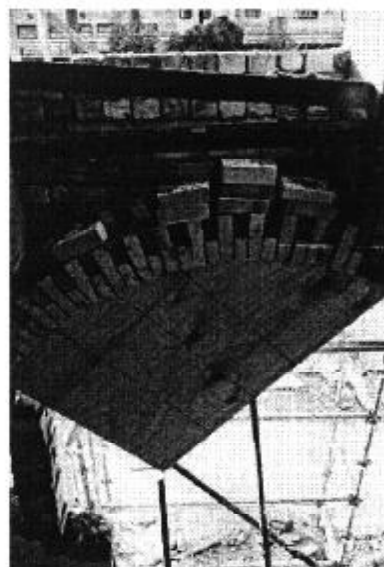
The NSW Heritage Council requires a Conservation Management Plan to be prepared for each item listed on the State Heritage Register. Once endorsed by the Heritage Council, this document will form the basis of exemptions from requirements to obtain approvals under Section 60 of the Heritage Act 1977.

The aim of the Eveleigh Locomotive Workshops Conservation Management Plan, therefore, is to set out:

- The cultural significance of the place
- Policies appropriate to enable the cultural significance of the place to be retained in any future development and conservation work
- Strategies for implementing these policies.

#### 2.1.2 SCOPE OF THE INVENTORY

The inventory is concerned only with the main workshops building that is, Bays 1-16 of the former Eveleigh Locomotive Workshops. An assessment of the external fabric has been undertaken and, where accessible, the internal fabric has also been assessed. The roof and roof top additions have been only partly assessed.



Restoration of some missing or deteriorated features, such as this brick archway, is acceptable in some cases. The works should be undertaken by specialist tradespeople with proven skills to ensure that the result is of the same high standard of the original construction. Source: OC+P 1996.

### 2.1.3 METHODOLOGY AND STRUCTURE

The assessment of the building was made by close visual inspection, with the use of a scissor lift to access the upper walls, pediments and parapets. Photographs of each item, that is, bay, row or annexe, were taken and the recommended treatment of elements added. Drawings of each item were also produced, which document the required repairs etc. of the brick and stonework.

### 2.1.4 USE OF THE INVENTORY

In its electronic form, the inventory is a database and can be used to sort to a relatively fine level of definition. The items that make up the building, that is, bays, rows or annexes, can be sorted according to type, significance, condition, required works and/or material, either individually or in groups. Similarly, the units that make up the items or the elements that make up the units can also be isolated. For instance, *all* urgent works can be sorted for, or, all urgent stonework repairs on pediments and parapets *only*. Areas where the brickwork requires repointing can be sorted from works where other specialist skills are required. In this way particular treatments for, or areas of, the building can be isolated from the database for maintenance expediency. Thus the building has been broken down into the following categories: Item; Unit; Material; Element (see 2.6.1 Describing the Building). See "How to use the database".

## 2.2 SITE AND OWNERSHIP

### 2.2.1 LOCATION AND PHYSICAL CONTEXT

The Eveleigh Railway Workshops are located in the inner city immediately to the south of Sydney's CBD and Central Station. The workshops are situated on either side of the main southern and western rail lines and between Redfern, Erskineville and Macdonaldtown Stations and between the suburbs of Darlington to the north and Alexandria to the south. The immediate surroundings contain densely developed residential suburbs and mixed commercial and industrial areas. The site is relatively flat, falling to the south-east towards Botany Bay and Mascot.

The subject of this inventory is the Eveleigh Locomotive Workshops (ELW) building which is located on the southern side of, and adjacent to the main rail lines. This inventory is limited to the building but refers also to its immediate setting. The ELW building is on a long level bench with a major step down on its southern side.



Plan showing the location of the site.

The site south of the ELW building and the Alexandria Goods Yard have been extensively cleared since 1988. Below it, along its southern boundary is the tunnel for the Eastern Suburbs Railway. Immediately to the east is an open area, Innovation Plaza, and to the east of this is the National Innovation Centre (former New Engine Shop) and to the north-east the location of the former Works Manager's Office. To the west are a roadway, the location of the former traverser and the large Erecting Shed and other buildings used by the State Rail Authority (SRA).

This report does not address Innovation Plaza (to the east), nor the lines to the north (all recently relaid with altered levels) or the coal structures and bomb shelters close to the main lines.

## 2.2.2 OWNERSHIP AND USAGE

The building was in continuous use as a railway workshop until its closure in 1988 and in continuous State Government ownership since its construction in 1887. The Sydney Harbour Foreshore Authority (SHFA) assumed control of the site from the City West Development Corporation (CWDC) in August 2000. The SRA still retain other portions of the Eveleigh Railway Workshops in their ownership.

The Australian Technology Park now occupies the Locomotive Workshops and other parts of the site. The surrounding land includes an area that was developed for housing in the late 1980s and is managed by the Department of Housing.

## 2.3 TERMINOLOGY AND ABBREVIATIONS

### 2.3.1 DESCRIBING THE BUILDING

The Eveleigh Railway Workshops have been the subject of a number of reports and studies, historically as well as recently. The extant structure was originally two buildings and the bay numbers began at the eastern end. Bays 1 - 4 were separated by a gap from Bays 5-15. Bays 16 - 25 continued at the Carriage Workshops on the northern side of the main line. In 1903 the gap between Bays 4 and 5 was enclosed and this bay was numbered 4a. In c. 1998 the bays were renumbered and Bay 4a became Bay 5 and Bays 5-15 became Bays 6-16. Note that the renumbering has resulted in two Bay 16s. As a consequence, some inconsistencies in terms, bay numbers and rows exist between reports. In order to retain consistency and for ease of cross referencing between historical and modern references the following system has been used in this CMP:

Eveleigh Railway Workshops - refers to the whole of the original workshops site on both sides of the main line. That is, the Locomotive as well as the Carriage Workshops sites. In other sources, the site has been referred to as the "Eveleigh Railyards" and the "Eveleigh Rail Yards".

Locomotive Workshops - refers to the entire building, original Bays 1-15, present Bays 1-16 on the southern side of the main line.

Carriage Workshops - refers to the former Carriage and Wagon workshop Bays 16 - 25 on the northern side of the main line. The Bays and Rows are shown on the plan on page 14.

Bays - Structurally, the Locomotive Workshops building is divided transversely into bays. Bays 1 - 4, 4a, 5 - 15 - refers to the original bay numbers. This system is used in the *Historical Analysis* to facilitate references to historic plans and other documents. Bays 1 - 16 - refers to the modern bay numbering system at the Locomotive Workshop building. These bay numbers are used in the *Policies* in Volume 1 with the old bay numbers in brackets. The database uses the original numbering system, that is, Bays 16 - 25.

Rows - Structurally, the workshops building is divided longitudinally into rows. Some rows have rails and some do not.

Rows 1 -15 - The original Railways row identification system is 1 - 15 with Row 1 starting at the southern wall.

Rows A - Q - More recently, the Department of Public Works and Services identified the Rows with a grid reference system A - R (excluding the letters I and O) starting at the northern wall. The grid lines pass through the centre of each pilaster.

Annexes on the south wall are numbered from right to left. The missing numbers denote annexes that have been demolished.

Item - the fabric of the building. These are the bays, rows and annexe walls. Each item is made up of "units".

Unit - a group of features that make up the item. Each unit comprises of a number of elements. In this inventory units are pediments or parapets, pilasters, upper and lower walls, windows, doors, thresholds, steelwork and timber wall frames. Additions such as service pipes are also considered units although they are not architectural. Lantern roofs and roof top additions are also units but are not dealt with in individual detail in this inventory.

Elements - architectural features that make up units. Example of element are cornices, coping and sills (see diagrams following pages).

### 2.3.2 CONSERVATION TERMINOLOGY

The terms *place*, *cultural significance*, *fabric*, *maintenance*, *compatible use*, *preservation*, *reconstruction*, *restoration*, *adaptation* and *conservation* used throughout this report are as defined in the *Australia ICOMOS Charter for the Conservation of Places of Cultural Significance* ("The Burra Charter") 1999, Article 1.0 to 1.17.

- 1.1 *Place means site, area, land, landscape, building or other works, group of buildings or other works, and may include components, contents, spaces and views.*
- 1.2 *Cultural significance means aesthetic, historic, scientific, social or spiritual value for past, present or future generations. Cultural significance is embodied in the place itself, its fabric, setting, use, associations, meanings, records, related places and related objects. Places may have a range of values for different individuals or groups.*
- 1.3 *Fabric means all the physical material of the place including components, fixtures, contents and objects.*
- 1.4 *Conservation means all the processes of looking after a place so as to retain its cultural significance.*
- 1.5 *Maintenance means the continuous protective care of the fabric and setting of a place, and is to be distinguished from repair. Repair involves restoration or reconstruction.*
- 1.6 *Preservation means maintaining the fabric of a place in its existing state and retarding deterioration.*
- 1.7 *Restoration means returning the existing fabric of a place to a known earlier state by removing accretions or by reassembling existing components without the introduction of new material.*
- 1.8 *Reconstruction means returning a place to a known earlier state and is distinguished from restoration by the introduction of new materials into the fabric.*
- 1.9 *Adaptation means modifying a place to suit the existing use or a proposed use.*
- 1.10 *Use means the functions of a place, as well as the activities and practices that may occur at the place.*
- 1.11 *Compatible use means a use which respects the cultural significance of a place. Such use involves no, or minimal impact, on cultural significance.*
- 1.12 *Setting means the area around a place, which may include the visual catchment.*

- 1.13 Related place *means a place that contributes to the cultural significance of another place.*
- 1.14 Related object *means an object that contributes to the cultural significance of a place, but is not that place.*
- 1.15 Associations *mean the special connections that exist between people and a place.*
- 1.16 Meanings *denote what a place signifies, indicates, evokes or expresses.*
- 1.17 Interpretation *means all the ways of presenting the cultural significance of a place.*

### 2.6.3 ABBREVIATIONS

AO	NSW State Records (formerly Archives Office)
ATPPM	Australian Technology Park Precinct Management PTY LTD
ATPSL	Australian Technology Park Sydney Limited
BC	Better Cities Program
CMP	Conservation Management Plan
CWDC	City West Development Corporation
DOP	Planning New South Wales (formerly Department of Planning)
DPWS	Department of Public Works and Services
ELW	Eveleigh Locomotive Workshops
EP	Eveleigh Precinct
HOF	NSW Heritage Office
ICOMOS	International Council on Monuments and Sites
LEP	Local Environment Plan
MP	Master Plan
ML	Mitchell Library
NSW SR	NSW State Records
SHFA	Sydney Harbour Foreshore Authority
REP	Regional Environment Plan
SRA	State Rail Authority
SRAO	State Rail Archives Office (records now transferred to NSW State Records)
SSCC	South Sydney City Council
SSHS	South Sydney Heritage Study
UDP	Urban Development Plan

## 2.4 CONTRIBUTORS AND ACKNOWLEDGMENTS

This report was prepared by Otto Cserhalmi + Partners Pty. Ltd. The project team consisted of:

Jean Rice	conservation architect
Istvan Czehmester	architect for building fabric survey.
Pamela Kottaras	assistant/research/layout
Jillian Hopkins	assistant/research/layout

Assistance was provided by:

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Richard Davies	Wayne Johnson
Maria Evans	Ian Kelly
Stephen Montgomery	
Matthew Woodman	
David Sheedy	Architect
Lucy Taksa	University of New South Wales

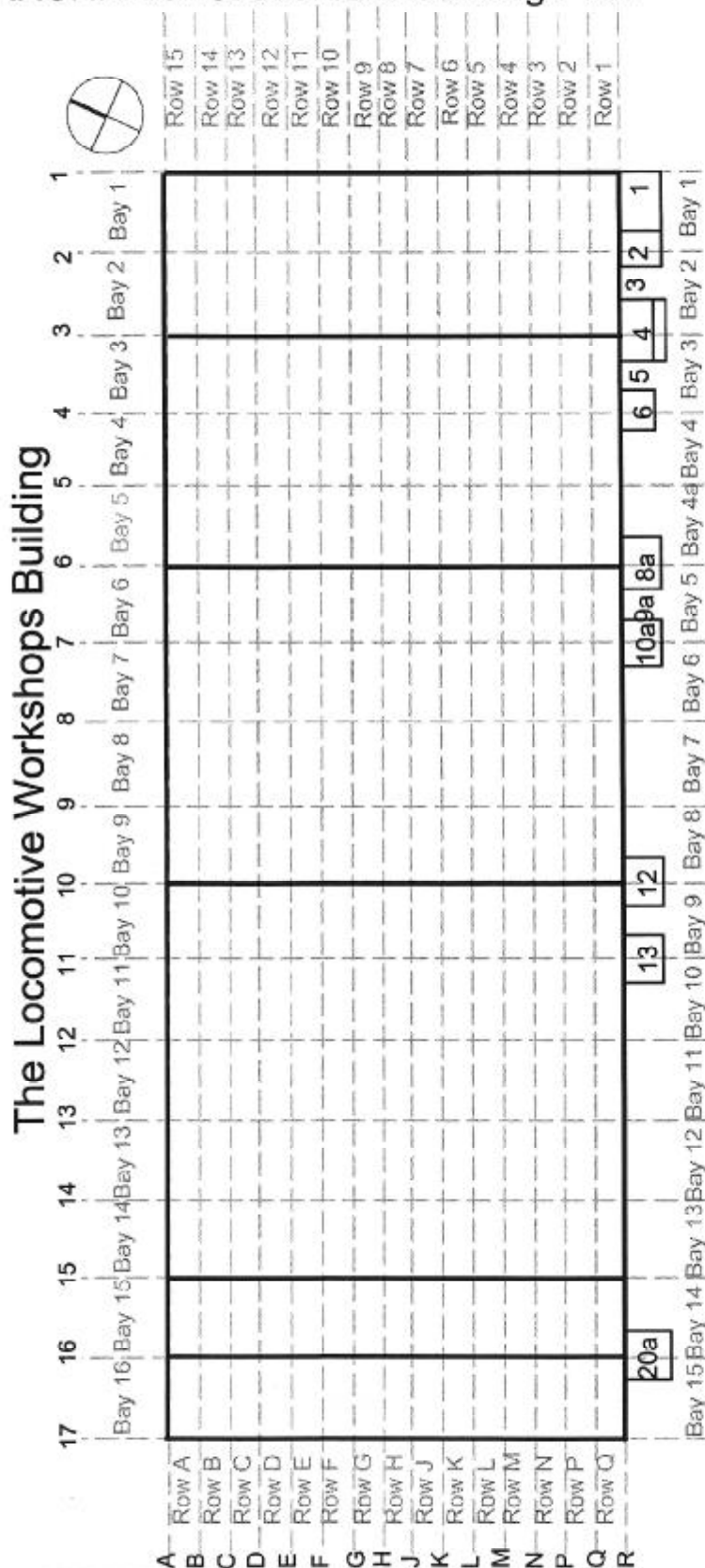
## 2.5 CONSTRAINTS AND LIMITATIONS

The primary constraint on this report was the difficulty in accessing some parts of the workshops building, particularly the west wall and the internal walls that have been fitted out for current use.

## 2.7 FURTHER RESEARCH

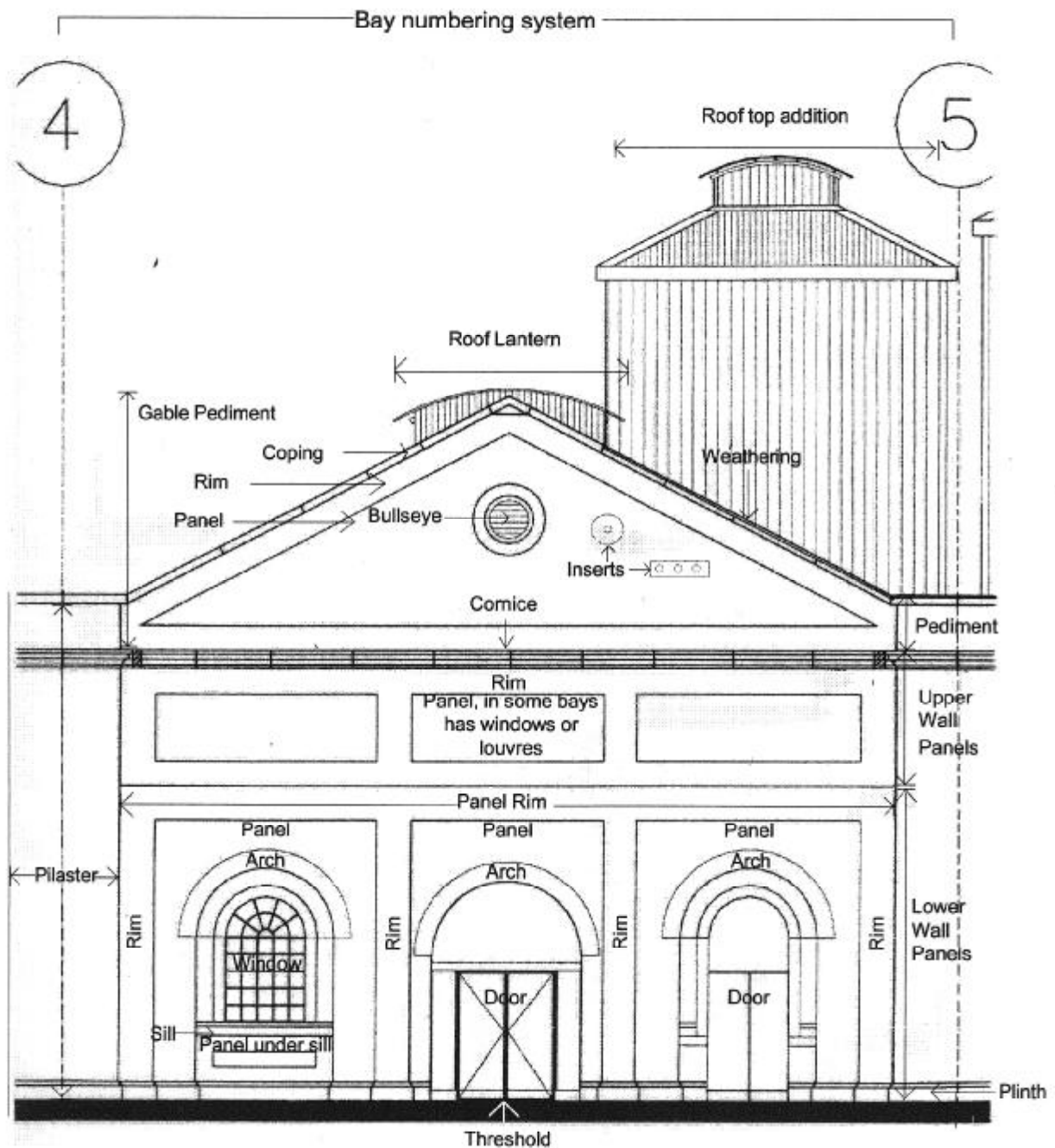
It is important that the Eveleigh Locomotive Workshops building be assessed on a regular basis, either once every two years, or when it is otherwise required such as after major storms, earthquakes or when otherwise necessary. As conservation, maintenance and repairs must be undertaken by proven methods, it is recommended that treatments for heritage buildings are researched regularly.

## 3.1 ARCHITECTURAL KEY: Building Plan



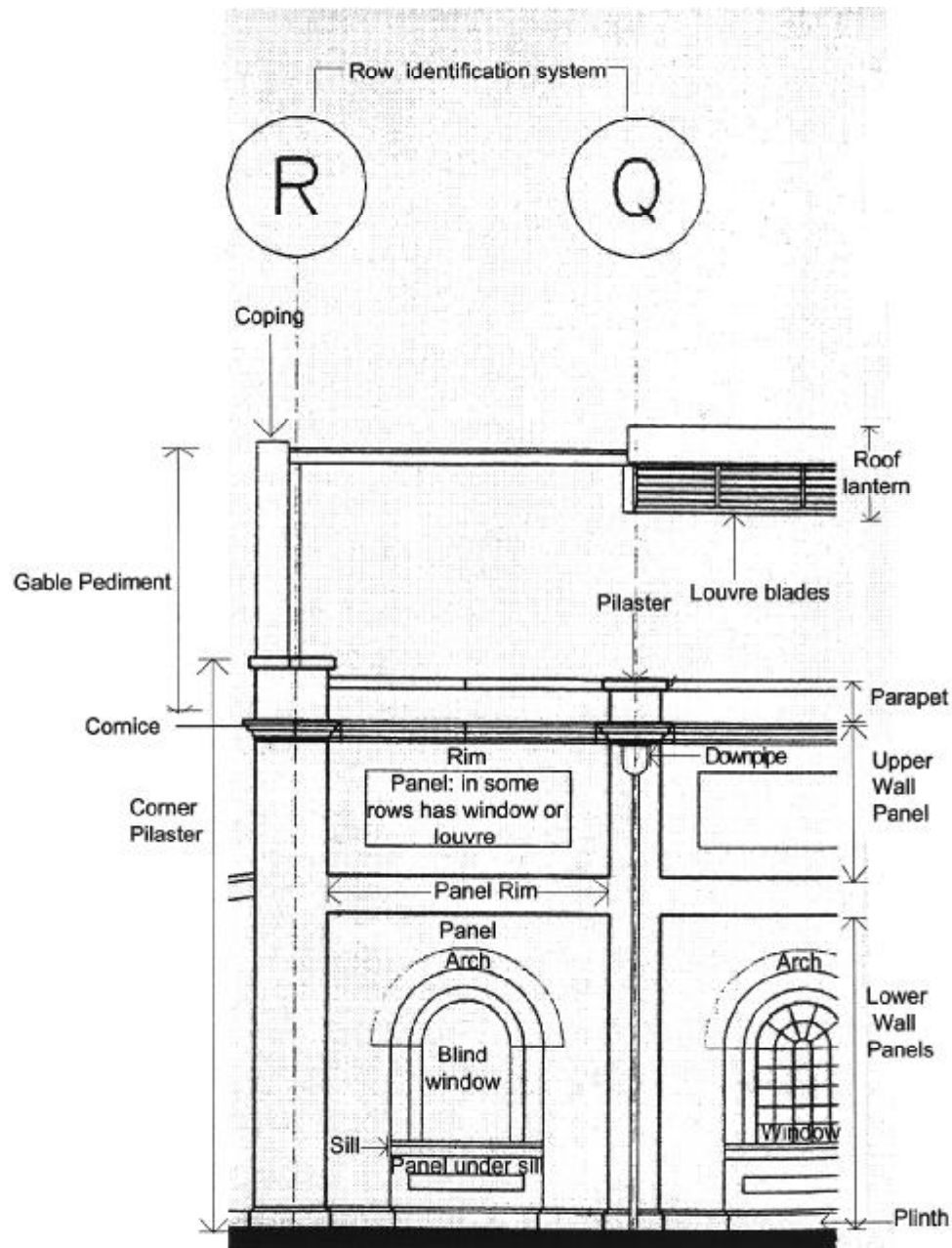
The layout of the main Locomotive Workshops building at Eveleigh. At the top is the post - 1996 numbering; the bottom is the original numbering system. The rows are identified in two ways in various documents. The Conservation Management Plan 2002 uses the system shown on the right. In previous reports annexes on the south side were numbered from 1 to 21. Most were intrusive additions and were demolished. The grid reference system on the left is used on the architectural drawings. Those remaining are shown on the above plan. Where new annexes were built in 1995 they have been given a number with the suffix "a".

## 3.2 TYPICAL BAY



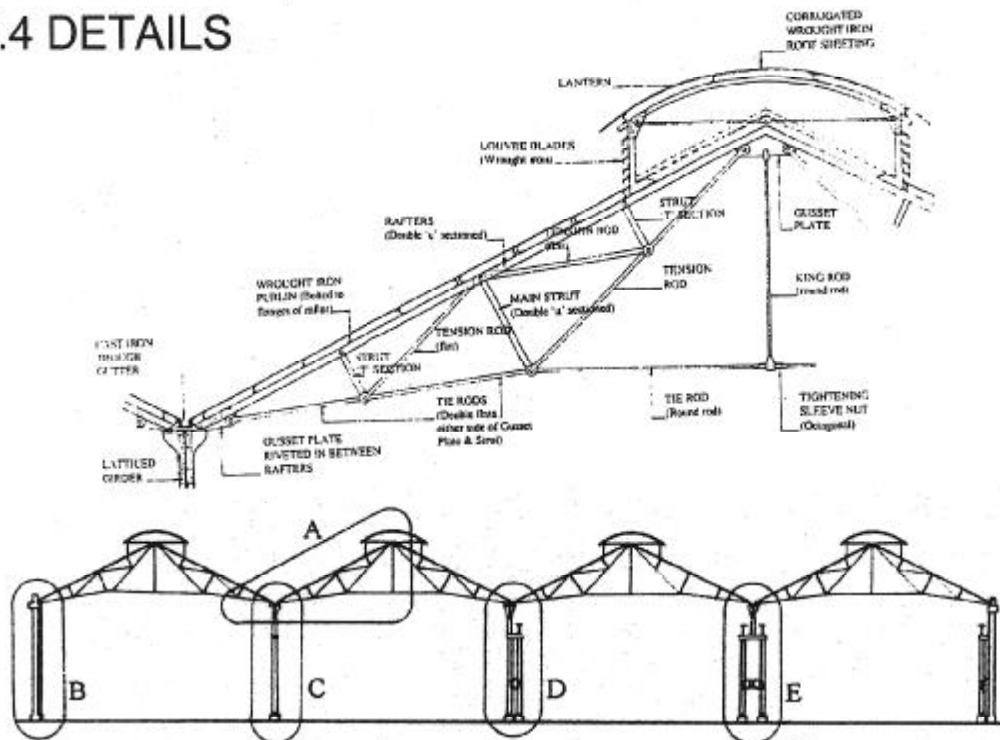
Composite bay showing typical architectural features.

### 3.3 TYPICAL ROW

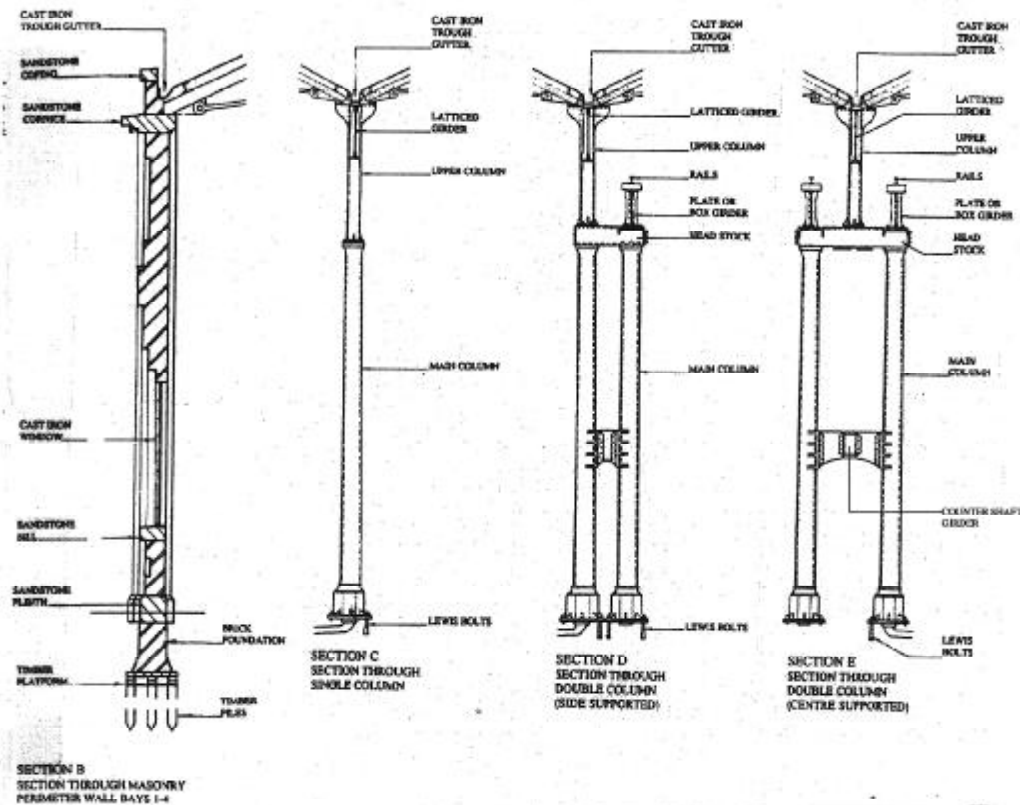


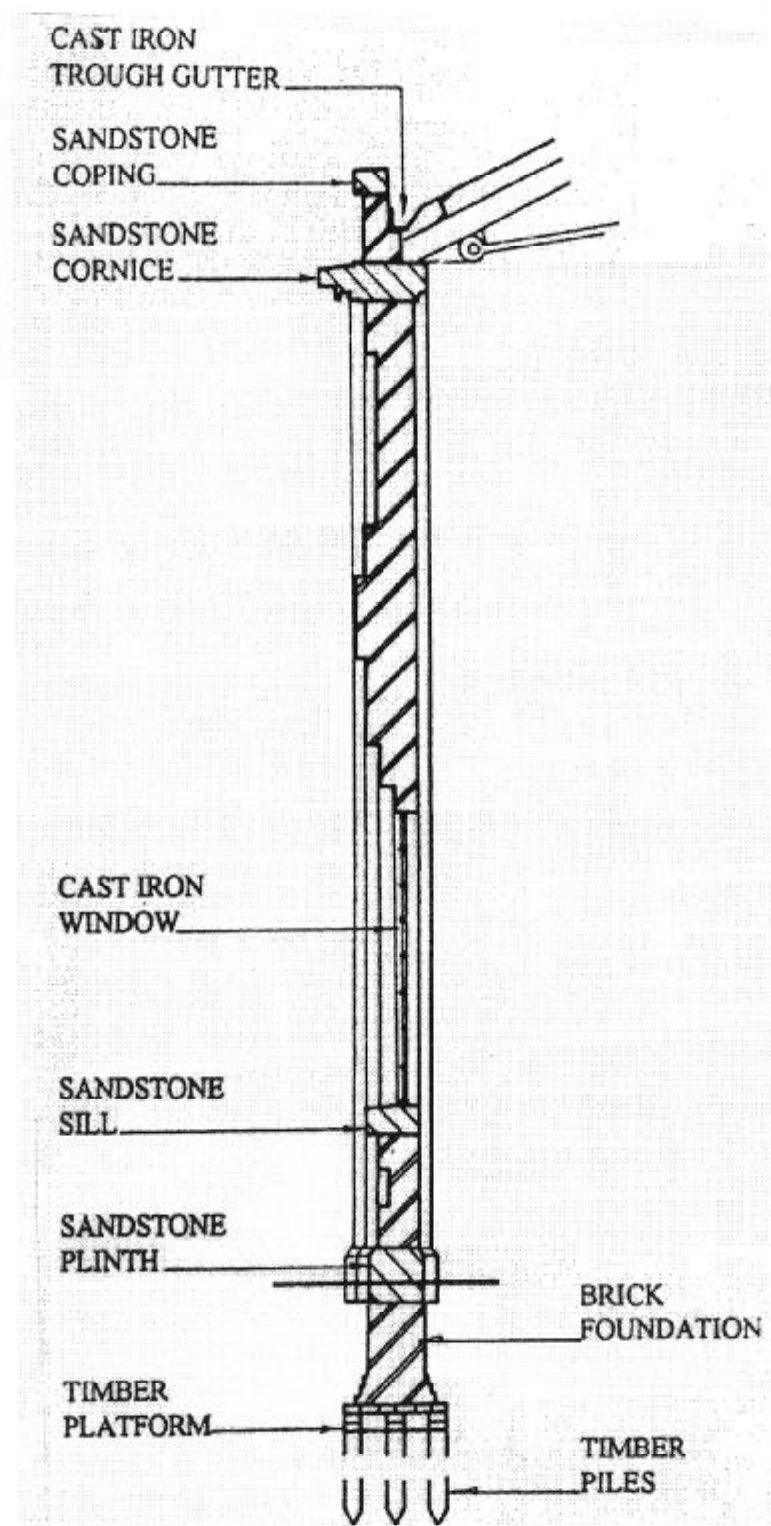
Composite row showing typical architectural features.

### 3.4 DETAILS

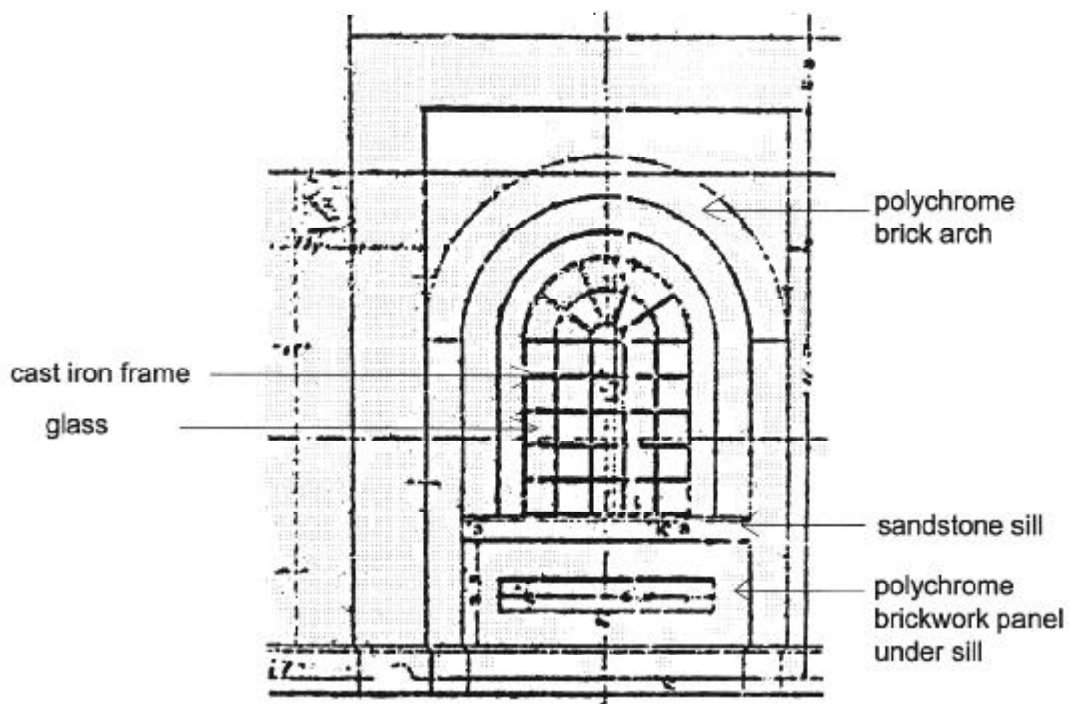


Above is a sectional elevation of Bays 1-4 indicating the locations of the details shown top (roof system), below (columns and gutters) and right (masonry wall).



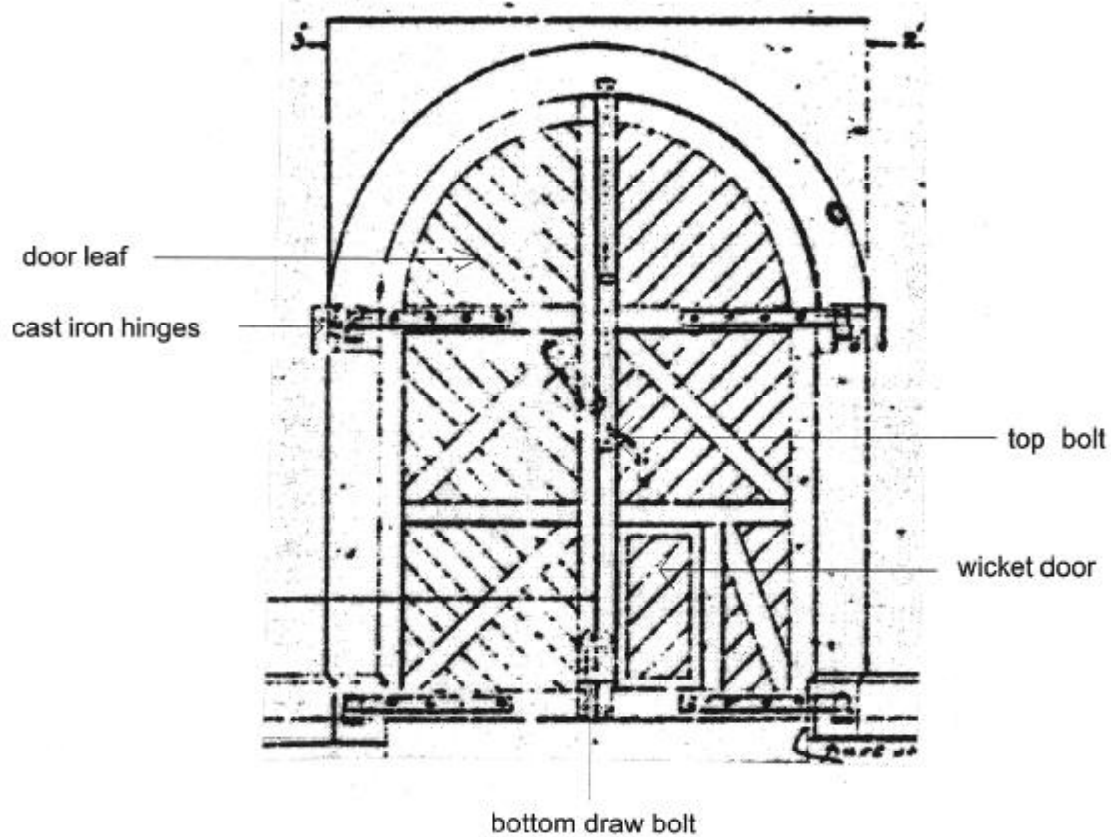


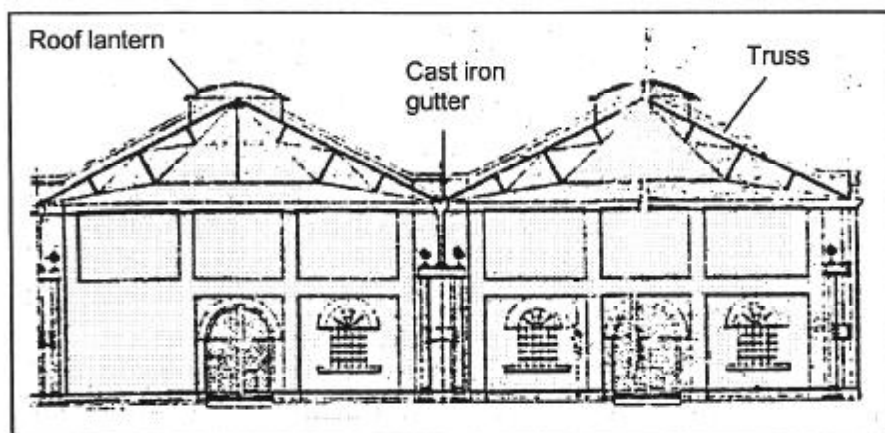
Detail through the masonry wall, shown as Section B on the sectional elevation at left.



Above: Cast Iron-framed window

Below: Main bay door





Section showing the roof system, Source: SRAO ELW3.

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## 4.0 THE ANALYSIS

The purpose of this report is to provide specific advice relating to the long-term maintenance of the building fabric of the Former Eveleigh Locomotive Workshops.

The investigation was limited to the inspection of the building fabric only. It does not cover new building fabric introduced during the Australian Technology Park refurbishment, such as fitout, except in the case where replacement was essential to the integrity of the building.

The investigation was carried out mainly from ground level and, where the surrounding ground and other circumstances permitted, from an elevated platform. The building is mostly occupied and large areas were not accessible for close inspection. It can be assumed that the typical and general defects and problems identified in the inspection apply to those areas also. The exact extent of the necessary works can only be established when suitable access platforms are provided or when revealed by demolition works.

Modification to the fabric in order to incorporate changing technology and the provision of extra amenities while the building was operating as a Locomotive Workshops are part of the phases of the place and should be treated accordingly. Such items are identified as significant and recommended for conservation.

The inspection does not address the original machinery and fittings etc. that remain on site. A separate machinery report has been prepared by Roger Parris to facilitate the conservation of historic machinery.

## 4.1 THE BUILDING

The Eveleigh Locomotive Workshops is a full brick building comprising 16 bays and 15 rows with the long axis running approximately east-west. Full-brick annexes were erected on the south side. Only a few of the original annexes survive (N<sup>o</sup>s 2, 4, 6, 12 & 13). Sandstone was used for coping, cornices, window sills and thresholds.

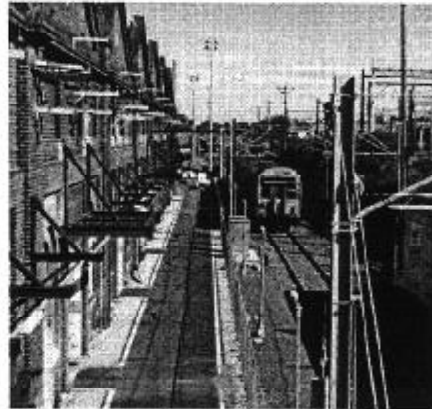
Large double-leaf timber doors and multi-paned cast iron windows filled in the openings. New mezzanine levels and timber windows were introduced, as the changes in technology or other circumstances required.

The internal loadbearing structure is made of steel crane girders supported by double cast iron columns with single columns and lattice girders above. Cast iron gutters (now bypassed) sit on the lattice girders and discharged into the columns.

The roof structure is constructed of steel trusses, which carry Custom Orb roof sheeting and metal-louvred lanterns at the ridges.

The roofing and the stormwater discharge have been completely refurbished and the lanterns have been closed off by translucent sheeting as air conditioning was introduced during refurbishment.

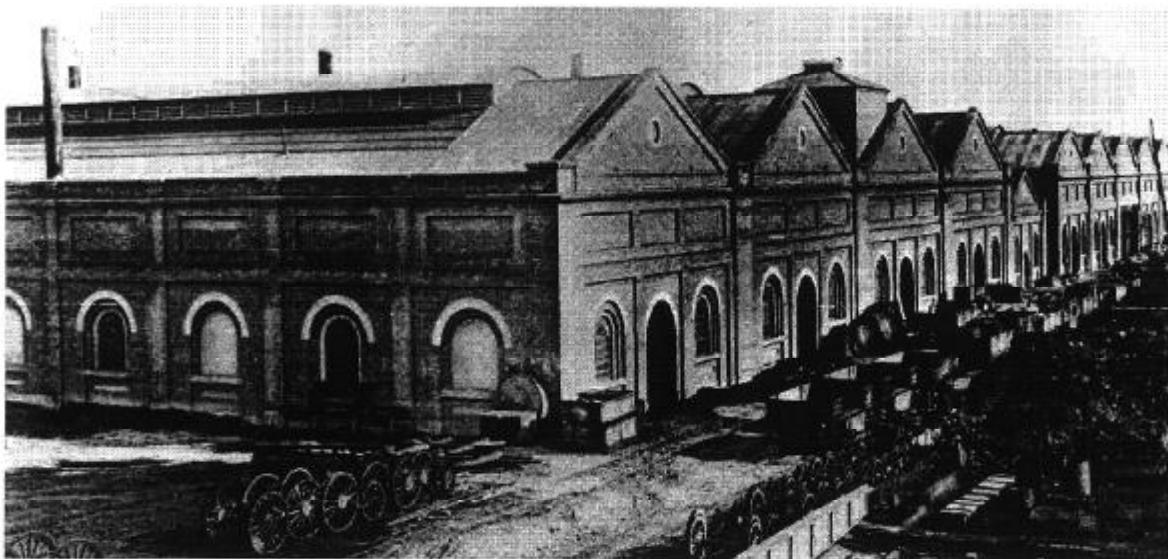
The workshops were refurbished for the Australian Technology Park in 1995, excepting Bays 1 and 2. Although the exterior of the East Wall of Bay 1 was superficially repaired, the interior still requires work, with particular attention to structural stability and water damage.



A view of the north wall looking west, also showing the rail lines. Source: OCP 2002.



Looking west along the south elevation of the Locomotive Workshops during their adaptation to the Australian Technology Park in 1996. Half of Bay 11 (old Bay 10) is visible to the right of the photo. Source: OC+P 1996.



View of Eveleigh Locomotive Workshops from the north showing original configuration. Note Bay 4a and the original skilights on Bay 1. (Photo cropped) Source: ML GPO Video Disk 1 06678

## 4.2 CONDITION ASSESSMENT OF THE BUILDING FABRIC

### 4.2.1 BRICKWORK

The brickwork is generally in good condition however localised cracks are evident and these need to be addressed in order to prevent further accelerated deterioration.

The major cracks on the north-east corner of the building have been repointed following underpinning of that area. No new cracks have developed since the underpinning was completed.

Some major cracks are still left unattended on the north side (Bays 1 & 2) and on the south side (Annexe 2 and Bay 2). A structural engineer's report addressing the stability and the recommended remedial works of the affected areas is required.

Some lintel-seats in the upper wall panel around the timber windows are cracked.

Numerous vertical hairline cracks in the main pilasters have developed, typically in the centres, due to lack of movement joints and/or corroding embedded downpipes. These cracks should be regularly monitored and repointed, as funds are available.

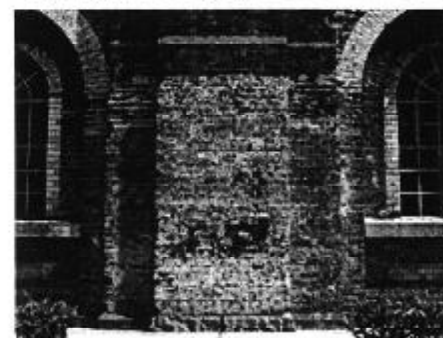
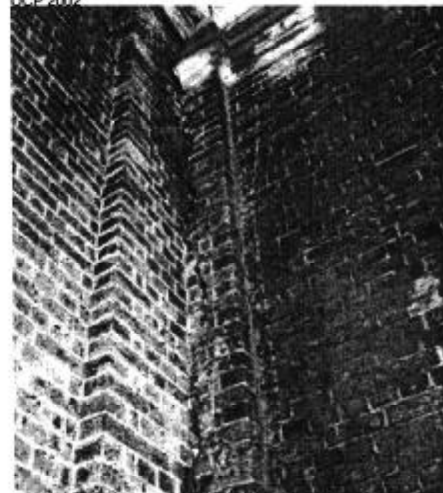
The general discolouration (mainly soot) of the brick walls is not a major concern as it is a result of the activities of the building as a railway workshop. It may be monitored but no action is required unless the sediments or encrustation adversely affect the brickwork. Cleaning may also be necessary prior to repointing to ensure the mortar adheres to the brickwork.

The pointing of the brickwork is in a reasonable condition. The areas to be repointed are indicated on the accompanying drawings. Some brickwork has been recently repointed, particularly on the south wall. Poor quality craftsmanship has left unfinished and intrusive patches of mortar. In future, any repointing work should be carefully monitored for quality, and undertaken by skilled tradespeople, as outlined in Policy 2.2.9.

A large number of brackets and other support structures and elements are attached to the walls via various fixing methods and materials inside as well as out. Most of the fixing elements are made of ferrous metal in various states of corrosion. In some cases the levels of corrosion have resulted in the insert expanding and "exploding" the material it is inserted into. These inserts require prompt attention.



External cracks on the west wall of annexe 2, over arch (above) and at the junction between bay and annexe (below.) Source: OCP 2002.



Poor quality repointing work on pilaster 13, South. Source: OCP 2002.



Numerous ferrous metal inserts, bolts and brackets on a south wall pilaster. Source: OCP 2002.

In addition, some walls have an abundance of ferrous inserts, such as nails, the purpose of which is unclear. These nails and other smaller objects do not have a clear function but appear to date from the workshops phase. They are not causing damage (unless otherwise stated) and should be left intact.

Where inserts are deemed intrusive and warrant removal, it is noted in the inventory. Unless otherwise stated, the treatment for most of the ferrous inserts is monitoring and rust proofing in order to prevent further deterioration. In general removal is not recommended unless specific inserts are damaging the surrounding fabric. These items are visible in the photographs but have not been included in the drawings.

Numerous flues and pipes – as part of the machinery they belong to – penetrate the walls. Most of them are in a well-advanced state of corrosion. However, they are considered historically significant and should therefore be conserved. The locations of the penetrations should be monitored for brickwork condition. Many cast or wrought iron elements have surface rust but are stable and may be left intact.

Timber blocks, that supported the external electrical cables, have been inserted into the brickwork at the top part of every pilaster on the north and south sides. Some have either been removed or have fallen out, leaving large holes in the brickwork. It is recommended that the holes, particularly those on the south side, be filled in to prevent water ingress. New infills should make reference to the historical function of the originals.

Note that some of the wood inserts still in situ are in a state of advanced decay. Thus the joint between the wall and the insert creates a potential for water ingress. The regular swelling and shrinking of the wood blocks is potentially damaging to both the wood blocks and the brick walls.

The porcelain "cubes" inserted directly into the brickwork high above ground level, are electricity insulators and provided a conduit for the passage of wires and cables into and out of the workshops. All the porcelain inserts are part of the significance of the building and all are in good condition. They are to be maintained.

There are occasions where the porcelain insulators formed rows without support (lintel) for the brickwork above ( $1\frac{1}{2}$  to  $2\frac{1}{2}$  brick length). These places are to be monitored and action taken when necessary.

These items are visible in the photographs but have not been included in the drawings.



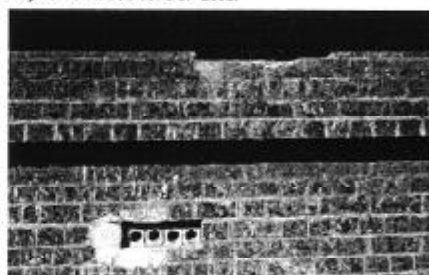
Inserted pipes have severely damaged the brickwork at this junction where Bay 2 meets the west wall of Annex 2. Source: OCP 2002.



Timber inserts and brackets should be monitored for damage to brickwork and water ingress. Photo Bay 13 North Wall. Source: OCP 2002.



(Above) Extruded porcelain inserts. (Below) Inserts are supporting brickwork. Carefully monitor, secure as required. Photos from Bay 10 North. Source: OCP 2002.



Many of the Bay numbers painted on the brick wall outside of the doorways survive in various states of deterioration. In some cases the paint is cracked and flaking off. As these are the last physical remnant of the original bay numbering system, it is important that they be conserved. Bay numbers were painted on either side of doorways on the north and south walls only.

These items are visible in the photographs but have not been included in the drawings.

Similarly, on some areas of the south wall, paint from the walls of former annexe buildings is visible. These paint remnants reflect the historical use of this facade and should be conserved. Also consider interpretation.

The original brickwork shows remnants of cement weathering on the ledges of the rims. It is recommended that the weathering be reinstated in an improved manner to minimise water entry.

The inside of the perimeter wall was inspected in Bay 1 (from ground level) and several cracks have been observed. These are to be monitored and repointed as funds are available.

Only the lower part of the inside of the south wall is easily accessible as all the newly installed pipework runs along that wall.

The inside of most pediment walls require repointing.

Many of the installations of the Locomotive Workshops associated with the building's functions are still in place. These are to be monitored and special attention should be paid to the fastening elements by which those structures are fixed to the walls.

On other wall surfaces minor imperfections are evident which need monitoring and repair when funds are available, as deterioration may make the wall unsafe.

Where Bays 4 and 5 meet, different brickwork is apparent, indicating the change in phase of the workshop when Bay 4a (now Bay 5) was added. This may be interpreted.

Steel traverser beams are apparent on both the north and south walls of Bays 8 and 14. On the north wall the traverser bay 14 was filled to match existing brickwork in 1901. Three arched windows were installed, varying slightly from the arched doorway and adjacent window configuration of the other bays. This change of phase may be interpreted. In the 1920's Bay 8 was infilled with timber panels and south wall openings were fitted with contemporary materials during the 1996 construction work.



Remnants of original bay number on Bay 16, south. Source: OCP 2002.



Remnant paint from a former annexe wall, Bay 13 South. Source: OCP 2002.



Subtle changes in brickwork where Bay 4 (right) meets Bay 5/4a (left) may be interpreted. Source: OCP 2002.



Infilled traverser bay 14, north wall. Source: OCP 2002.

#### 4.2.2 STONEMWORK

Particular attention to the stonework is required. The "make safe" works, that is, the removal of unsafe and potentially dangerous fragments and layers, were completed at the beginning of the refurbishment works.

The recommendations of the previous investigation reports have been only partially carried out.

The stonework is still, in general, original material and in a deteriorated condition. All stones are "through" stones. Most of them are in a highly exposed position.

The causes of deterioration are:

- ferrous inserts into the stonework to support cables, pipes etc. and sub-standard modifications of the stonework.
- environmental damage as a result of the industrial nature of the site. Coal used in the locomotives, boilers etc. emitted smoke that has resulted in an aggressive atmosphere directly around the site
- natural erosion due to wind and rain.

The coping stones are in the most exposed location. All three damaging causes are evident.

A large number of inserts are still in place most of which are badly corroded. Complete removal of the inserts is not recommended however, because chiselling or drilling out an insert has the potential to do more harm to the stone. Removal of inserts is recommended only where the stonework has been damaged by their presence.

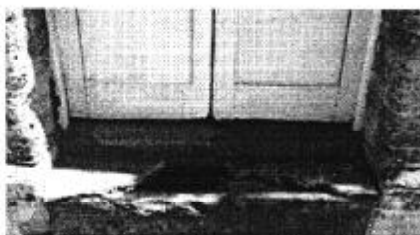
In many cases the pointing material between the coping stones has leached out, permitting stormwater into the structure below.

Some coping stones are badly exfoliated as a result of their high salt content (particularly on the southern side). Open joints should be filled with lime mortar to match existing. All joints on the horizontal surfaces have to be re-pointed using elastomeric sealant on the top only. The stones that are beyond repair (shown in the drawings) should be replaced.

Where they are damaging to the stone, replace the traditional cast iron fixing and connecting elements (ie. cramps, dowels etc.) with stainless steel.

Stones of the cornice course show the most damage.

Modifications are still evident in the inserts. The treatment of these areas is similar to that detailed for the coping stones: monitor and rectify where and when it is essential.



Cracked threshold. West wall of annexe 6. Source: OCP 2002.



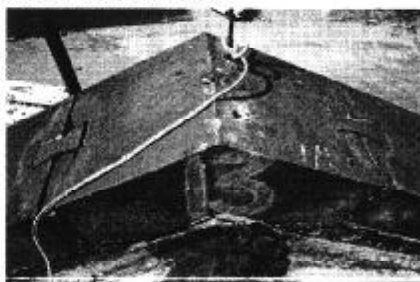
Missing cornice stones. Pilaster 8, North wall. Source: OCP 2002.



Eroded coping stones. Source: OCP 2002



Traditional cast iron toggles, shown in the parapets above and below, should be replaced with stainless steel fixings if damaging the stone. Source: OCP 1995.



The underside of the cornice stones have deteriorated extensively due to the polluted air, the salt content and acidic stormwater. Most of the loose particles have been removed, resulting in safe but significantly damaged elements. The long-term strategy of the building maintenance should include the replacement of the affected stones. Note that replacement means indent repair, ie. cutting out and replacing the external part of the cornice stones only. There are, however, stones of the cornice that show cracks at the seating of the roof trusses internally. It is necessary to replace these whole stones.

In general all the stone joints are to be re-pointed, using elastomeric sealant on the top of the horizontal surfaces and pointing lime/cement/sand mortar elsewhere. This has been only generally noted on each drawing.

The three sandstone corbels on the southern facade of Bay 16 are intact and in excellent condition. This is the only bay where these remain as Bay 7 corbels have been removed. The corbels are believed to have formerly supported first floor amenities and should be conserved.

The plinth along the north wall is severely exfoliated and should be repaired. Initial treatment may be with a sacrificial render. The final repair treatment needs further investigation. Care should be taken not to breach the asphalt damp proof course. The deterioration occurs along most of the wall. The repair should be considered high priority, but has not been noted on line drawings for specific bays.



Piping penetrating cornice. Also note damage to underside of stonework. Plaster A, West wall. Source: OCP 2002.



Broken corbel. Also shows damaged brickwork. Bay 7 / South. Source: OCP 2002.



Remaining intact corbel. Bay 16 / South. Source: OCP 2002.



Damage to underside of cornice. Stones missing. South wall of annexe 13. Source: OCP 2002.

#### 4.2.3 WINDOWS

The original windows of the building, including the annexes, are cast iron multi-paned windows with semi-circular heads and a pivoting sash in the centre. During its operation as Locomotive Workshops, many new openings were cut into the upper brick walls of the building and new timber windows were inserted when mezzanine levels were introduced.

A large number of the metal windows were damaged or deteriorated during the operation of the building as the Locomotive Workshop and all of them have undergone repair or replacement during refurbishment.

Some of the problems associated with the original windows have not been rectified. In most cases there is an unsealed gap between the bottom rail of the window and the top of the stone sill (not only the deteriorated ones) which allows water into the joint. As a result some of the new metal windows already show signs of corrosion.

Some timber windows have a ferrous metal lintel which rests on the brickwork. The metal has corroded and cracked the lintel seats, which are listed under "brickwork" in the inventory. Some of the timber window frames show deterioration, possibly termite damage, which needs monitoring and repair. Apart from these deficiencies the windows are in reasonable condition.

#### 4.2.4 WINDOW SILLS

The original cast iron windows all have sandstone sills. Every sill piece is damaged or deteriorated although the levels of deterioration vary. Note that there has never been a drip groove on any of the stone sills, however, when replacing old sills with new, drip-grooves could be considered. Some sills have been replaced, mostly on the eastern wall.

Many sills both on north and south sides are yet to be replaced. In some cases, at the junction with the window, exfoliation is well advanced and very deep. The result is that water ponds and makes the bottom rails of the windows susceptible to premature corrosion. This process has affected a large number of susceptible sills.

This deterioration should be rectified by replacing the stone sills or in some cases by epoxy repair. The window sills to be replaced are shown on the drawings. The detail between the metal frame and the stone sill should be considered when replacing the sills.

Most top side joints between the sills and the brick walls need re-pointing and it is recommended joints be finished with elastomeric sealant with backing rod.



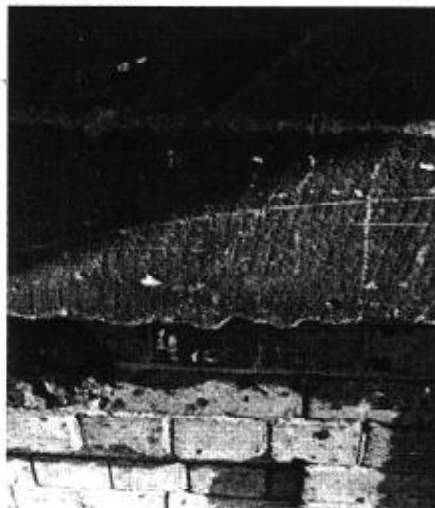
Splintered timber window. Possibly termite damaged. Bay 9 / North Wall. Source: OCP 2002.



Broken sill supported by timber wedge. Bay 12 / South. Eastern window. Source: OCP 2002.



(Above) This sill is exfoliating and damaged by weathering and graffiti. (Below) An example of water damage to the sill underside. This could be avoided by incorporating drip grooves into new sills. Source: OCP 2002.



#### 4.2.5 DOORS

All the original double-leaf timber doors were in deteriorated condition before refurbishment. Most of them have been replaced during refurbishment with doors in various designs. In many cases the original hinges have been maintained; these should be preserved.

The doors on the south side in Bays 1 and 2 are the only remaining originals but are in an advanced state of deterioration and not operational. The doorjambs show extensive termite damage and require replacement. The door leaves in Bay 1 have numerous penetrations and the replacement of those must be coordinated with the conservation of the machinery, which the penetrating pipes are connected to. These doors should be preserved rather than replaced.



The gate into Bay 1/South has been severely damaged by termites and excessive penetrations. Both original timber doors in this bay are in very poor condition. Source: OCP 2002.

#### 4.2.6 COLUMNS AND GIRDERS

The cast iron double columns and the steel girders are in good condition. The main loadbearing structures of the building were inspected before refurbishment and should be monitored for corrosion on a regular basis. See general repair notes.

The silver paint on the internal columns and other elements was applied when the workshops were used as Paddy's Markets. The original finish has not been fully investigated.

#### 4.2.7 ROOF TRUSSES

Although they show signs of surface corrosion, the steel roof trusses are in a good state of repair. Generally the surface corrosion on the cast and wrought iron has formed a stable protective coating and no treatment is required. Some trusses, such as across the new Bay 8 entrance, were recoated during the refurbishment. Regular inspections to monitor the corrosion are required. A structural engineer's report will also be required when obvious further corrosion threatens the stability of the roof trusses. See proceeding general repair notes.

#### 4.2.8 LOUVRES

The wrought iron fixed louvres of the ridge vents/lanterns have only light surface corrosion thus no urgent work is required. The vents were blocked when air conditioning was installed. Regular monitoring is required. See notes for general repair to roof monitors.

#### 4.2.9 ROOF SHEETING

The original roof sheeting has been left in place and roofed over with new "Zincalume" sheeting in matching profile. Thermal insulation (which works as a layer of sound attenuation as well) has also been installed over the old roofing. No immediate work is required.

New gutters have been installed above the original cast iron gutters. The original gutters have surface rust that is not damaging, but should be monitored. Both the original and new gutters should be retained in situ. (See 'Stormwater Drainage' below.)

See general repair notes for roofing.

#### 4.2.10 STORMWATER DRAINAGE

The original stormwater drainage system has been bypassed so that water no longer enters the column downpipes, but is instead collected in new plastic pipes and discharged into new drains. The old cast iron gutters and downpipes are now disused but remain intact and should be preserved. The new external downpipes on the east wall and on the annexes of the south wall should be retained.

#### 4.2.11 TIMBER

The various timber brackets attached to the brickwork should be monitored for stability then repaired and stabilised. If brackets that are severely splintered or deteriorated are considered dangerous, these may be removed.

The large bracket attached to the south-west corner of Bay 16 and Row Q is deteriorating dangerously. It is not considered significant and should be repaired or removed urgently.

All timberwork, including windows, doorways and jambs should be inspected for termite damage and treated accordingly.

The remnants of timber seating along the North Wall should be conserved, although reconstruction is not required. This seating is historically significant and should also be interpreted.

The timber beam inserted into the upper panels of Bays 11 and 12 South is a remnant of a former annexe building. This beam should be retained and interpreted if desired.



An example of new external downpipes on the east wall. Source: OCP 2002.



The large timber bracket hanging precariously from the corner of Bay 16 South / Row Q West should be repaired or removed urgently. Source: OCP 2002.



Timber seating, in various states of decay, runs along the north wall from this point (bay 14 looking east). Reconstruction is not required, but preservation and interpretation are recommended. Source: OCP 2002.

#### 4.2.12 LIGHTING

The north, south and west walls have been fitted with a range of modern lighting, particularly spotlighting and fluorescent tubes with intrusive orange cabling. Although these fittings cause no physical damage to the building fabric they are visually intrusive and a more sensitive lighting solution may be considered as funding permits.

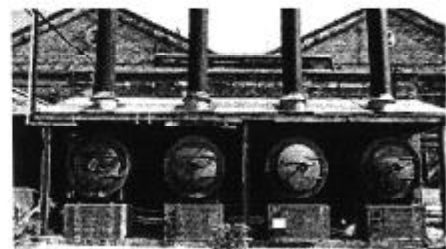
Original internal lights were removed during the refurbishment, except in Bays 1 and 2. The remaining original lights should be retained and may be reused or not as required.



An example of lighting on the west wall. Source: OCP 2002.

#### 4.2.13 MACHINERY

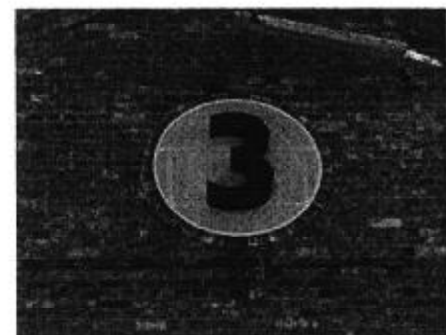
A machinery report has been compiled by Roger Parris to assess the physical condition of historic machinery and associated pipe work. In particular, machinery on the north wall is rusting with some holes and requires urgent attention to prevent further corrosion. The boilers on the south wall are also in very bad condition. Asbestos dust is leaking through holes in the body of some boilers and will obviously require professional attention immediately.



Original machinery, such as the boilers, requires urgent preservation. See separate machinery report, Annex 4a South. Source: OCP 2002.

#### 4.2.14 BULLSEYES

On the south wall, the bullseye windows have been covered with modern signage, displaying the bay numbers. No conservation work has been done on the bullseyes, or the louvres. If other work is carried out in the vicinity then the opportunity should be used to remove the mesh signs and conserve the bullseyes and louvres as required. Louvres should be reinstated if missing. The signage is considered to be of neutral significance and may be replaced after the conservation work is carried out if desired.

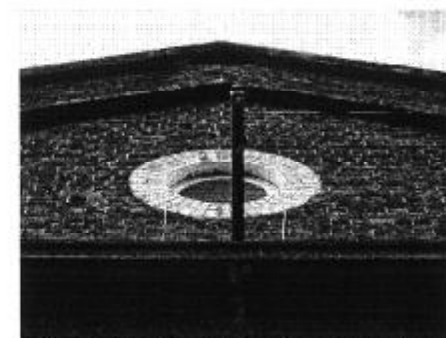


An example of the modern mesh signage covering bullseyes on the south wall. Source: OCP 2002.

Missing louvres on the north wall may be reinstated when funding permits.

#### 4.2.15 PAINT

As recommended in the CMP, internal walls should retain their industrial character and finishes not 'cleaned up'. However any finishes that are lead based or peeling off the wall may need to be stabilised. Masonry should not be painted with non porous paint, as it inhibits evaporation of moisture and can cause rising damp, efflorescence and salt deterioration. For a more detailed specification for treating and repainting see the separate report prepared by Jean Rice in January 2002.



White paint dripping from a bullseye on the north wall. In future, such inattention to detail should be avoided and these drips should be cleaned. (See Policy 2.2.9). Source OCP 2002.

### 4.3 GENERAL REPAIR NOTES

This section addresses the units of the building that have not all been specifically inspected . Sample elements have been inspected and an approach developed for the item. The units in this section are the roofing, roof monitors and louvres, trusses, and the internal downpipe and column system. While these units are considered to be in very good condition, more detailed inspections and regular monitoring is required. These items are not individually covered in the inventory so these notes should only be considered a general guide. Each unit should be inspected and treated individually as funding permits.

#### 4.3.1 ROOFING

Roofing may be replaced or repaired as required, excepting the areas of original or early sheeting. These areas can be recognised by a larger pitch and thicker gauge sheeting. Closer inspection may also reveal a maker's stamp. Such sheeting should be monitored and rust proofed if required.

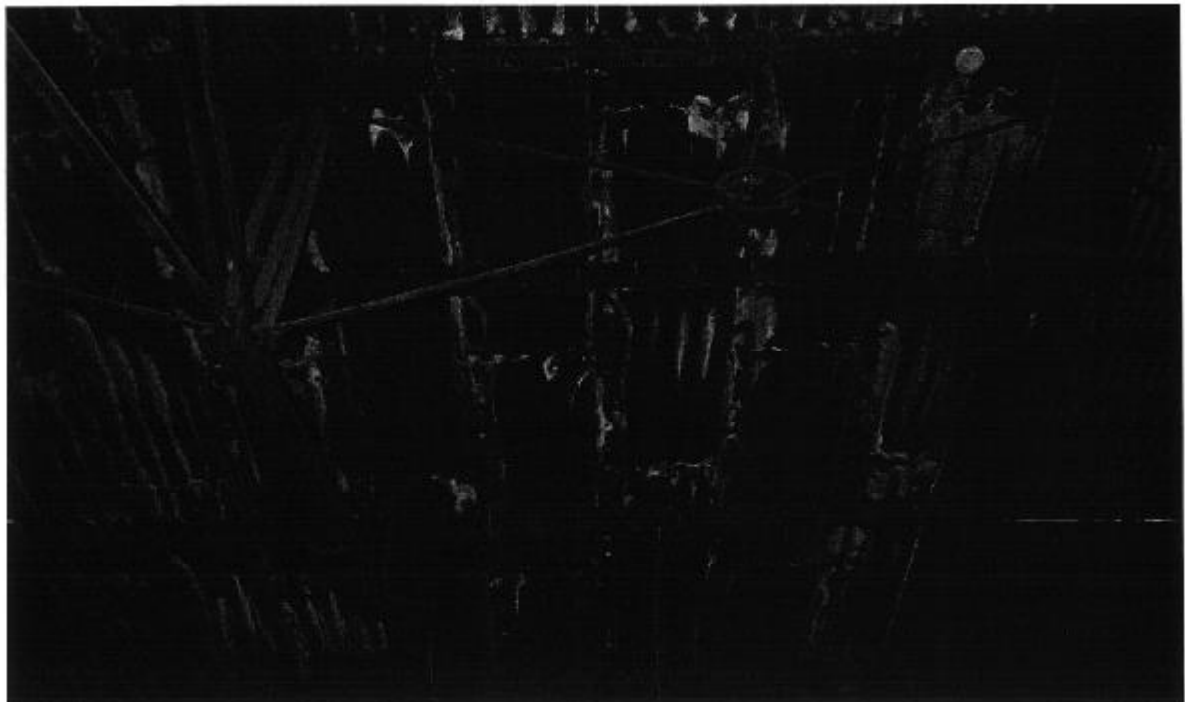
Inspections in 1995 found most of the corrugated iron roofing to be less than 20 years old, and subsequently of low historical significance. In 1996, the whole roof was oversheeted to create an insulation layer over original roofing. Although this new fabric is not considered significant, this roof should be maintained and repaired as required to protect the original sheeting.

Natural light originally entered the workshops through clear panels along the roof. In recent works, these skylights have been covered with corrugated iron and the roof monitors have been fitted with perspex panels to allow light into the workshops. When roofing is replaced in years to come, consider reinstating the original configuration of skylights. [See photo].

For further details into the roof construction, see the 2002 Conservation Management Plan Section 4.2 Building Construction and Section 4.4 which describes the original and highly significant roofing of Bays 1 and 2.



Original rooflights viewed from outside (shown above) and inside (shown below). These were removed in 1996 and may be reinstated in future. Source: OCP 1995.



Underside view of deteriorating corrugated sheeting, Bay 14. Source: OCP May 2002

#### 4.3.2 ROOF MONITOR AND LOUVRES

Roof monitors will require more detailed inspection to determine the specific repairs. These notes have been provided as a general guide.

Junctions between roof and monitor have been haphazardly repaired over time and may require attention. New flashings were installed in 1996 and should be maintained. Rust converter should be applied to metal fittings as required.

For the 1996 adaptation of the workshop, some of the curved corrugated iron sheeting was replaced with corrugated perspex to create skylights. Failing joints have developed as a result.

The roof sheeting was fixed to existing timber purlins which are seated in the metal "Z" purlins. Some of these are deteriorated and fixings have failed. A special detail has been developed to hold down the roofing and should be implemented as required. In the long term, deteriorated timber purlins should be replaced and coverings at the end of each monitor detailed to protect them from the weather.

In future work, if roofing is replaced, consider reinstating the original configuration of skylights along the roof and replacing the metal sheeting.

In some instances, metal louvres and moulded timber details were removed, during overzealous repairwork in 1996. These may be reinstated, funds permitting. Remaining timber details should be inspected for termite damage and treated accordingly. Rust proof original metals if required.

All other original elements in monitors should be preserved following a more detailed inspection. Elements may include cast iron gutters, some heavy gauge and large profiled corrugated iron roof sheeting and heavy gauged louvre blades.

Where monitors have been enclosed to facilitate air conditioning, original fabric should remain visible as much as possible and intrusive additions minimised.

See the Eveleigh Locomotive Workshops Conservation Management Plan 2002, section 4.4 Building Exterior for further descriptive detail.



Figure 4.13: Detail of end of roof monitor showing metal louvres. These may have been removed in 1996. In some instances the corrugated iron shown has also been replaced with perspex sheeting, such as along Bay 8. Photo: OC+P 1996.



Figure 4.32: Detail of end of roof lantern showing corrugated sheeting and moulded timber detailing. These may have been removed in 1996. Photo: OC+P, 1996.



Interior view of roof monitor and louvres, Bay 14. Source: OCP May 2002.



Interior view of louvres, Bay 14. Source: OCP May 2002.

#### 4.3.3 TRUSSES

Wrought iron trusses and diagonal wind bracing are generally in good condition. This original steelwork should be preserved. In some instances steel purlins have been replaced with timber purlins, for ease of repairing the roof. Trusses in the Bay 5 are slightly different to the rest of the workshop, since they were installed at a later date. Consider interpretation of this change.

Surface rust has been observed on some trusses. The rust is not flaking and is generally stable but if further rust develops and flaking is evident, rust converter may be applied to affected areas.

A structural engineer's report will be required if obvious further corrosion threatens the stability of the roof trusses.

For further descriptive and structural information see Section 4.2 and especially section 4.5 of the Eveleigh Locomotive Workshops CMP 2002.



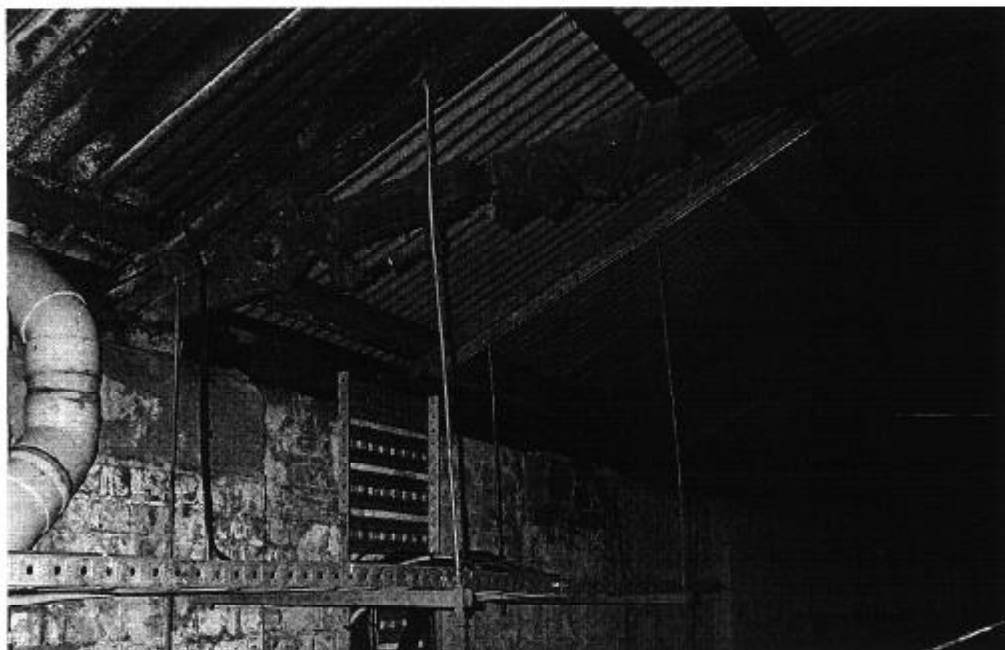
Internal view of Bay 14 showing truss system. Source: OCP May 2002



Internal view of Bay 14 showing roof trusses and ceiling. Source: OCP May 2002



A timber roof purlin has replaced the original cast iron purlin when the roof sheeting was replaced. Source: OCP May 2002.



Cast iron wind bracing connecting to external wall, Bay 14 showing surface rust. Source: OCP May 2002.

#### 4.3.4 INTERNAL DOWNPIPES AND COLUMNS

Hollow cast iron columns were designed to act as the internal downpipes for the workshops. The innovative structures are highly significant and should be preserved. The cast iron is generally in good condition and during the 1996 construction work no paint or repairs were required.

During the workshops phase various brackets were attached to the columns to support service lines. These have been welded or screwed into the cast iron. While these holes and attachments have caused no immediate damage, areas may be problematic in the future and should be monitored for corrosion and water ingress.

Further research is required to obtain a clearer understanding of the significance of all the layers of supply and exhaust lines attached to the building structure. This research will also be able to assist the formation of policy guidelines for the future use of columns, ie, to determine their load bearing capacity.

Columns were painted silver during the Paddy's Market phase of the building. Although the paint is not considered significant, removal may damage the downpipe surfaces so should not be attempted at present. As funds permit, the original finish may be investigated and appropriate action considered in consultation with a paint specialist.

Corrosion of the internal downpipes along the east wall of Bay 1 caused vertical cracking in most of the intermediate engaged piers along that wall. The cracks have since been repaired and new external downpipes were installed in 1996. The original downpipes and cast iron gutters were bypassed, but remain intact and should be preserved.

See Eveleigh Locomotive Workshops CMP 2002 Section 4.4. for a further detailed description of the columns. See especially Section 4.5 for structural and historical outline.



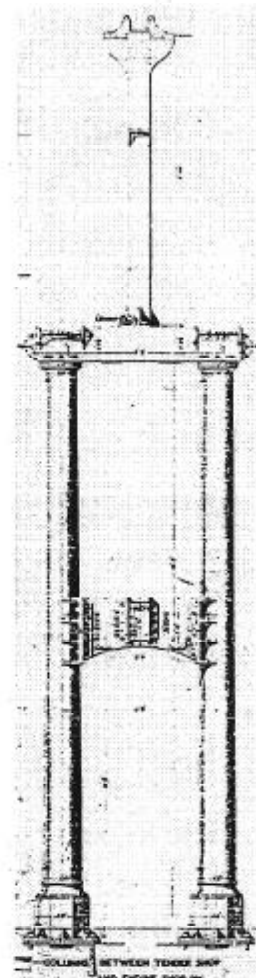
Western view of the wall dividing Bays 4 and Bay 5 looking south. This was originally an external wall. The columns and crane rail were added when the bay was enclosed to form Bay 4a (now Bay 5). Note that the columns have been painted silver. Source: Jean Rice 1995.



View along Bay, showing a series of double cast iron columns. Source: OCP 2001



Column grid, Bay 6 looking north-west. Part of this area has since been enclosed with construction and the horizontal counter shaft girders removed from the columns. Source: Jean Rice, 1995.



Elevation of double columns. Source: SRAO ELW19

#### 4.3.5 INTERIOR WALLS

Inspection of the interior walls was made difficult by obstructing machinery and new built work and as a result, has been limited to Bays 1-3 and 10-14 and some rows on the west wall. This inventory should be used as a guide only and further detailed inspection of other walls should be undertaken as access is provided.

The severe internal cracking on Bays 2 and 3 South and in Annexe 2 generally corresponds with the external cracking indicated on the line drawings. A structural engineer's report is required for these bays. Along some cracks the leaking water has caused stains to the brickwork.



Water has leaked through external cracks to stain the brickwork. These areas should be monitored for further damage. Bay 2 South. Source: OCP 2002



Severe internal cracking above an upper panel window of Bay 2 South. Source: OCP 2002

The air conditioning system installed through the blind window of Bay 3 South is intrusive and may also be the cause of severe cracking extending from this opening. This air conditioning unit should be removed in consultation with the structural engineer's report and the window made good.



The intrusive air conditioning unit installed in the eastern window of Bay 3 South may have caused the severe cracking. Source: OCP 2002

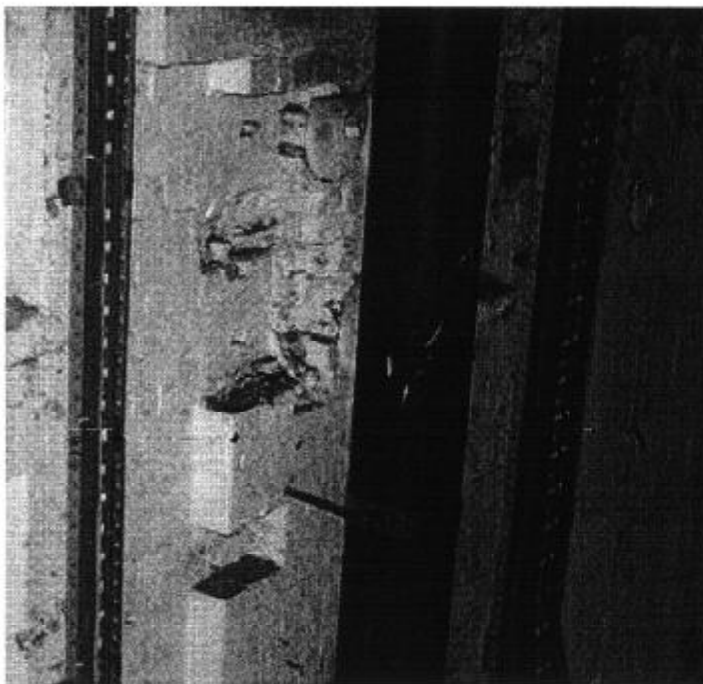
Commonly at the apex of the gable pediment, horizontal cracking has occurred. This recurring problem may be associated with the building structure so should be addressed by the structural engineer. Cracks on the pediments of Bays 11, 12 and 14 South should be repointed.



This type of cracking at the apex of the gable pediment is a recurring problem and should be addressed by a structural engineer. Bay 11 / South. Source: OCP May 2002

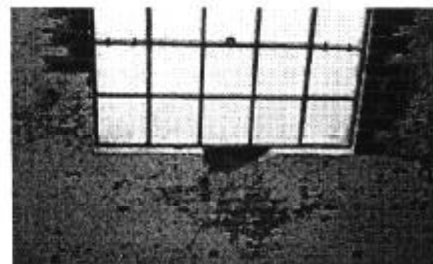
Bricks are missing on some bays, particularly on rims and pilasters. These should be replaced, especially at Bays 11, 12 and 13 South. The brick stitching required to Pilaster 12 South should be considered high priority.

Hairline cracks in pilasters should also be urgently repaired.

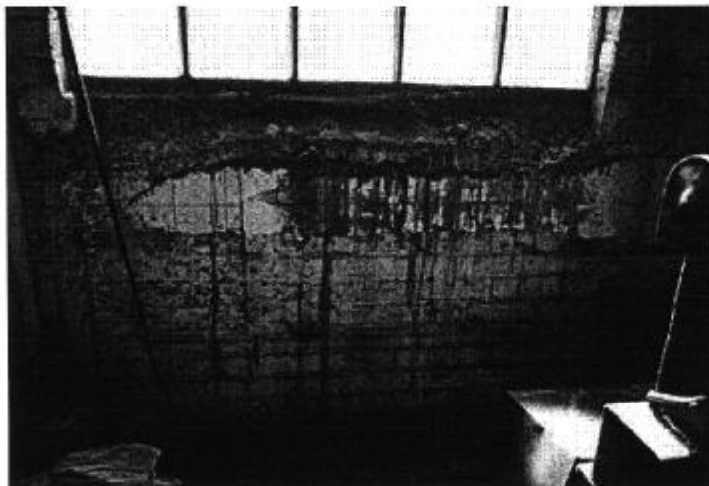


Interior brickwork on Pilaster 11 / South requires stitching. Source: OCP May 2002

Window sills to be replaced or repaired have generally been noted on the external line drawings. Internal repairs to stone should be undertaken at the discretion of maintenance staff. Specifically, the westernmost sill of Bay 12 South, requires a stone insert. Elastometric sealant should be applied to all exposed joints on the top side of horizontal stone surfaces and any cracks in cornices should be repointed.

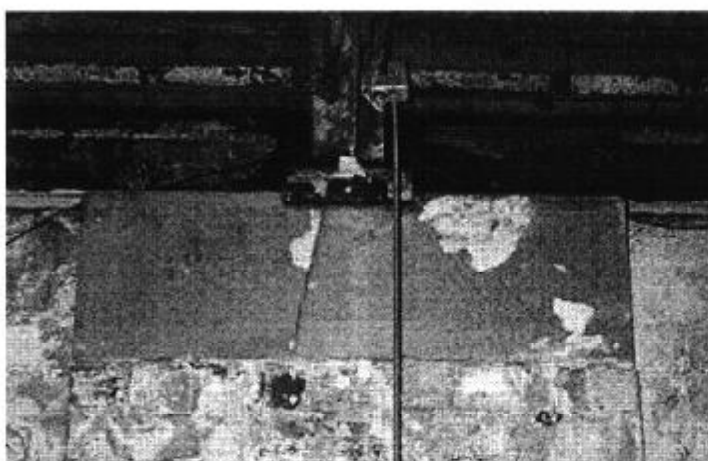


The damaged sill of the western window of Bay 12 South. Source: OCP 2002.



This sill is severely damaged and should be replaced. Annex 2. In most cases, similar repairs are noted on the line drawings. Source: OCP 2002.

The sandstone seats atop pilasters display cracks, erosion and damage from exploding inserts. Access permitting, these stones should be monitored and cracks sealed. If the problem develops further a structural engineer's report may be required.



Crack in the sandstone seat of Pilaster A, Bay 14. This is a recurring problem that requires monitoring. Source: OCP 2002.

As indicated on the external photographs, all historic metal fittings should be preserved. Throughout the interior, bolts and brackets have been painted over when the walls were painted. This was common practice during the workshops phase. Paint should not be removed.



Historic bolts have been painted over during the workshops phase. Note the discolouration of the paint. The square gaps in the brickwork may be significant and should not be filled. Further research is required as to function. Bay 11/ South, upper western rim. Source: OCP 2002.

Discolouration to the paintwork is a result of the building's function as a workshop and should remain unchanged.

All historic signage painted or attached to the interior walls should be preserved. If conservation work is required, a paint specialist should be consulted.



Preserve historic signage painted on the interior wall of Bay 14 North. Source: OCP 2002.

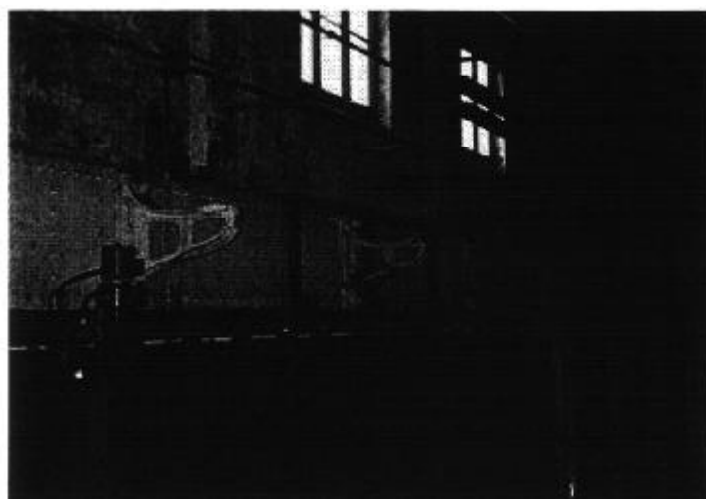
Historic pipework and associated brackets should be preserved and rust proofed as required.

Porcelain inserts are generally in good condition and should be preserved. As externally, loose cables should be removed and the inserts left unfilled. Points where the inserts provide lintel support to the brickwork above should be monitored and suitable action taken as required.



Severe damage to the upper western brickwork of Bay 11 North. The sandstone cornice is corroded and inserts exploding. Note also the porcelain inserts providing lintel support to brickwork. Source: OCP 2002.

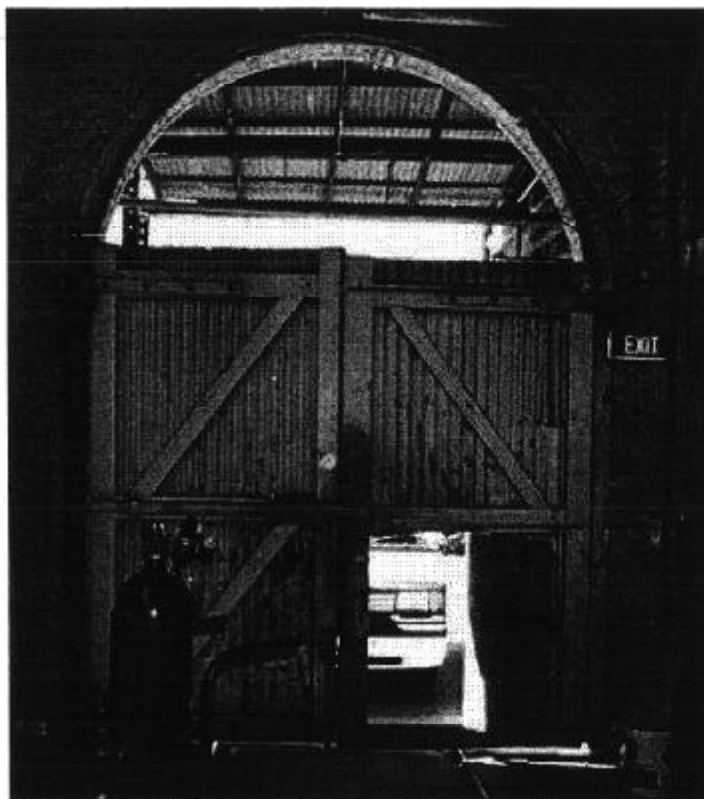
At the traverser Bays 8 and 14, brackets are attached to the traverser beam. These should be preserved and interpreted as desired.



Interior view of the former traverser Bay 14 South. The brackets attached to the beam should be preserved and interpreted as desired. The historic pipework should also be preserved and may be interpreted if function is established. Source: OCP 2002.

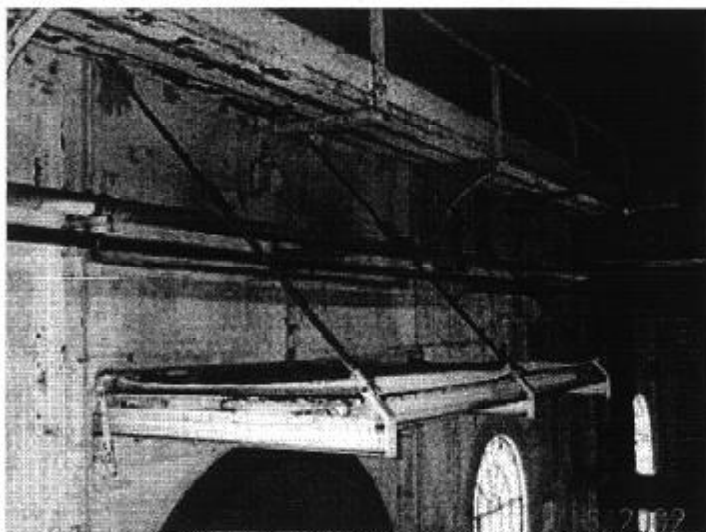
Timber brackets and pulley systems attached to the interior walls should be monitored for stability. These are considered to be of low significance and may be repaired or removed as required.

Original door hinges should also be preserved.



While this gate has been clad with corrugated sheeting, the original hinges remain and should be preserved. Bay 2 South. Source: OCP 2002.

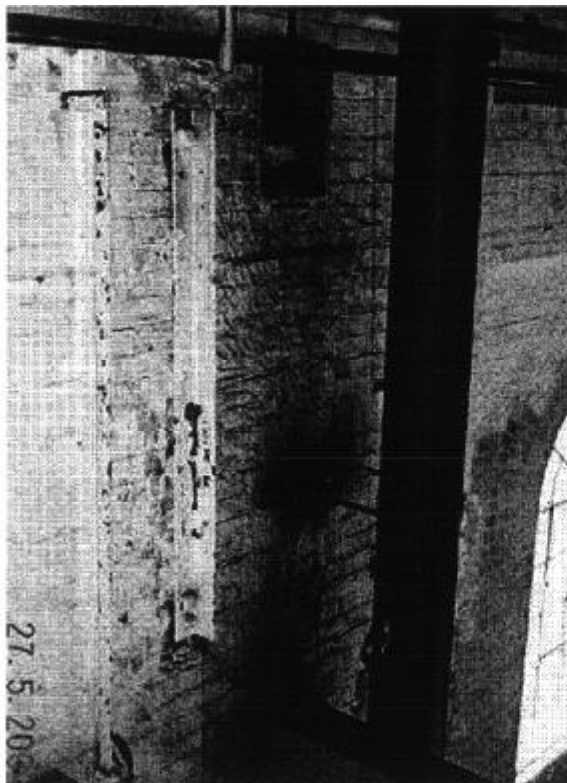
Additions such as mezzanines, awnings and the timber walkway along the north wall were generally installed during the workshops phase. These should be monitored for stability and corrosion and repaired as required. All timber structures should also be inspected for termite damage and treated accordingly.



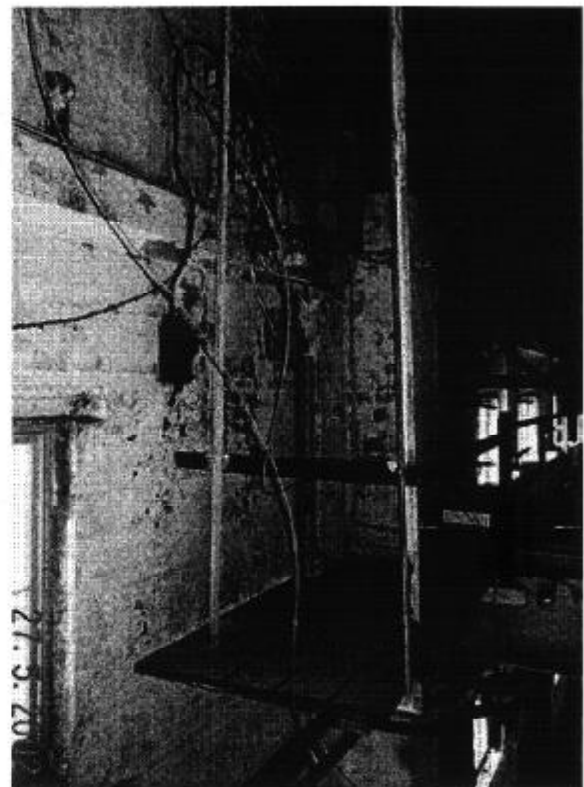
The awning over a doorway and the timber footbridge running along the north wall are part of the workshops phase and should be preserved. Bay 11 North. Source: OCP 2002.



A wooden footbridge supported by steel brackets runs along the north wall. It is part of the workshops phase and should be preserved. Inspect regularly for termite damage and treat accordingly. Rust proof brackets if required. Bay 12, North Wall. Source: OCP 2002.



Discolouration to the brickwork of Pillar 12, North Wall. Source: OCP 2002.

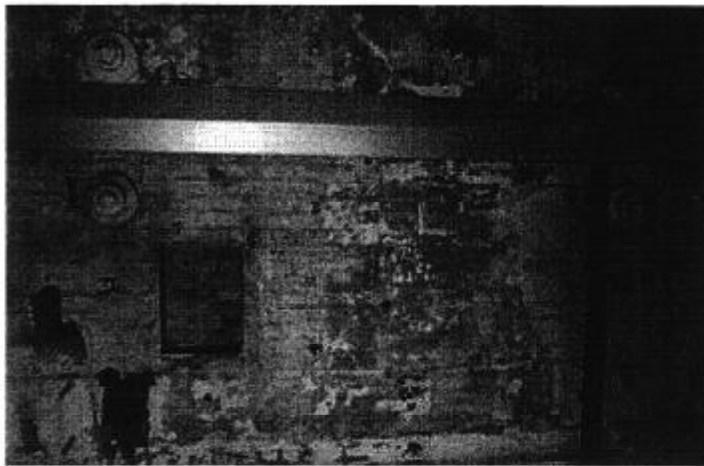


Mezzanine levels should be inspected for termite damage and monitored for stability. Bay 13 mezzanine. Source: OCP 2002.

The partition wall dividing Bays 14 and 15 is in varying states of deterioration. Exploding inserts have caused extensive damage to the brickwork. Cracking and discolouration have resulted. These areas should be carefully monitored and repointed if further cracks develop.



Discoloured brickwork around an exploding insert. Eastern side of the partition wall dividing Bay 14 and 15. Source: OCP 2002.



Discoloured brickwork around an exploding insert. Bay 14. Source: OCP 2002.

As with the perimeter walls, many bricks are missing in the partition wall. In general, replacement bricks should be inserted. Regularly shaped gaps should be retained until further research determines the former function.

#### 4.3.6 BAYS 1 & 2 SERVICES

Major cracking, leaks and a partially dropped ceiling indicate severe structural damage in Bays 1 and 2. Although the external surface of the east wall was superficially repaired during the 1995 works for the Australian Technology Park, these bays still require extensive work to stabilise the structure and prevent further damage.

As indicated in the line drawings, major cracking has occurred along the south wall of Bays 1 and 2 and in the associated annexes (1,2 and 4a). Cracks should be repointed and the walls urgently rectified.

Between the two bays, a dip of the supported roof trusses indicates that two internal columns have settled, causing structural damage and water ingress. The settlement may have been due to local weakness in the soil and/or heavy dynamic loads from the work operations. It appears to have stabilised but should be monitored as the columns have not been underpinned. The resulting damage to the roof and downpipes has caused leaking. In consultation with the engineer, the columns in this area should be underpinned and the roof repaired. Drainage pipes should be cleared and repaired. The possibility of diverting stormwater should also be assessed in the short term.

The structural faults in Bays 1 and 2 may be interrelated and should be addressed urgently to prevent further damage. Any work should be done in consultation with the structural engineer.

The original internal lights in Bays 1 and 2 are significant and should be retained. They may be reused or not as required.



This large vertical crack in the South Wall of Annex 2 is one example of structural damage in Bays 1 and 2. Source OCP 2002.

#### 4.3.7 MASONRY GABLES

As indicated in the CMP, it is common practice to strengthen heritage buildings against horizontal earthquake loads, in order to prevent injury, loss of life and excessive damage to the building fabric in the event of an earthquake. In particular, the masonry gables on the north and south walls of the Eveleigh Locomotive Workshops are slender and unrestrained and therefore considered at risk of collapse. The gables should be tied to the roof structure, following an engineering assessment.

Horizontal cracking of the gable has occurred along the coping courses of brickwork in Bays 1 to 4 South. The courses are split on the bed planes. Cracks should be repointed and the gables monitored for further damage. If this is a structural fault, the problem may recur along the South Wall, so all gables should be monitored for similar cracks.

Similar cracks have occurred along the interior coping courses where cast iron roof purlins are embedded into the brickwork. These areas should be carefully monitored and repaired as required. Existing cracks should be repointed immediately.



An example of how the coping courses are split on the bed planes.  
Source: OCP 1996.



A detail showing the split bed planes on the coping.  
Source: OCP 1996.



Cast iron roof purlins embedded in the gable pediments have caused some brick courses to crack. Source: OCP 2002.

## 5.0 THE DATABASE

An electronic database has been created in Filemaker Pro to facilitate the maintenance of the building fabric. It is most effective in its digital format, although printed copies are also available. The electronic database should be updated as work is completed.

Each record is formatted with an annotated photograph, line drawing and a tabulated maintenance plan addressing each element of the building fabric for each individual external bay or row wall. The annotated photographs detail historical significance of the fabric and identify non-structural elements to be preserved, removed or interpreted, such as a historical sign or an intrusive cable. The line drawings show specific repairs and maintenance work that affect the building structure, such as brick repointing or stitching. This is also indicated in an accompanying key to enable searching and collating.

The proceeding inventory documents the levels of significance, fabric condition and required repair work for each unit of the building fabric. In its electronic form, this section can be used to search for specific types of repairs, such as glazing or brick patching. The resulting records can then be printed and distributed to appropriate tradespeople or maintenance staff.

Significance is classed as S1 High, S2 Moderate, S3 Low or S4 Intrusive. Highly significant elements should be preserved and interpretation considered. Elements of moderate significance should be conserved. Low significance elements should generally be left intact, unless damaging to the building fabric. Remove intrusive elements unless this process could damage building fabric.

Fabric condition has been classed into C1 very bad, C2 poor and C3 good. C1 refers to fabric that is dangerous, structurally unstable, or excessively corroded. C2 refers to fabric that requires general repair. C3 indicates that fabric is in good condition, requiring little conservation work.

Rectification work has been classed into three categories: R1 maintain, R2 urgent work and R3 repair. In this instance the term repair has been used to include 'restoration' and 'reconstruction' as well as general localised repairs, as outlined in the Burra Charter. Urgent work refers only to dangerous materials, for instance a splintered timber bracket. All other work has been labelled 'maintain', indicating general monitoring, repair and preservation as required.

Regular monitoring of all building fabric has been assumed and has thus not been included as a category.

The 'recommended works' section of the table details specific methods of repair, and should be consulted in conjunction with the line drawing and photos. In the 'notes' section, terms such as 'intrusive', 'HP' [high priority] and 'urgent' have been used to indicate the hierarchy of importance of some repairs. Options for historic interpretation have also been suggested in this column. These categories have also been divided into check boxes on the first page of the record to facilitate an efficient search.

Some of the recommended works are recurring problems throughout the workshops and have been included here as general notes, rather than shown on successive line drawings. These general notes are:

- The top side of *all* exposed horizontal stone joints should be filled with mortar and pointed with elastomeric sealant.
- The plinth along the North Wall is severely exfoliated and requires urgent repointing and repair.

## 5.1 THE BUILDING KEY

A key accompanies the line drawings to explain the proposed methods of repair. The key is arranged with an abbreviated code on the left, followed by a more detailed description to the right. It can also be used to search the inventory for specific repairs. These methods have been explained in detail below:

- R**    **Replace stone** - Where stonework is damaged beyond repair, replace the whole stone, to match the existing.
- I**    **Indent stone** - Where the whole of the visible part of the stone is damaged beyond repair, indent stone 150mm into wall (or as determined by Structural Engineer). Finish to match existing.
- H**    **Hairline-jointed stone insert** - Where part of the visible stone surface is damaged beyond repair, insert stone to the extent of damage only approximately 150mm deep into wall using tight (hairline) joints. Finish to match sound part of existing stone.
- Rp**   **Repoint** brickwork or stonework using lime mortar.

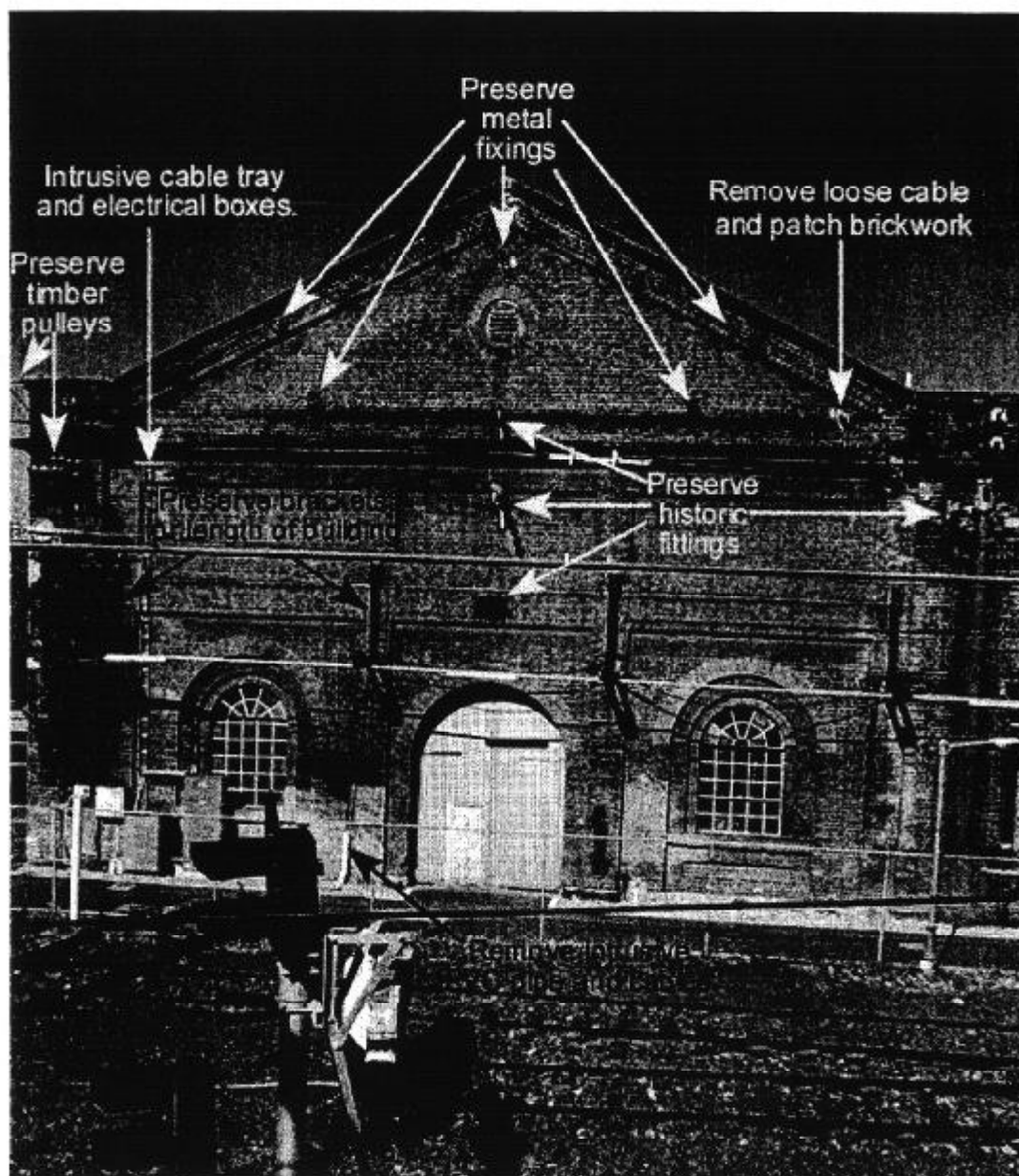
- CI Corroded Insert** - A corroded ferrous insert is rusting and expanding and may be causing cracking, water ingress and structural damage to the building fabric. The insert should be removed with care and the surrounding area patched with epoxy resin.
- Ps Patch (small)** - Apply a small (up to 30mm diameter) epoxy patch without reinforcement to the area indicated. This method is recommended for the holes left by the many nails, screws and other inserts that have since corroded or been removed.
- Pr Patch (reinforced)** - Patch damaged stone with epoxy resin and reinforce with stainless steel wire (3.2 mm diameter) reinforcement. This is particularly recommended for when cracks or holes have caused stone to break.
- IB Insert Brick** - Where bricks are missing or severely damaged, insert a full, half or quarter brick, as indicated, to fill the gap. These bricks should endeavour to match the existing brickwork and be fixed with lime mortar.
- Els Elastomeric Sealant** - Fill the joint with mortar then apply elastomeric sealant to the top on horizontal surfaces. A backing rod may also be required. This method is generally recommended for horizontal stone joints, particularly along window sill, cornice and coping stones.
- In Inject** epoxy resin mixture along the entire length of any cracks. This has been particularly recommended for deep cracks to prevent further structural damage.
- Rc Rust Converter** - Apply rust converter to corroded ferrous metal inserts to prevent further deterioration. This method is preferred to removing the inserts when removal may cause structural damage or where the metal has heritage value. Rust converter has also been recommended for the ferrous window heads.
- Tme To Match Existing** - Repair the fabric with the introduction of a new material to match the existing fabric (eg. replacing sandstone coping stones to match existing).
- Zac Zincalume Capping** - Install a new Zincalume capping to replace the existing corroded roof capping
- Rv Remove Vegetation** - Remove vegetation growing in the masonry. Rake out the joints 20mm deep to prevent further growth. Repointing of the raked-out joints is required (as for Rp).

- MS **Make Safe** - Make safe by removing precariously hanging elements or loose stone
- Pb **Patch Brickwork** - Where the brickwork is cracked or chipped, patch using composition mortar [1:2:9, cement:lime:sand]
- Rb **Reconstruct Brickwork** - Reconstruct the brick surface of the wall. This method will be suggested only where the brickwork is structurally unsound. During reconstruction, original bricks should be reused as much as possible. Introduced materials should match the existing brickwork.
- Ot **Other**, see "Notes"

The following pages are a printed version of the electronic database.

## NORTH WALL INVENTORY SHEETS

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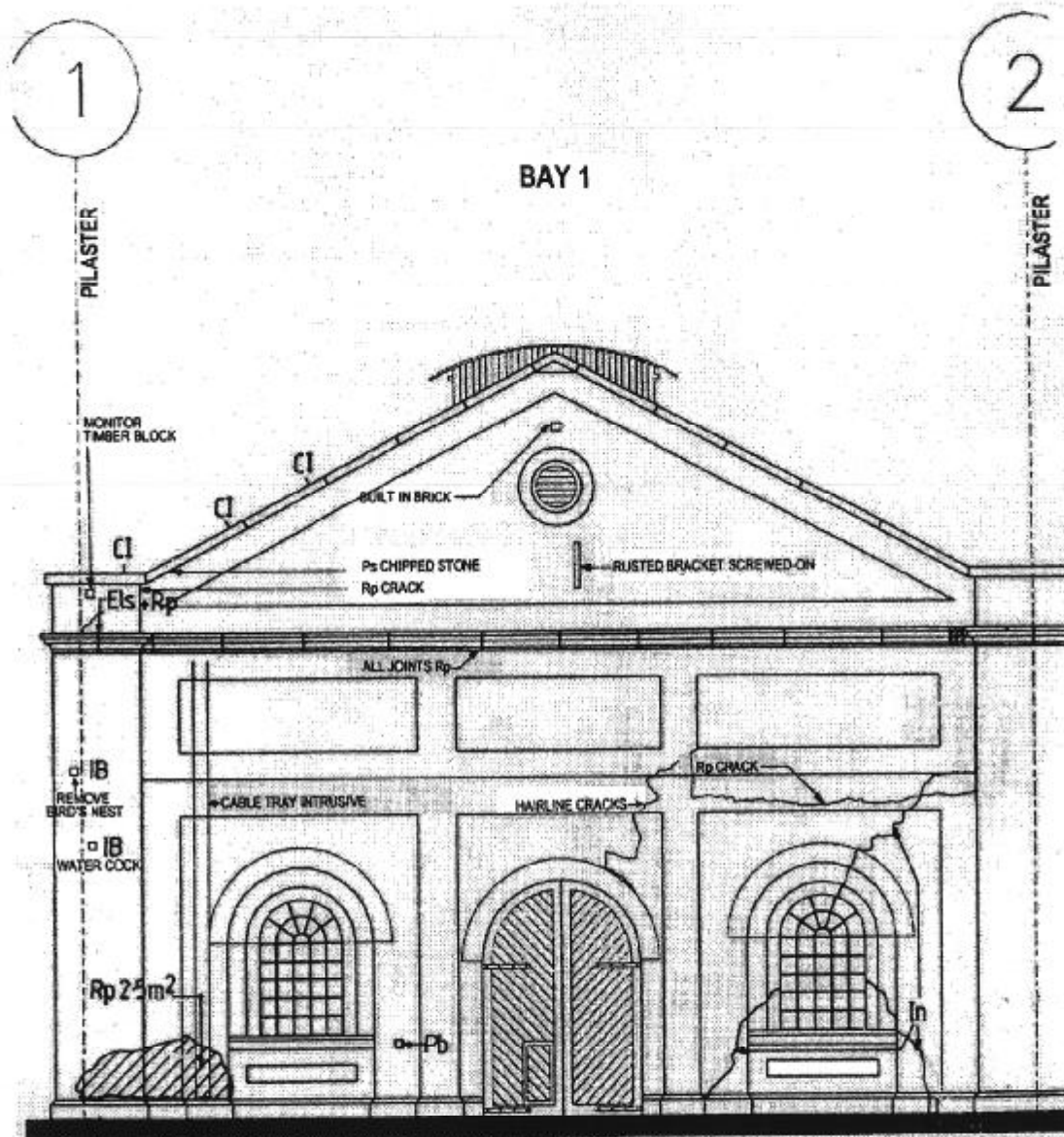


LOCATION Bay 1/1 north

RECORD # 1

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK    ☐ HP [HIGH PRIORITY]    ☒ INTRUSIVE    ☐ INTERPRET



Record # 1

Bay 1/1 north

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                        |                                                               |                                        |                                                       |
|----------------------------------------|---------------------------------------------------------------|----------------------------------------|-------------------------------------------------------|
| <input type="checkbox"/> R             | replace stone                                                 | <input type="checkbox"/> In            | Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I             | indent stone                                                  | <input type="checkbox"/> Rc            | Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H             | Hairline jointed stone insert                                 | <input type="checkbox"/> Tm            | To match existing                                     |
| <input type="checkbox"/> Rp            | Re point                                                      | <input type="checkbox"/> Zac           | New Zincalume capping to replace corroded capping     |
| <input type="checkbox"/> Ci            | Corroded insert, remove and epoxy patch                       | <input type="checkbox"/> Rv            | Remove vegetation and rake out joints 20mm deep       |
| <input checked="" type="checkbox"/> Ps | Small epoxy patch                                             | <input type="checkbox"/> MS            | Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr            | Patch stone with reinforcement                                | <input checked="" type="checkbox"/> Pb | Patch brickwork                                       |
| <input type="checkbox"/> IB            | Insert Brick                                                  | <input type="checkbox"/> Rb            | Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els           | Mortar fill joint, elastomeric sealant and backing rod to top | <input checked="" type="checkbox"/> Ot | Other, see "Notes"                                    |

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 1/1 north

Record # 1

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Light wash and repoint as required	
STONWORK					
coping	S1	C2	R3	Light wash and patch where indicated	
weathering	N/A				
inserts	S3	C1	R3	Remove corroded inserts, patch stonework as shown	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required	
panels	S1	C3	R1	Light wash and repoint as required. Remove loose cables.	
inserts	S3	C2	R1	Monitor rusted bracket, Remove if dangerous.	
BULLSEYE	S1	C3	R1	Monitor louvres for corrosion, rust proof as required.	
UPPER WALL	S1	C3	R1	Light wash and repoint as required	
STONWORK					
cornice	S1	C2	R3	Repoint cracks as indicated	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required	
panels	S1	C3	R1	Light wash and repoint as required	
inserts	S3	C3	R1	Monitor bracket for corrosion	
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Repoint crack. Light wash and repoint as required	HP
arches	S1	C1	R2	Repair major cracks in arch. See drawing.	URGENT
panels	S1	C3	R2	Inject cracks. Light wash as required	URGENT
panel under sill	S1	C3	R1	Light wash and repoint as required	
inserts	S1	C3	R1		
STONWORK					
window sills	S1	C3	R1		
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1		

Record # 1

Bay 1/1 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRILL	S1	C3	R1		
THRESHOLD	S1	C3	R1		
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor steel bracket for the length of the building	Interpret
PILASTER	S1	C3	R1	Light wash and repoint as required	
STONEWORK					
coping	S1	C2	R3	Patch stone with reinforcement	
cornice	S1	C2	R3	Els top of horizontal joints. Repoint crack.	
plinth	S1	C3	R1	Light wash and repoint as required	
inserts	S2	C3	R1	Monitor timber blocks for termites and splintering	
BRICKWORK:					
parapet	S1	C2	R3	Repoint as indicated	
body	S1	C3	R3	Repair major crack. See line drawing.	
down pipes	N/A				
inserts	S1		R1		
END PILASTER	S1	C2	R1	Light wash and repoint as required	
STONEWORKS					
coping	S1	C3	R1	Light wash and repoint as required	
cornice	S1	C3	R1	Mortar fill, & els top of open horizontal joint	
plinth	S1	C3	R1	Light wash and repoint as required	
inserts	S3	C2	R3	Remove corroded insert and patch stone.	
BRICKWORK:					
parapet	S1	C2	R3	Repair crack	
body	S1	C2	R1	Light wash and repoint as required. See drawing.	
pipes	S2	C3	R1	Preserve pipework	
inserts	S3	C3	R1		
OTHER 1	S4	C3		Consider less intrusive alternative to cable tray & electrical boxes.	
OTHER 2	S3	C2	R1	Consider more sympathetic lighting solution.	
OTHER 3	S4	C2	R3	Remove bird's nest in end pilaster.	

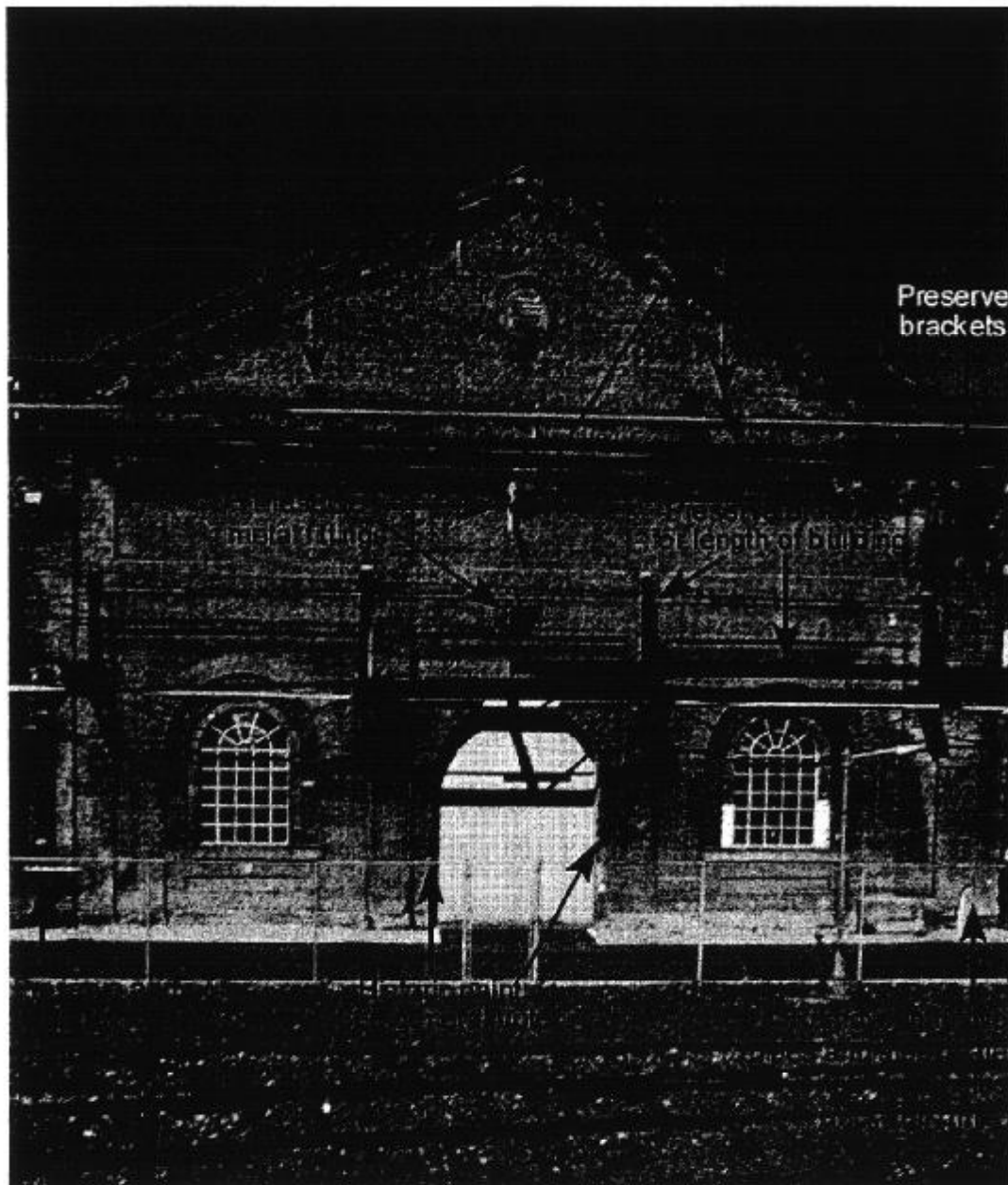
## COMMENTS

Bay 1/1 north

Record # 1

Consider a more sympathetic lighting solution for the North Wall. The fluorescent tube lighting is not causing physical damage to the brickwork at present, but is aesthetically unappealing.



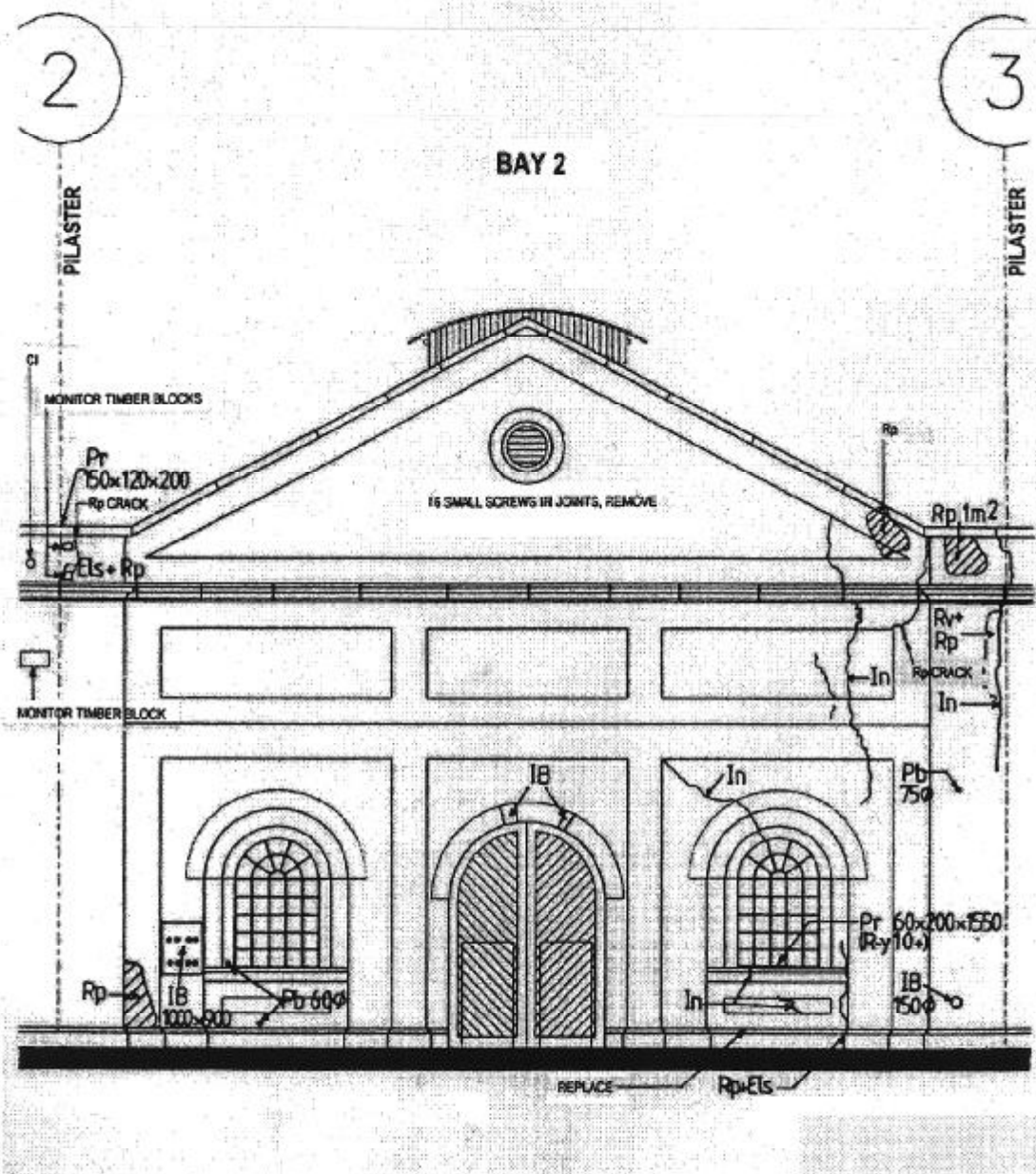


LOCATION Bay 2/2 north

RECORD # 2

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

<input checked="" type="checkbox"/> URGENT WORK	<input checked="" type="checkbox"/> HP [HIGH PRIORITY]	<input type="checkbox"/> INTRUSIVE	<input type="checkbox"/> INTERPRET
-------------------------------------------------	--------------------------------------------------------	------------------------------------	------------------------------------



Record # 2

Bay 2/2 north

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input checked="" type="checkbox"/> In Inject crack with epoxy mixture                 |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                         |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping         |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input type="checkbox"/> Pb Patch brickwork                                            |
| <input checked="" type="checkbox"/> B Insert Brick                                          | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input checked="" type="checkbox"/> Ot Other, see "Notes"                              |

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 2/2 north

Record # 2

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash and repoint as required	
STONWORK					
coping	S1	C3	R1		
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C2	R3	Repoint as indicated in line drawing	
panels	S1	C3	R1	Light wash and repoint as required	
inserts	S3	C3	R3	Remove small screws in joints.	
BULLSEYE	S1	C3	R1	Monitor for corrosion. Rust proof as required.	
UPPER WALL					
STONWORK					
cornice	S1	C2	R3	Repoint cracks	
BRICKWORK					
rims	S1	C2	R3	Repoint cracks as indicated in drawing	HP
panels	S1	C2	R3	Repoint cracks. Light wash.	HP
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repair crack. Repoint as indicated. Light wash.	HP
arches	S1	C1	R2	Insert bricks in doorway arch. Epoxy inject crack in window	URGENT
panels	S1	C2	R3	Repair cracks, repoint as indicated, light wash.	
panel under sill	S1	C2	R3	Patch, inject and repoint as indicated in drawing.	HP
inserts	N/A				
STONWORK					
window sills	S1	C2	R3	Patch with reinforcement, repair cracks, Els stone joints.	
plinth	S1	C1	R3	Replace plinth where indicated in drawing.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1		

Record # 2

Bay 2/2 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair.

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R1	Patch & monitor exfoliating threshold. Els stone joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Preserve brackets for length of the building.	Interpret
PILASTER	S1	C2	R3	Repair cracks as indicated in drawing. (See also Bay 3 North).	
STONEWORK					
coping	S1	C2	R3	Repair cracks with epoxy resin	
comice	S1	C2	R3	Repair crack with epoxy resin.	
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R2	Repair major cracks and repoint as indicated in line drawing	URGENT
body	S1	C1	R2	Repair major cracks, repoint and fill as indicated in line	URGENT
down pipes	N/A				
inserts	S2	C3	R1	Monitor inserts for corrosion.	
END PILASTER	N/A				
STONWORKS					
coping	N/A				
comice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4			Remove intrusive pipes and fill hole in plaster brickwork. See photo.	
OTHER 2					
OTHER 3					

Bay 2/2 north

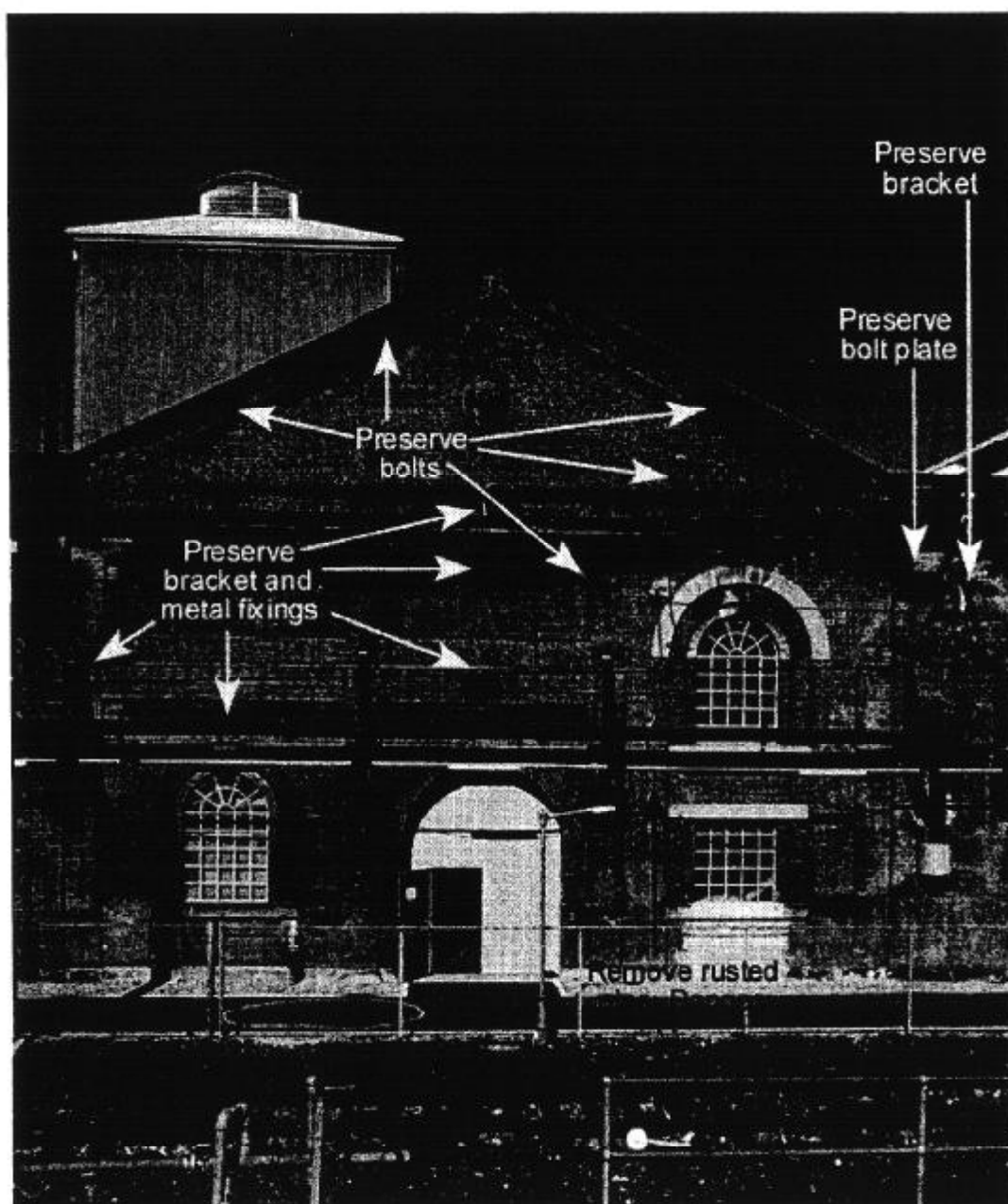
Record # 2

## COMMENTS

One of the sills is noted on the drawing to be repaired but it will require replacement in the future (10 years plus).

A section of plinth below this sill is also noted for replacement. See general notes re plinths. New stone plinths were installed in sections of the east wall in 1995. Some of the stone is already cracked and exfoliating. The cause of this is not known but is likely to be inferior stone or chemical treatment to the stone at the time of installation. The repair of plinths needs further consideration. It may be preferable to treat with sacrificial render prior to installation of new stones. Care should be taken not to breach the asphalt damp proof course in any works to the plinth.



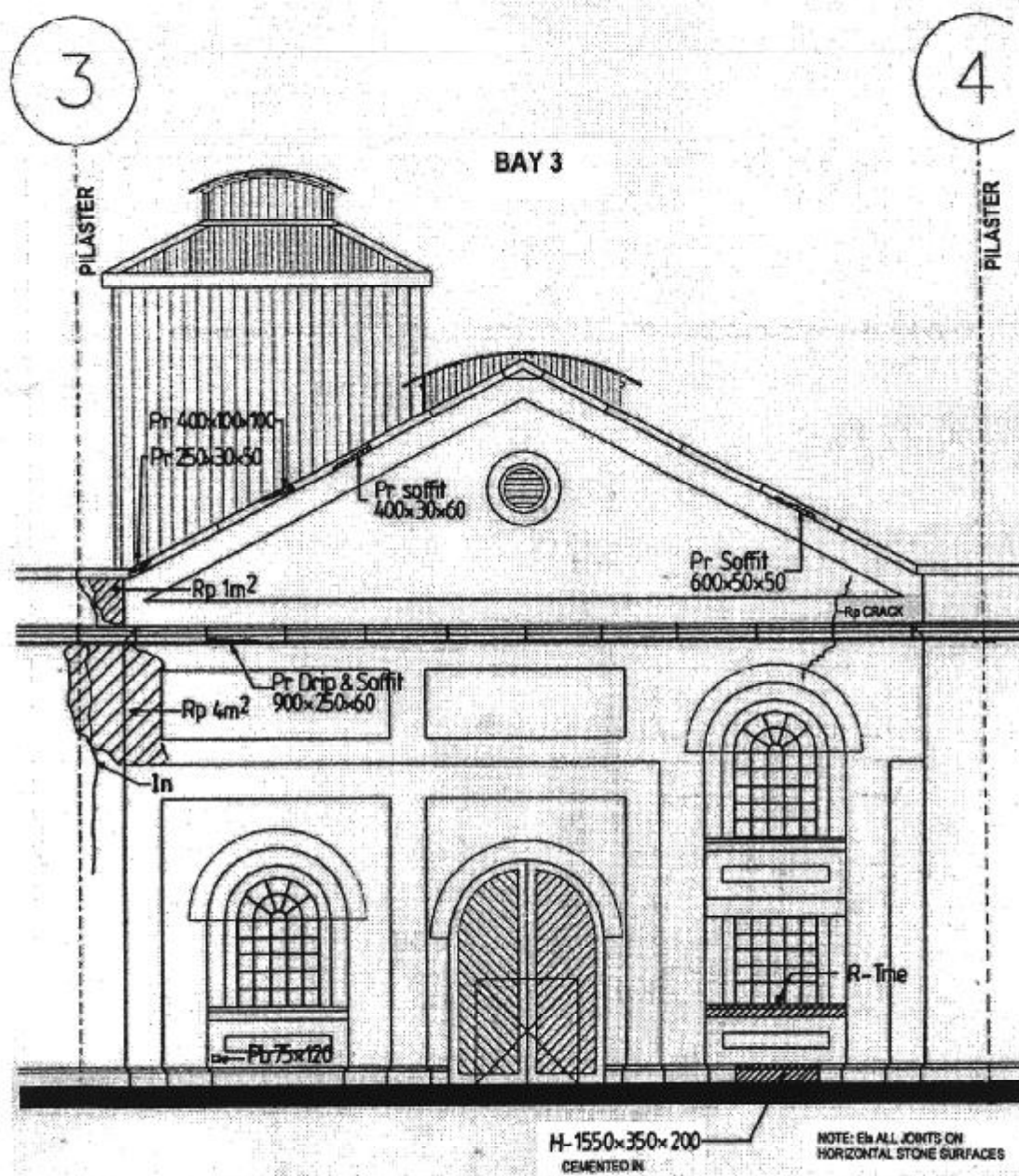


LOCATION Bay 3/3 north

RECORD # 3

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK    ☐ HP [HIGH PRIORITY]    ☐ INTRUSIVE    ☐ INTERPRET



Record # 3

Bay 3/3 north

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input checked="" type="checkbox"/> In Inject crack with epoxy mixture            |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input checked="" type="checkbox"/> H Hairline jointed stone insert                         | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Cl Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input checked="" type="checkbox"/> Pb Patch brickwork                            |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 3/3 north

Record # 3

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash and repoint as required	
STONWORK					
coping	S1	C3	R3	Patch stone with reinforcement as indicated in drawing.	
weathering	S3	C3	R1		
inserts	N/A				
BRICKWORK					
rims	S1	C3	R3	Repair crack where indicated.	
panels	S1	C3	R1	Light wash and repoint as required	
inserts	N/A				
BULLSEYE	S1	C2	R3	Rust proof immediately. Monitor for corrosion.	
UPPER WALL	S1	C3	R1	Light wash and repoint as required	
STONWORK					
cornice	S1	C2	R3	Patch with reinforcement and repoint crack as indicated.	
BRICKWORK					
rims	S1	C3	R1	Repair minor crack. Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required	
inserts	N/A				
WINDOWS	S1	C3	R1	Repoint minor crack in upper arch.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required	
arches	S1	C3	R1	Light wash and repoint as required	
panels	S1	C3	R1	Light wash and repoint as required	
panel under sill	S1	C3	R1	Patch brick where indicated.	
inserts	N/A				
STONWORK					
window sills	S1	C1	R3	Replace sill of double storey window. Els other sill.	
plinth	S1	C2	R1	Hairline jointed stone insert	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1	Door reinstated 1995.	Done

Record # 3

Bay 3/3 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

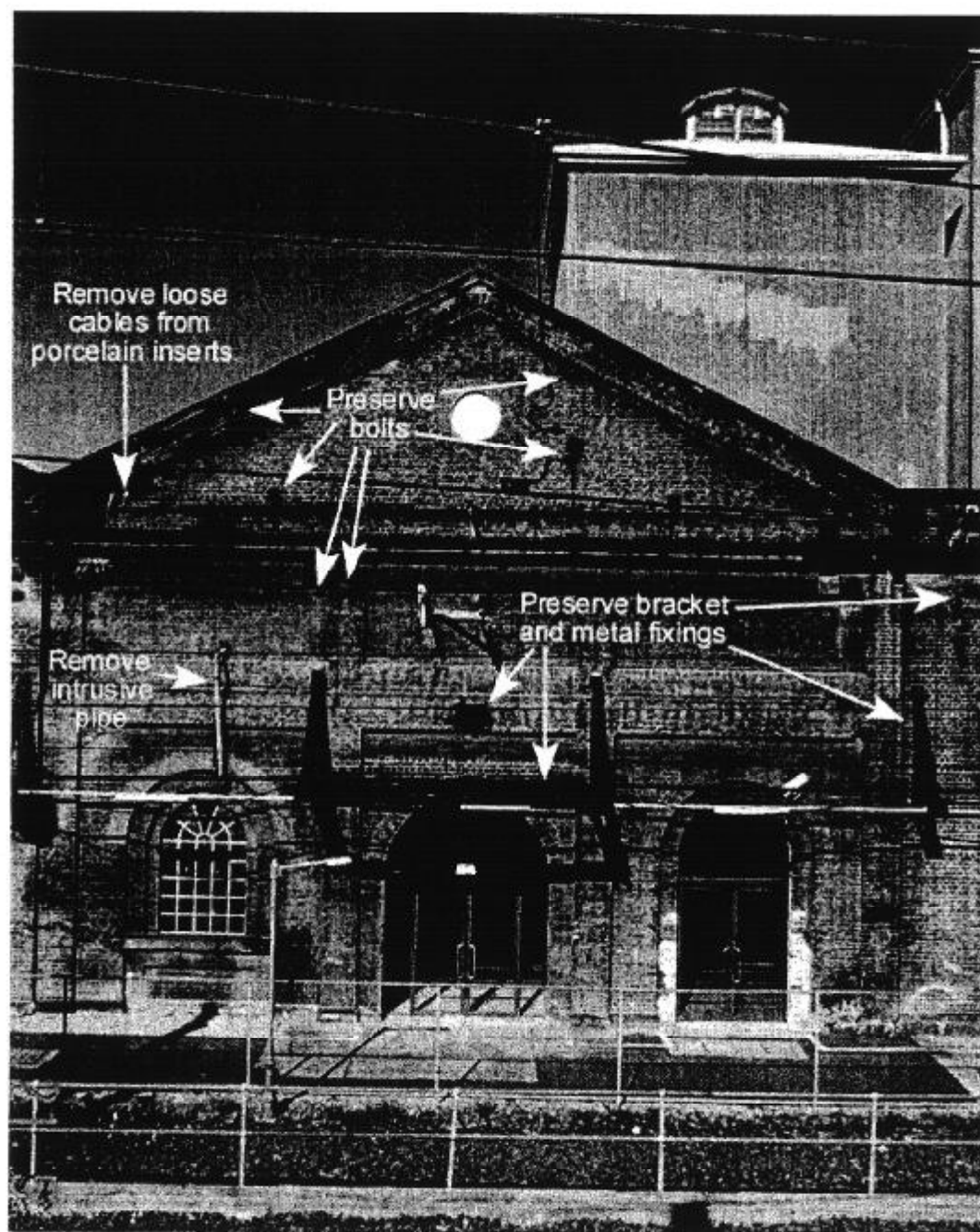
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Els joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C3	R1	Monitor for corrosion.	
STEELWORK	S1	C3	R1	Preserve brackets for length of building. Rust proof as	Interpret
PILASTER	N/A	C2	R3	Light wash and repoint. See line drawings for Bay 3 and Bay	
STONEWORK					
coping	S1	C2	R3	Patch stone with reinforcement. Els joints.	
cornice	S1	C2	R3	Repair crack. Light wash.	
plinth	S1	C3	R1	Els top side of horizontal joints.	
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint whole top of parapet. Light wash.	
body	S1	C3	R1	Repoint as indicated. Light wash.	
down pipes	N/A				
inserts	S2	C3	R1	Monitor.	
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S3	C1	R2	Remove dangerous pipe urgently. See photo.	URGENT
OTHER 2					
OTHER 3					

COMMENTS

Bay 3/3 north

Record # 3



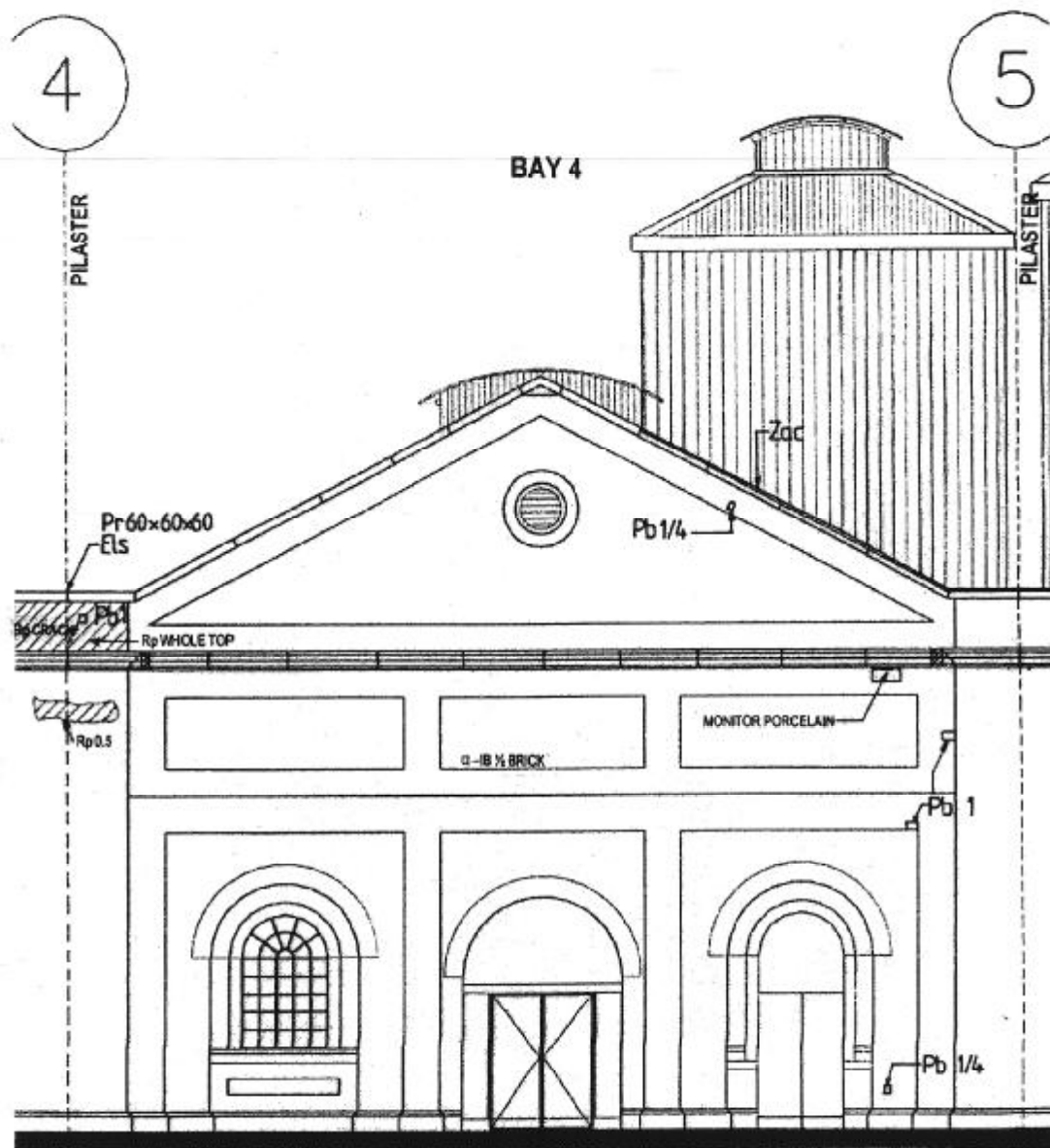


LOCATION Bay 4/4 north

RECORD # 4

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 4

Bay 4/4 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R replace stone
- ☐ I Indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☐ C Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☐ Pr Patch stone with reinforcement
- ☒ IB Insert Brick
- ☐ Els Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☐ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tme To match existing
- ☒ Zac New Zincalume capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☒ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 4/4 north

Record # 4

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1		
STONWORK					
coping	S1	C2	R1	Els top of exposed horizontal joints. Light wash.	
weathering	S2	C3	R3	New Zincalume capping to replace corroded capping.	
inserts	S2	C3	R1	Monitor for corrosion.	
BRICKWORK					
rims	S1	C3	R1	Patch brick as indicated. Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required	
inserts	S1	C2	R3	Remove loose cables from porcelain inserts. Do not fill.	
BULLSEYE	S1	C1	R3	Eventually reinstate missing louvres, funds permitting.	Low
UPPER WALL	S1	C3	R1	Light wash and repoint as required	
STONWORK					
cornice	S1	C2	R3	Repoint and patch where indicated. Light wash.	
BRICKWORK					
rims	S1	C3	R1	Patch brick as indicated. Light wash and repoint as required	
panels	S1	C3	R1	Insert brick as indicated. Light wash and repoint as required.	
inserts	S1	C3	R1	Monitor porcelain inserts.	
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Patch brick as indicated. Light wash and repoint as required	
arches	S1	C3	R1	Light wash and repoint as required	
panels	S1	C3	R1	Light wash and repoint as required	
panel under sill	S1	C3	R1	Light wash and repoint as required	
inserts	S2	C3	R1		
STONWORK					
window sills	S1	C2	R3	Els top of horizontal stone joints.	
plinth	S1	C3	R1	Light wash and repoint as required	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S3	C3	R1	New glazed doors added in 1995.	Done

Record # 4

Bay 4/4 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

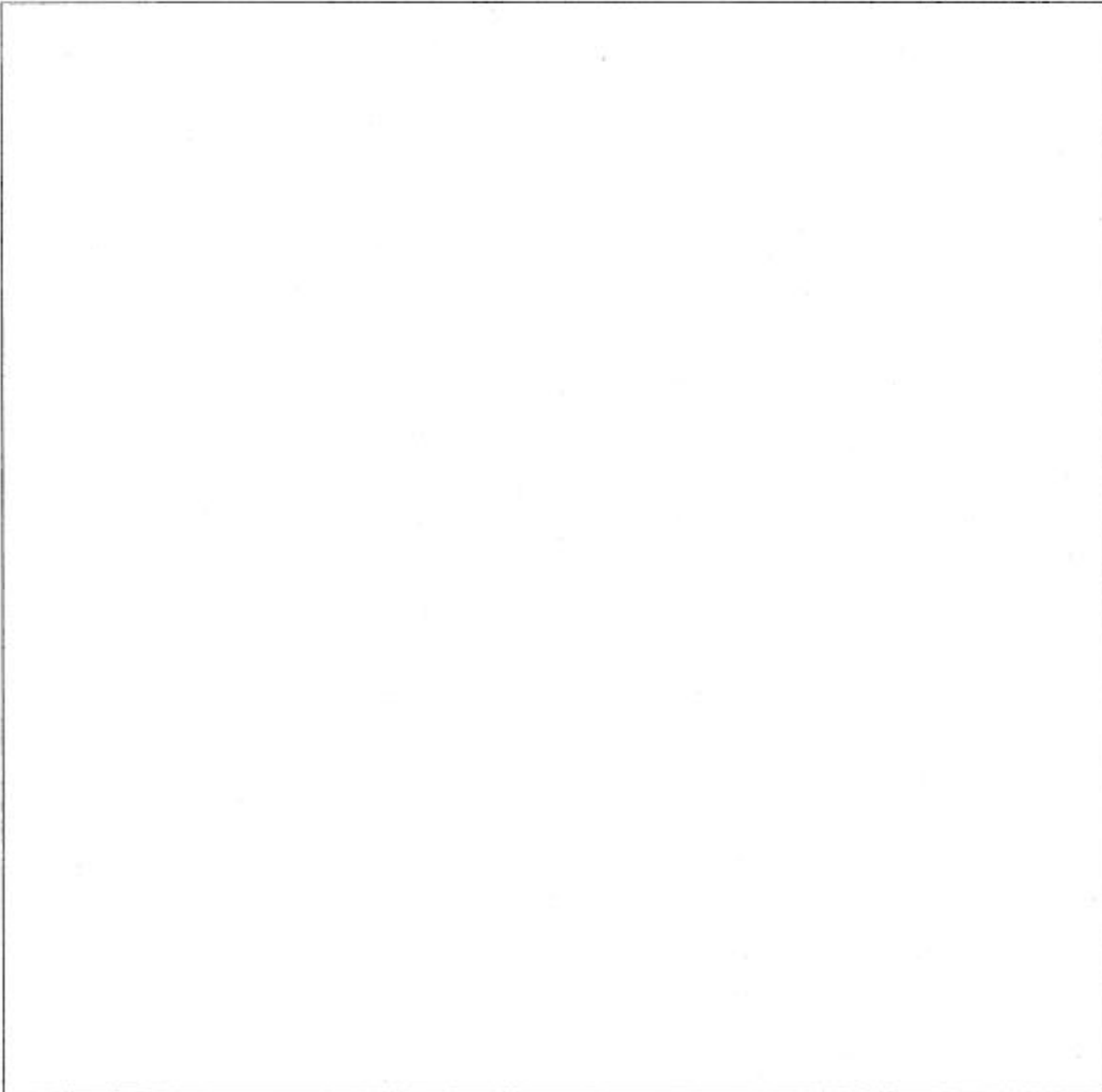
R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
<i>lower wall continued</i>					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	El's horizontal joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Rust proof brackets and piping and monitor for corrosion	
PILASTER	S1	C3	R1	Light wash, repoint as required. See also Bay 5/North	
STONWORK					
coping	S1	C3	R1	Light wash and repoint as required	
cornice	S1	C3	R1	Light wash and repoint as required	
plinth	S1	C3	R1	Light wash and repoint as required	
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint as indicated. Light wash.	
body	S1	C3	R1	Insert brick as shown in line drawing. Light wash and repoint.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3	R1	Monitor significant bolts and brackets. Rust proof if required.	
OTHER 2					
OTHER 3					

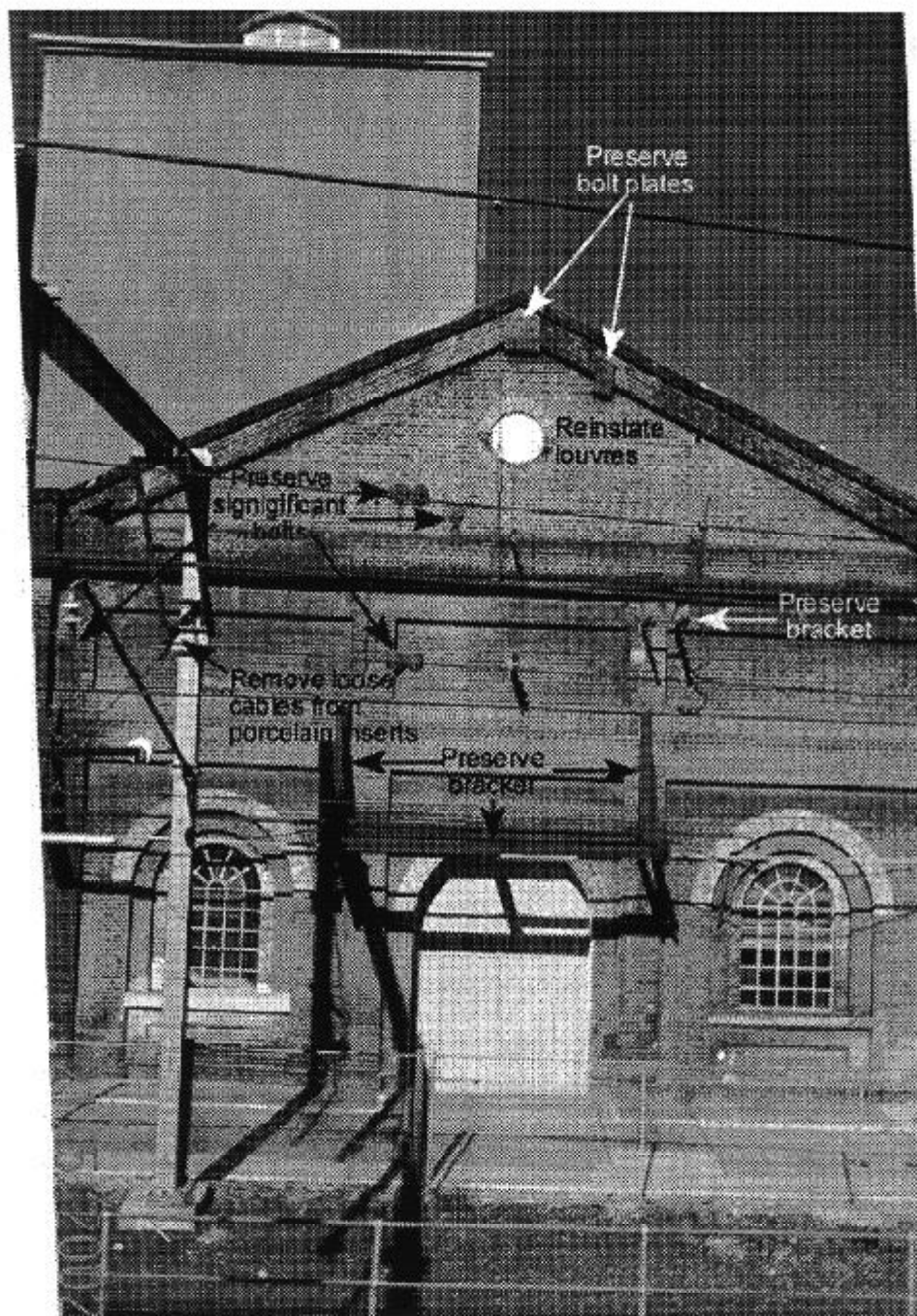
## COMMENTS

Bay 4/4 north

Record # 4





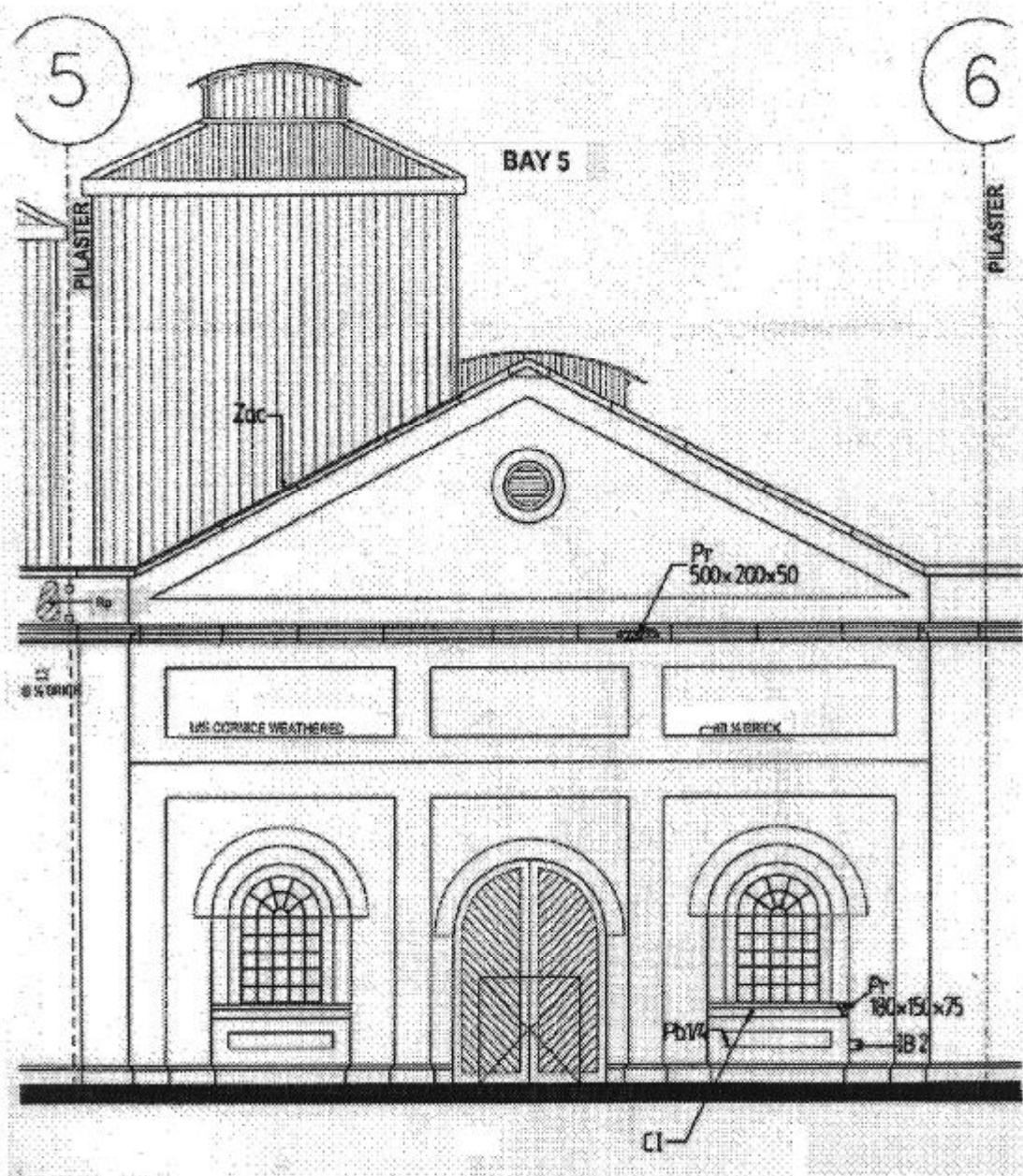


LOCATION Bay 5/4a north

RECORD # 5

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 5

Bay 5/4a north

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                        |                                                               |                                         |                                                       |
|----------------------------------------|---------------------------------------------------------------|-----------------------------------------|-------------------------------------------------------|
| <input type="checkbox"/> R             | replace stone                                                 | <input type="checkbox"/> In             | Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I             | Indent stone                                                  | <input type="checkbox"/> Rc             | Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H             | Hairline jointed stone insert                                 | <input type="checkbox"/> Tme            | To match existing                                     |
| <input type="checkbox"/> Rp            | Re point                                                      | <input checked="" type="checkbox"/> Zac | New Zincalume capping to replace corroded capping     |
| <input checked="" type="checkbox"/> C  | Corroded insert, remove and epoxy patch                       | <input type="checkbox"/> Rv             | Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps            | Small epoxy patch                                             | <input type="checkbox"/> MS             | Make safe by removing loose stone                     |
| <input checked="" type="checkbox"/> Pr | Patch stone with reinforcement                                | <input checked="" type="checkbox"/> Ps  | Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB | Insert Brick                                                  | <input type="checkbox"/> Rb             | Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Es            | Mortar fill joint, elastomeric sealant and backing rod to top | <input type="checkbox"/> Ot             | Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 5/4a north

Record # 5

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1		
STONEWORK					
coping	S1	C3	R1	Light wash and repoint as required.	
weathering	S2	C2	R3	New Zincalume capping to replace corroded capping.	
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required. Preserve metal fittings.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Monitor significant bolts for corrosion.	
BULLSEYE	S1	C1	R3	Eventually reinstate louvres, funds permitting.	Low
UPPER WALL	S1	C2	R3	Light wash and repoint as required.	
STONEWORK					
cornice	S1	C2	R3	Patch as indicated. Mortar fill and els joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S2	C3	R1	Light wash and repoint as required. Insert brick.	
inserts	S1	C2	R3	Remove loose cables in porcelain inserts. Do not fill.	
Windows	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C3	R1		
panels	S1	C3	R1		
panel under sill	S1	C2	R3	Patch brick and repoint as indicated in drawing.	
inserts	N/A				
STONEWORK					
window sills	S1	C2	R3	El's horizontal surface. Patch sill as indicated in drawing.	
pinth	S1	C3	R1	Light wash and repoint as required.	
corbel	N/A				
inserts	N/A				
Windows	S1	C3	R1		
Door(s)	S1	C3	R1	Door reinstated in 1995.	Done

Record # 5

Bay 5/4a north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

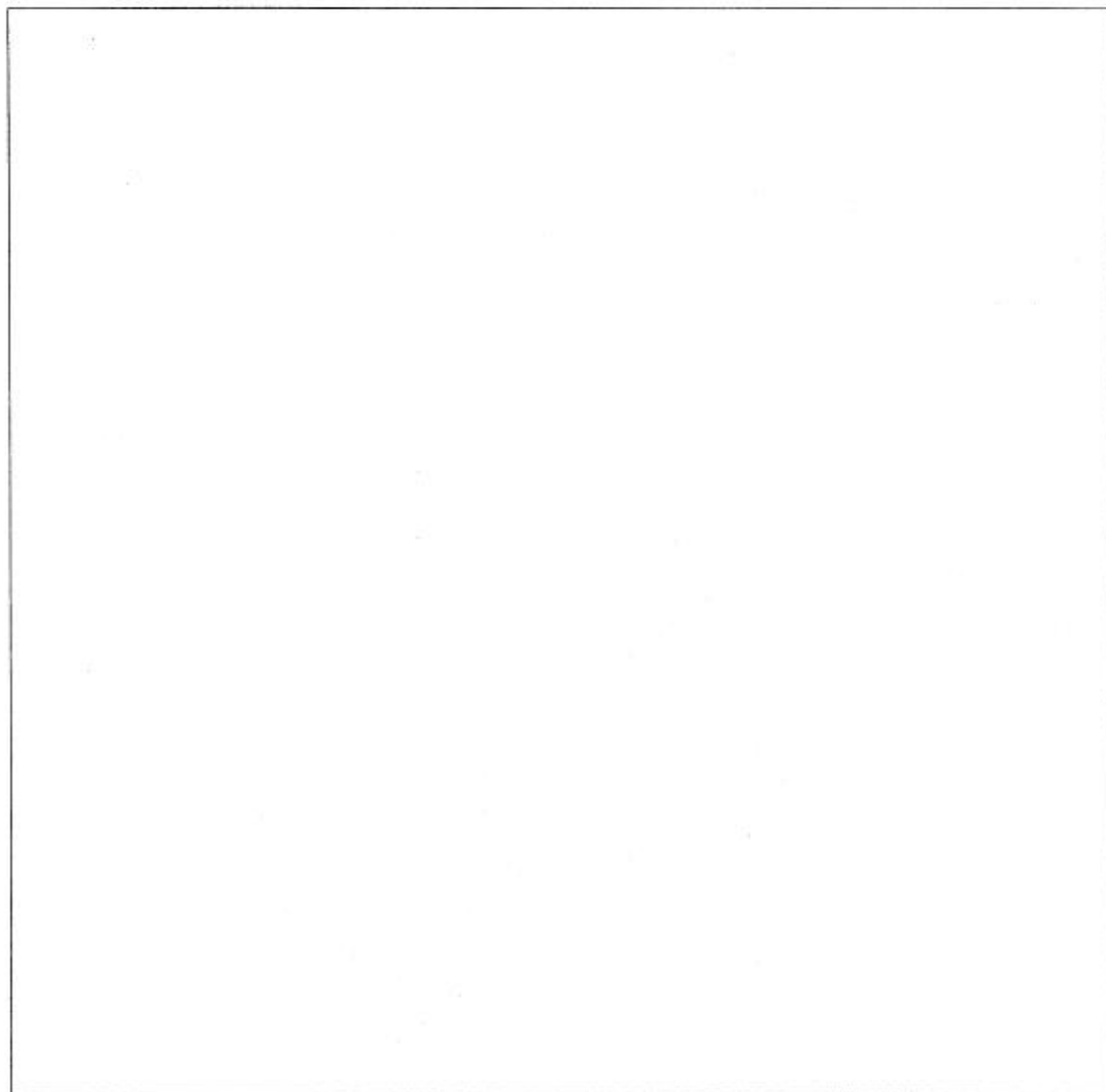
R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
<i>lower wall continued</i>					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Els joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R3	Rust proof and monitor significant pipes and brackets.	
PILASTER	S1	C3	R1	Light wash, repoint as required. See also Bay 6/North	
STONEMWORK					
coping	S1	C3	R1	Els horizontal stone joints.	
cornice	S1	C3	R1	Light wash and repoint as required. Els horizontal joints.	
plinth	S1	C3	R1	Els horizontal joints.	
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint as indicated.	
body	S1	C3	R2	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORK					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER1					
OTHER2					
OTHER3					

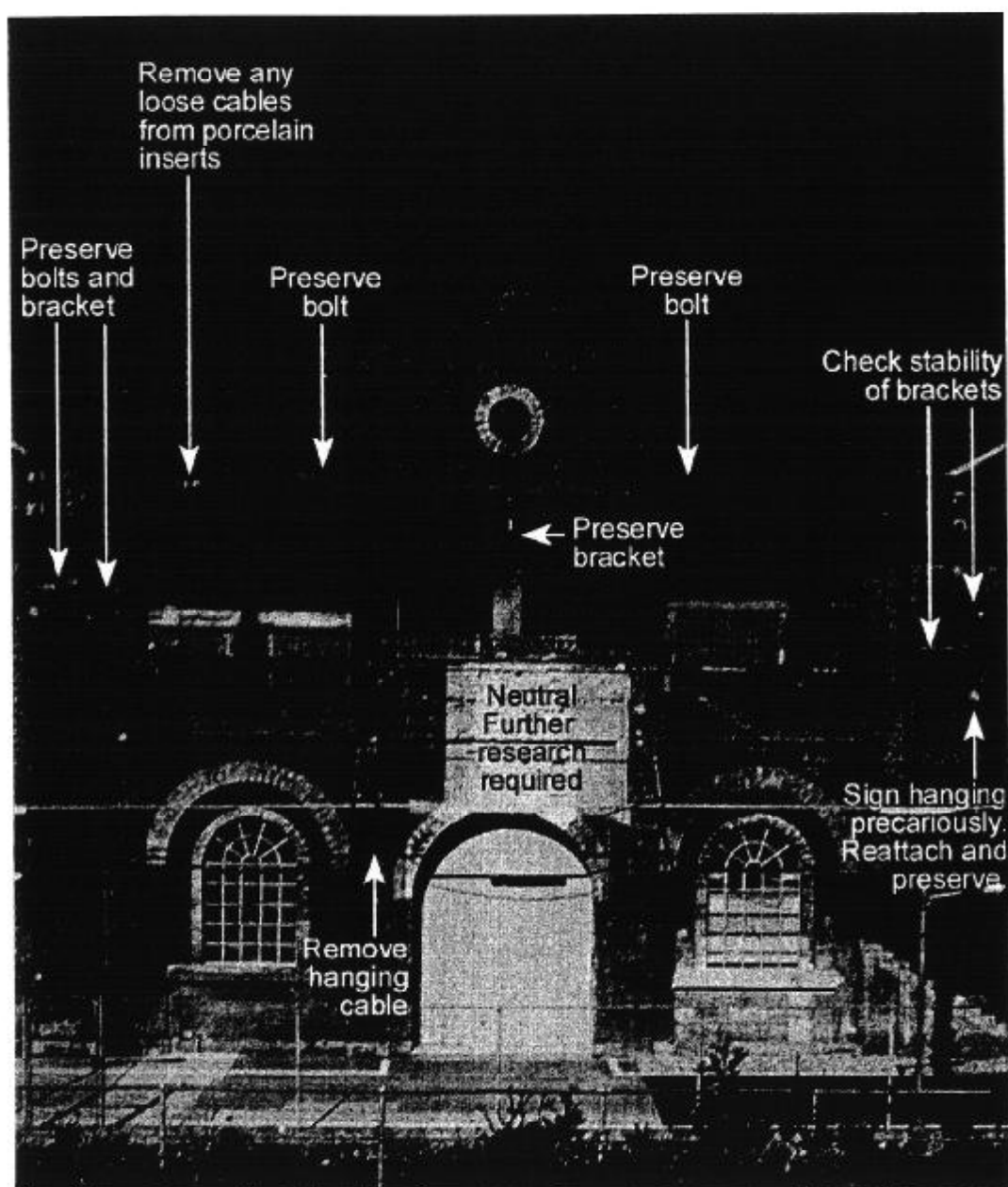
COMMENTS

Bay 5/4a north

Record # 5





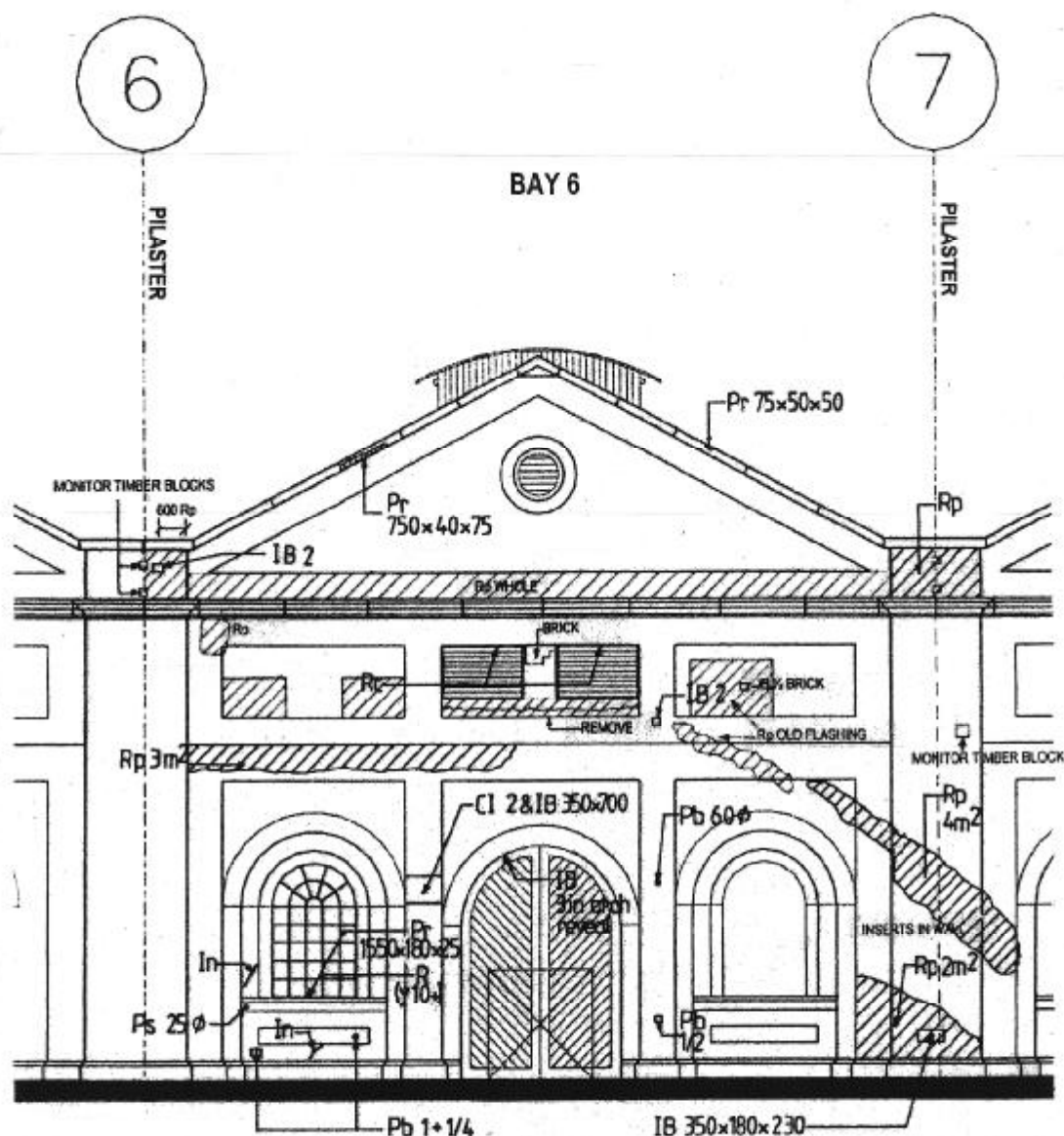


LOCATION Bay 6/5 north

RECORD # 6

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK   ☒ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 6

Bay 6/5 north

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☒ R replace stone
- ☐ I Indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☒ C Corroded insert, remove and epoxy patch
- ☒ Ps Small epoxy patch
- ☒ Pr Patch stone with reinforcement
- ☒ IB Insert Brick
- ☐ Els Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☐ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☒ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 6/5 north

Record # 6

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3		
STONWORK					
coping	S1	C2	R3	Patch with reinforcement as indicated.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C2	R3	Repoint whole rim. Light wash.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C2	R3	Rust proof and monitor for corrosion.	
UPPER WALL	S1	C2	R3		
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Repoint as indicated in drawing.	
panels	S1	C1	R3	Specific repointing required: see drawing. Insert brick.	HP
inserts	N/A				
WINDOWS	S1	C2	R3	Apply rust converter to window frame.	
LOUVRES	S1	C2	R3	Apply rust converter to louvres.	
LOWER WALL					
BRICKWORK					
rim	S1	C1	R3	Repoint as indicated.	HP
arches	S1	C3	R1	Repair crack in window arch. Insert bricks in door arch.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	See drawing for minor repairs. Light wash, repoint as	
inserts	N/A				
STONWORK					
window sills	S1	C3	R3	Replace sill or patch with reinforcement. See drawing.	
plinth	S1	C3	R1	Els horizontal joints.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1		

Record # 6

Bay 6/5 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

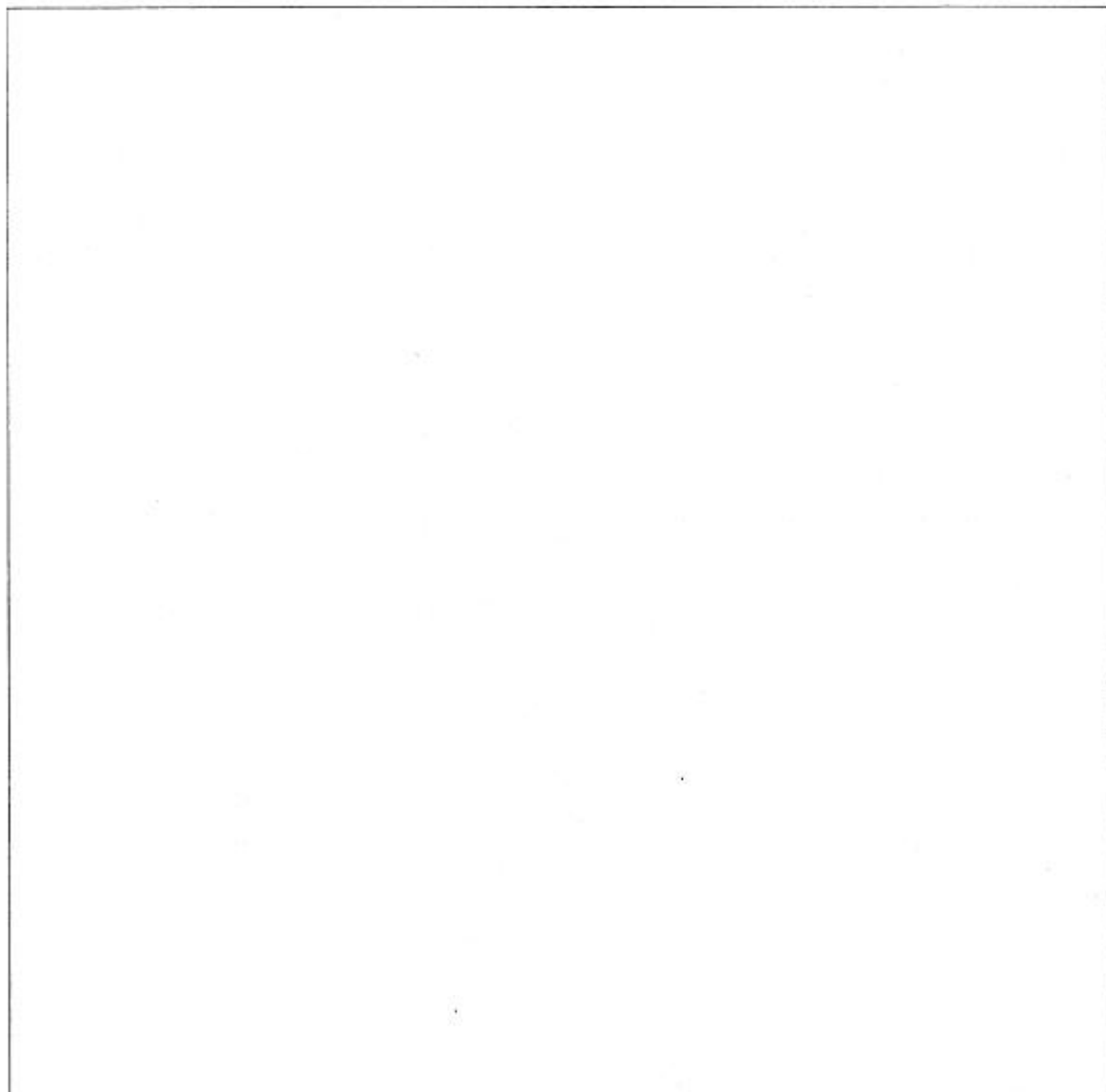
R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Els horizontal joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Rust proof and monitor significant steel work.	
PILASTER	S1	C3	R1		
STONework					
coping	S1	C3	R1	Light wash and repoint as required.	
comice	S1	C3	R1	Light wash and repoint as required.	
plinth	S1	C3	R1	Light wash and repoint as required.	
inserts	Nil				
BRICKWORK					
parapet	S1	C1	R3	Repoint whole parapet	
body	S1	C2	R3	Repoint where indicated. Light wash.	HP
down pipes	N/A				
inserts	S3	C2	R1	Monitor for corrosion	
END PILASTER	N/A				
STONeworks					
coping	N/A				
comice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	NI				
OTHER 1	S1	C1	R2	Sign on plaster hanging precariously. Reattach immediately.	URGENT
OTHER 2	S1	C3	R1	Monitor significant bolts and metal fixings. Rust proof as required.	
OTHER 3					

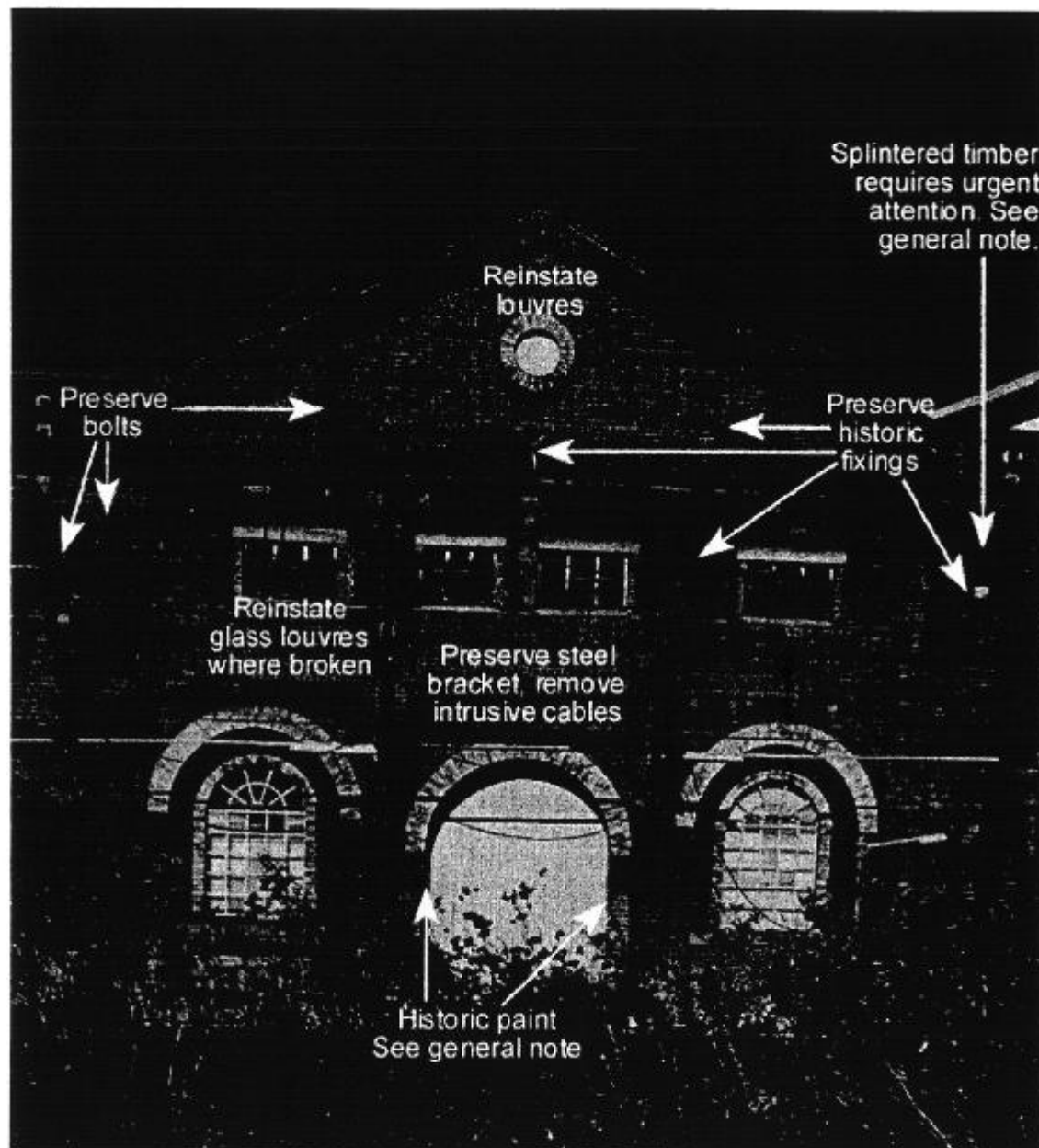
## COMMENTS

Bay 6/5 north

Record # 6





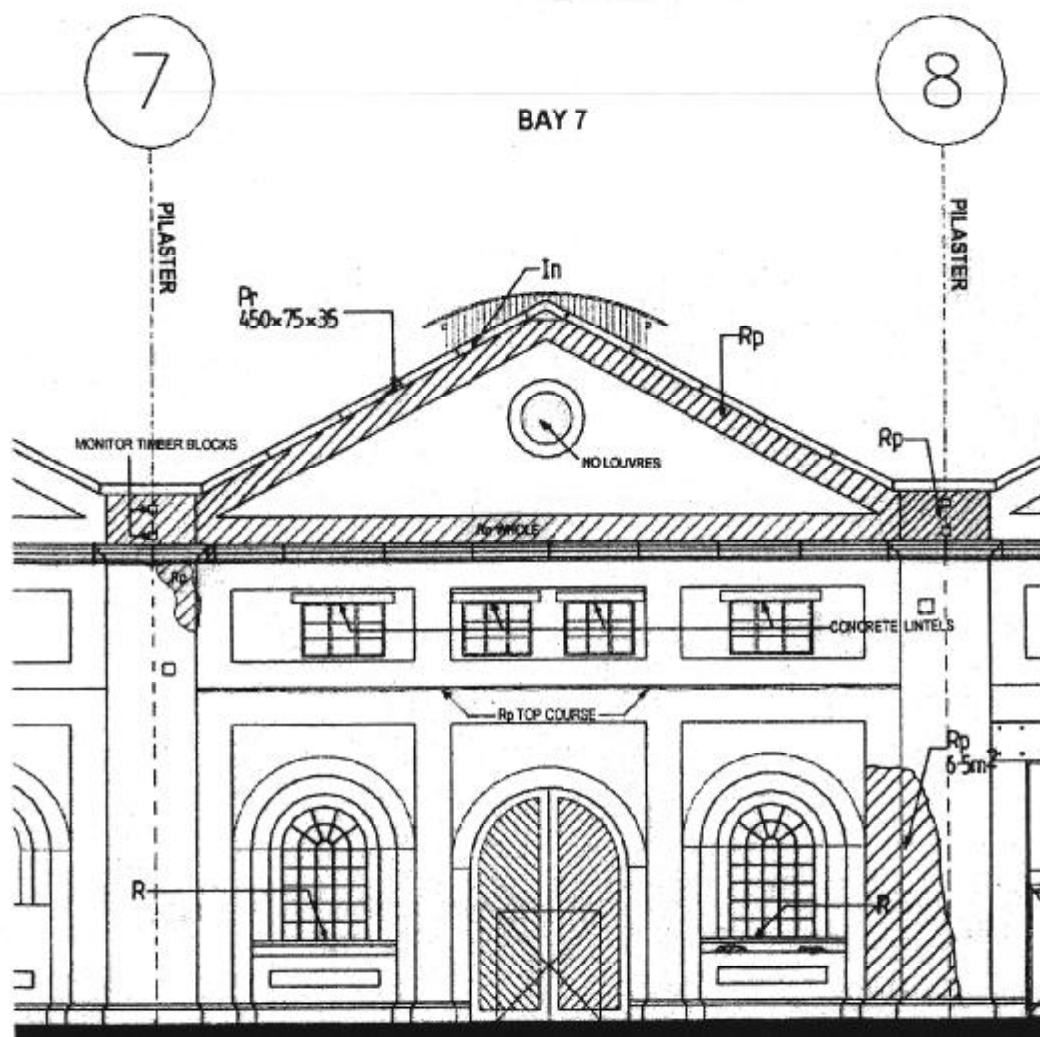


LOCATION Bay 7/6 north

RECORD # 7

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK   ☒ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 7

Bay 7/6 north

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

<input checked="" type="checkbox"/> R replace stone	<input checked="" type="checkbox"/> In Inject crack with epoxy mixture
<input type="checkbox"/> I Indent stone	<input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert
<input type="checkbox"/> H Hairline jointed stone insert	<input type="checkbox"/> Tme To match existing
<input checked="" type="checkbox"/> Rp Re point	<input type="checkbox"/> Zac New Zincalume capping to replace corroded capping
<input type="checkbox"/> Ci Corroded insert, remove and epoxy patch	<input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep
<input type="checkbox"/> Ps Small epoxy patch	<input type="checkbox"/> MS Make safe by removing loose stone
<input checked="" type="checkbox"/> Pr Patch stone with reinforcement	<input type="checkbox"/> Pb Patch brickwork
<input type="checkbox"/> IB Insert Brick	<input type="checkbox"/> Rb Reconstruction of brick surface of wall
<input type="checkbox"/> Es Mortar fill joint, elastometric sealant and backing rod to top	<input type="checkbox"/> Ot Other, see 'Notes'

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 7/6 north

Record # 7

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint brickwork and reinstate louvres. Light wash.	
STONework					
coping	S1	C2	R3	Patch coping as indicated in drawing.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C1	R3	Repoint entire rim. Light wash as required.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C1	R3	Reinstate louvres, funds permitting.	
UPPER WALL					
STONework					
cornice	S1	C2	R3	Patch stone with reinforcement as indicated.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C3	R1		
LOUVRES	S1	C1	R3	Replace broken and missing glass louvres.	
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint top course. Generally repoint & light wash as	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C1	R3	Replace sills.	
plinth	S1	C3	R1	Re horizontal joints.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1	Door reinstated in 1995.	Done

Record # 7

Bay 7/6 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C3	R1	Els joints	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R1	Monitor significant metal fittings. Rust proof if required.	
PILASTER					
STONEMWORK					
coping	S1	C3	R1	Light wash and repoint as required.	
cornice	S1	C3	R1	Light wash and repoint as required.	
plinth	S1	C3	R1	Light wash and repoint as required.	
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet	
body	S1	C2	R3	Repoint as indicated in line drawing.	
down pipes	N/A				
inserts	Nil				
END PILASTER					
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S3	C1	R2	Splintered timber bracket requires urgent attention. See photo.	URGENT
OTHER 2					
OTHER 3					

## COMMENTS

Bay 7/6 north

Record # 7

Record # 8

Bay 8/7 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S2	C3	R1		
THRESHOLD	S1	C2	R3	Els joints.	
TIMBER FRAMED WALL	S1	C3	R1	Recently painted.	
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor steel traverser beam. Rust proof if required.	Interpret
PILASTER					
STONEMWORK					
coping	S1	C3	R1		
cornice	S1	C2	R3	Repoint as indicated. Els horizontal joints.	
plinth	S1	C3	R1	Light wash and repoint as required.	
inserts	S3	C1	R3	Remove corroded insert and patch stone (shown on	
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet	
body	S1	C2	R3	Insert brick and repoint body as indicated. Light wash.	
down pipes	N/A				
inserts	S1	C3	R1	Monitor timber inserts.	
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R2	Cement weathering to brick panel over beam, see below	URGENT
OTHER 2					
OTHER 3					

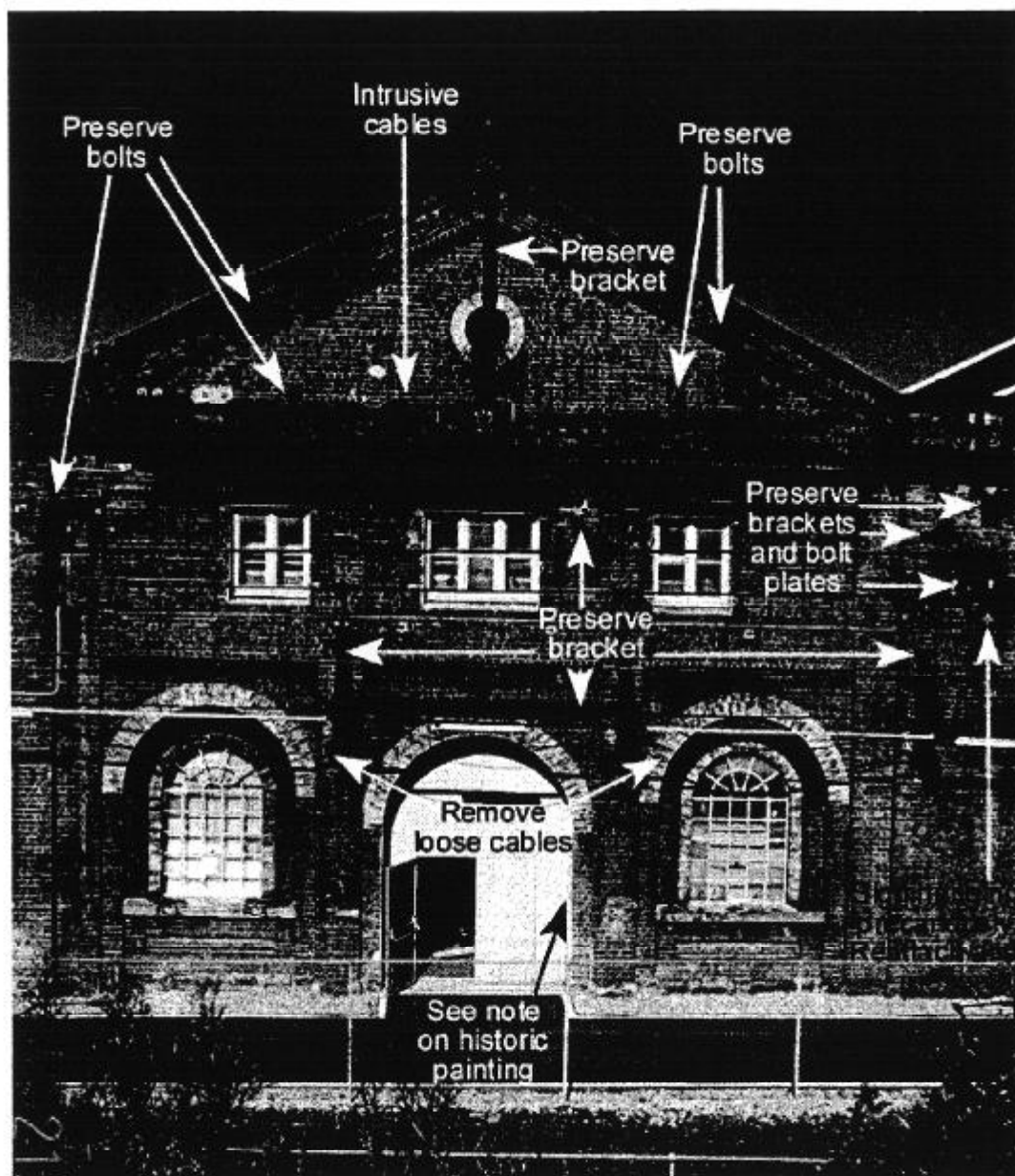
## COMMENTS

Bay 8/7 north

Record # 8

This bay originally had a traverser in it and the large steel beam was to form a large opening through which the traverser moved. In the similar Carriage Workshops Building, on the opposite side of the railway line, the top of the beam is severely rusted. This is not evident here but the top of the beam should be monitored. The deterioration in the other building is believed to be because of the deterioration of the cement weathering at the base of the brick panel above. This allowed water to enter the wall and lay on top of the beam causing it to rust. It is recommended that this weathering be repaired throughout this building but in particular in the traverser bays where there is a risk to the beam.



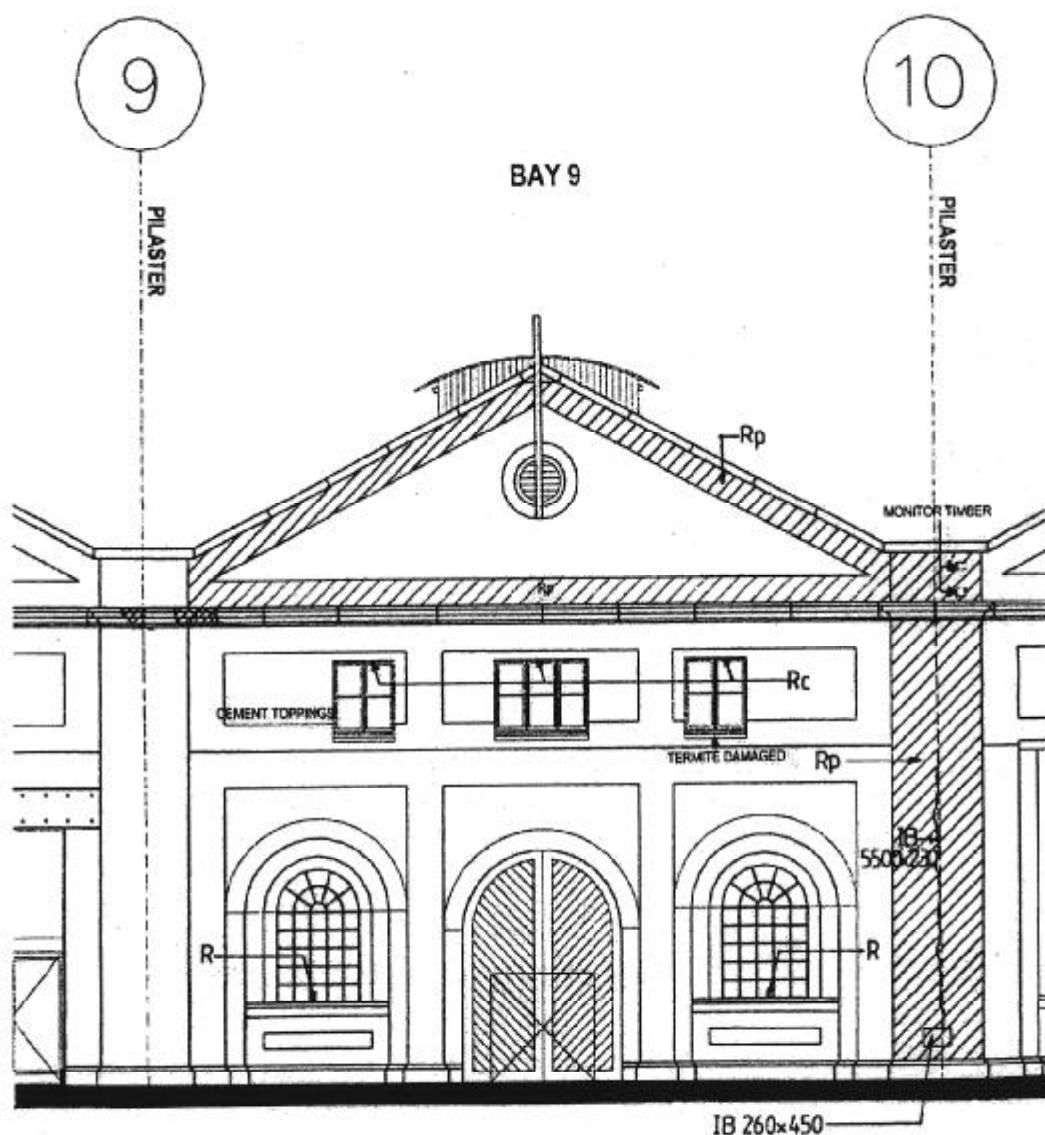


LOCATION Bay 9/8 north

RECORD # 9

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input checked="" type="checkbox"/> NORTH |
| <input type="checkbox"/> ROW            | <input type="checkbox"/> SOUTH            |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK   ☒ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 9

Bay 9/8 north

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                              |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input type="checkbox"/> In Inject crack with epoxy mixture                                  |
| <input type="checkbox"/> I Indent stone                                                     | <input checked="" type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                               |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping               |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep                  |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                                |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                                  |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                          |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                               |



Bay 16/15 north

Record # 16

## COMMENTS

The corroded pipes are significant as they are part of the operation of the place as a railway workshop. However they are severely corroded. They should be assessed in detail and preferably preserved.

See photograph for further recommendations for preservation and interpretation, particularly paint remnants and the timber seating along wall. Reconstruction not required but interpretation is recommended.

If the replacement or indenting of coping or cornice stones as recommended does not proceed then these stone should be monitored and made safe at least every two years. This is a matter of public safety.

Record # 16

Bay 16/15 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Mortar fill and els top of horizontal stone joint	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R3	Apply rust converter to steel brackets for length of building	
PILASTER	S1	C2	R3	General repair required. See drawing.	
STONEMWORK					
coping	S1	C3	R1		
cornice	S1	C3	R1	Mortar fill and els top of horizontal stone joint	
plinth	S1	C2	R3	Plinth severely exfoliating, immediate attention required.	
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint as indicated.	
body	S1	C2	R3	Patch & insert brick indicated. Light wash, repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORK					
coping	N/A				
cornice	N/A				
plinth	S4				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R2	Corroded pipes require urgent attention.	URGENT
OTHER 2	S4	C3	R3	Remove intrusive pipes, cables & brackets.	Intrusive
OTHER 3	S4	C2	R3	Remove metal sheet from bracket on plaster. Preserve bracket	

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

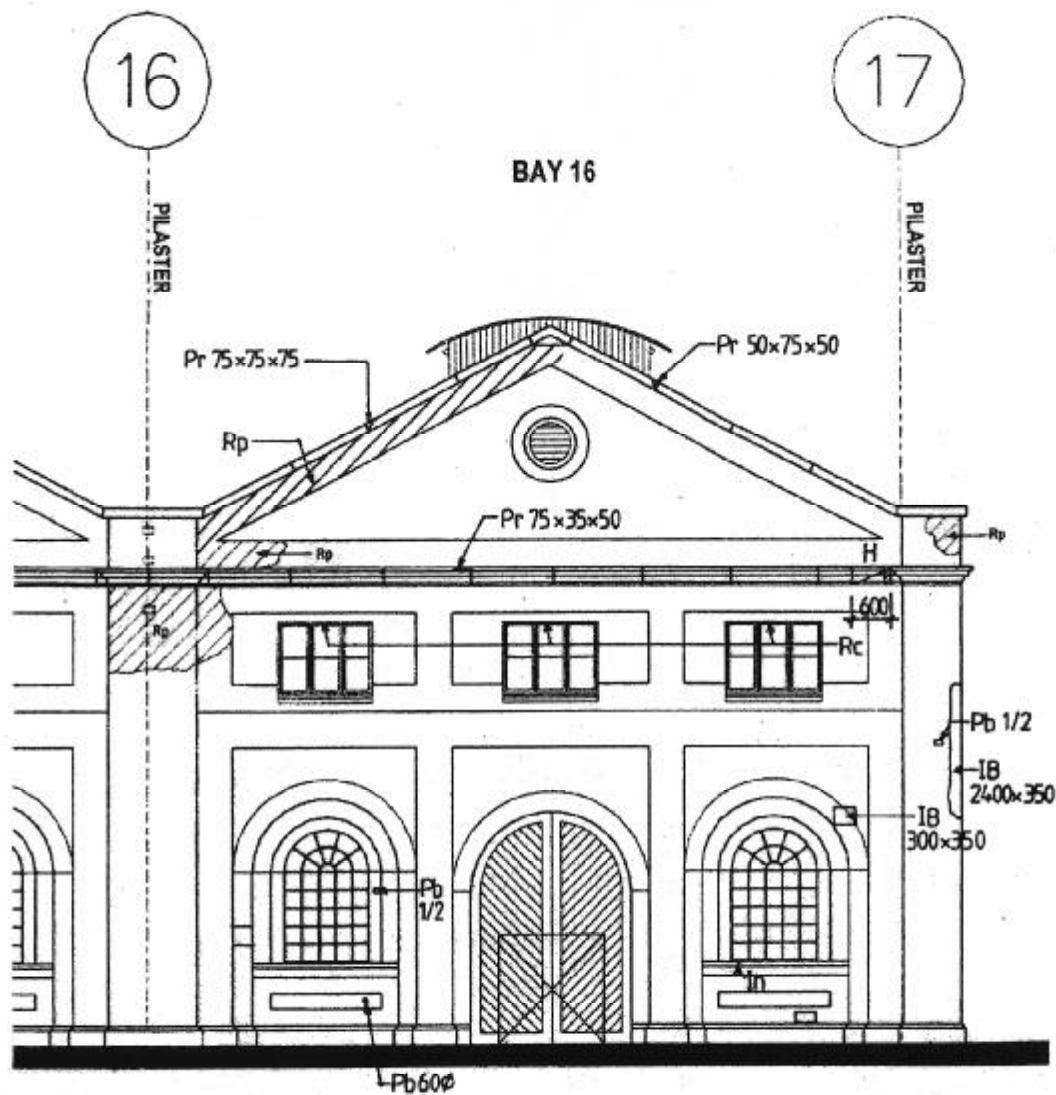
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 16/15 north

Record # 16

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3		
STONework					
coping	S1	C2	R3	Patch with reinforcement as indicated in drawing.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C2	R3	Repoint rim as indicated.	
panels	S1	C2	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve historic metal fixings as indicated.	
BULLSEYE	S1	C2	R3	Reinstate louvres, funds permitting.	
UPPER WALL	S1	C2	R3		
STONework					
cornice	S1	C2	R3	Repair cornice where indicated in drawing.	
BRICKWORK					
rims	S1	C2	R3	Repoint where indicated. Light wash.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve all porcelain inserts.	
WINDOWS	S1	C2	R3	Apply rust converter to window heads.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C2	R3	Insert brick, patch as noted in drawing. Light wash as	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C2	R3	Patch brick. Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C2	R3	Mortar fill & els stone joint. Repair crack as noted in drawing.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(s)	S1	C3	R1		

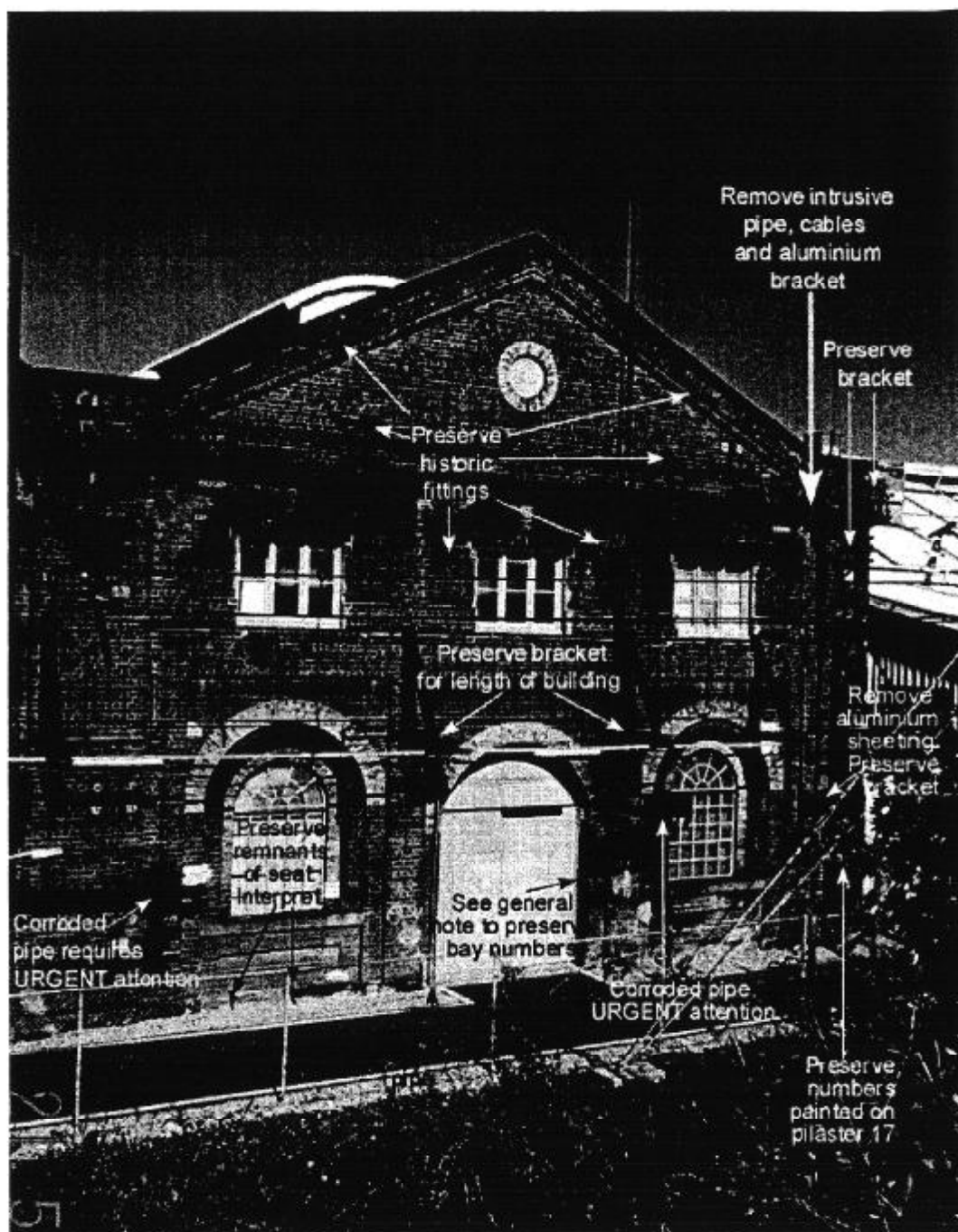


Record # 16

Bay 16/15 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input checked="" type="checkbox"/> H Hairline jointed stone insert                         | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> C Corroded insert, remove and epoxy patch                          | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input checked="" type="checkbox"/> Pb Patch brickwork                            |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |



LOCATION Bay 16/15 north

RECORD # 16

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☐ HP [HIGH PRIORITY] ☒ INTRUSIVE ☐ INTERPRET



Bay 15/14 north

Record # 15

## COMMENTS

The corroded pipes are significant as they are part of the operation of the place as a railway workshop. However they are severely corroded. They should be assessed in detail and preferably preserved.

Record # 15

Bay 15/14 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C2	R1		
THRESHOLD	S1	C2	R3	Mortar fill and els top of horizontal stone joint	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Apply rust converter to steel brackets for length of building.	
PILASTER	S1	C3	R1		
STONWORK					
coping	S1	C3	R1	Light wash and repoint as required.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet.	
body	S1	C2	R3	Repoint as indicated. Light wash.	
down pipes	N/A				
inserts	S2	C3	R1	Monitor timber blocks. Preserve historic fittings. See photo.	
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R2	Corroded pipe requires urgent attention.	URGENT
OTHER 2					
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

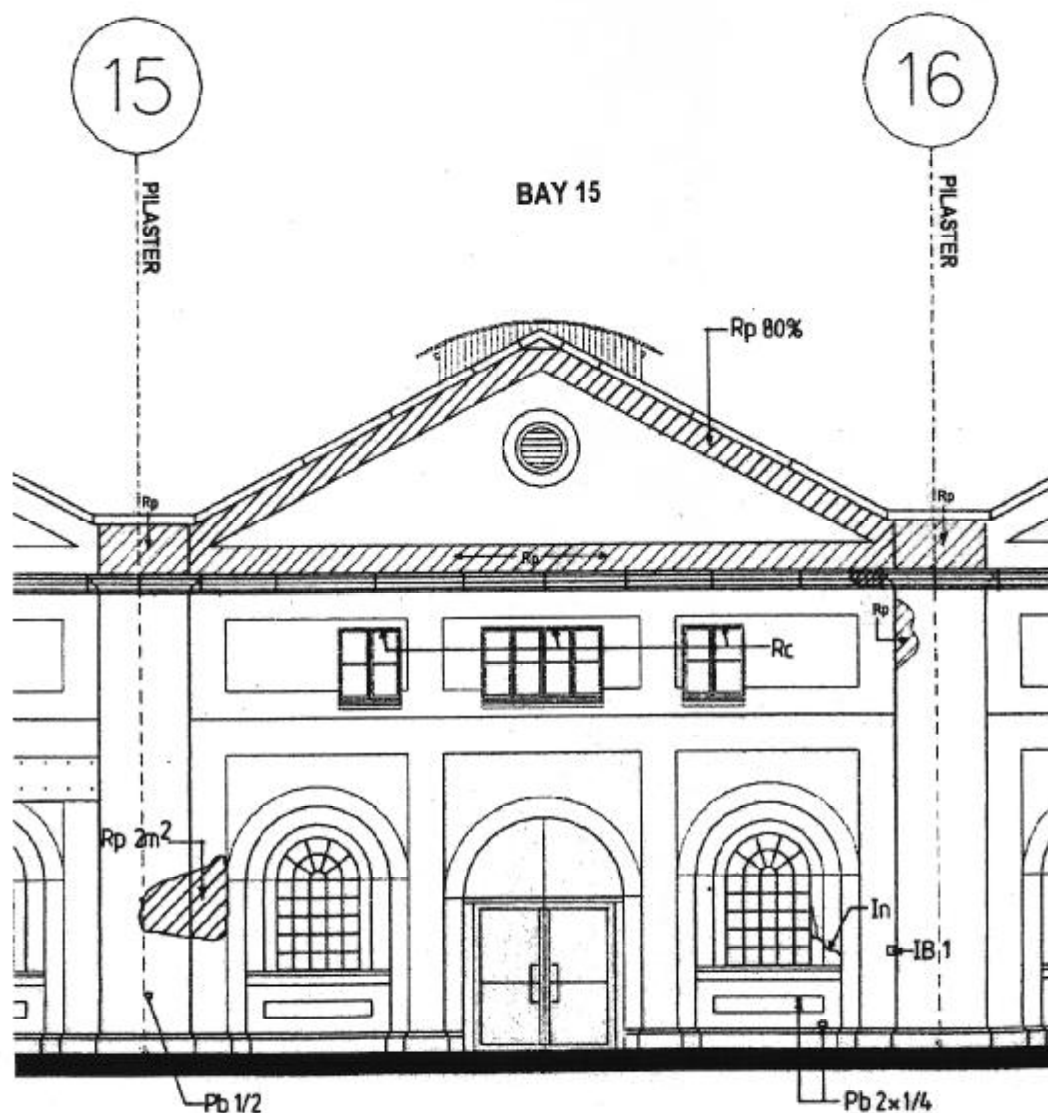
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 15/14 north

Record # 15

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Major repointing of rim. Fill & els joints. Light wash	HP
STONework					
coping	S1	C3	R1		
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C1	R3	Repoint entire rim. See drawing.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C1	R3	Clean up dripped paint. Reinstate louvres.	
UPPER WALL					
STONework					
cornice	S1	C2	R3	Patch gap with reinforcement. Fill & els joint.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C2	R3	Apply rust converter to window heads as indicated.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint as indicated. Light wash.	
arches	S1	C2	R3	Repair large crack in arch. Inject with epoxy mixture	HP
panels	S1		R1	Light wash and repoint as required.	
panel under sill	S1	C2	R3	Repair crack. Patch brick. Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C2	R3	Mortar fill and els top of horizontal stone joint	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(s)	S3	C3	R1	New glazed door added 1995.	



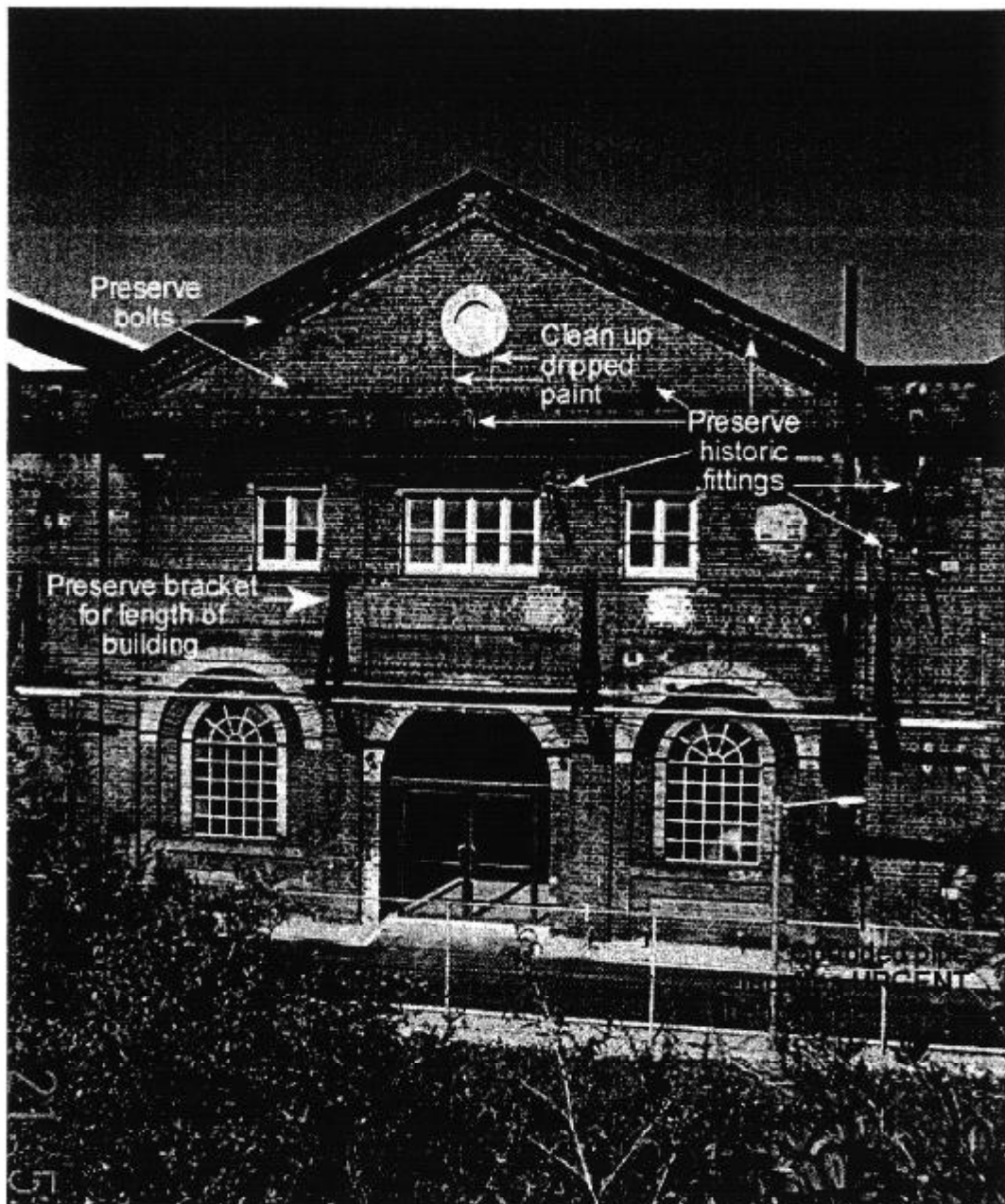
Record # 15

Bay 15/14 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R replace stone
- ☐ I Indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☐ C Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☐ Pr Patch stone with reinforcement
- ☒ IB Insert Brick
- ☐ Eis Mortar fill joint, elastometric sealant and backing rod to top

- ☒ In Inject crack with epoxy mixture
- ☒ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Trme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joints 20mm deep
- ☐ M5 Make safe by removing loose stone
- ☒ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other, see "Notes"



LOCATION Bay 15/14 north

RECORD # 15

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



## COMMENTS

Bay 14/13 north

Record # 14

This bay originally had a traverser in it and the large steel beam was to form a large opening through which the traverser moved. In the similar Carriage Workshops Building, on the opposite side of the railway line, the top of the beam is severely rusted. This is not evident here but the top of the beam should be monitored. The deterioration in the other building is believed to be because of the deterioration of the cement weathering at the base of the brick panel above. This allowed water to enter the wall and lay on top of the beam causing it to rust. It is recommended that this weathering be repaired throughout this building but in particular in the traverser bays where there is a risk to the beam.

The sills are noted on the drawing to be repaired but will require replacement in the future (10 years plus).

Record # 14

Bay 14/13 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R2	Rust converter to beam & cement weathering over. See	Interpret
PILASTER	S1	C2	R3	Repoint and Els as indicated in drawing.	
STONWORK					
coping	S1	C2	R3	Mortar fill and els top of joints.	
cornice	S1	C2	R3	Mortar fill and els top of joints.	
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet. See drawing for Bay 15 North.	
body	S1	C2	R3	Repoint and patch brick as indicated in Bay 15 North.	
down pipes	N/A				
inserts	S2	C3	R1	Monitor timber block inserts.	
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3	R1	Preserve the numbers painted on the lower panel, near pilaster.	Interpret
OTHER 2	S1	C2	R3	Apply rust converter to steel brackets for length of building.	
OTHER 3	S1	C3	R1	Preserve timber pulley system (electrical insulators).	Interpret

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

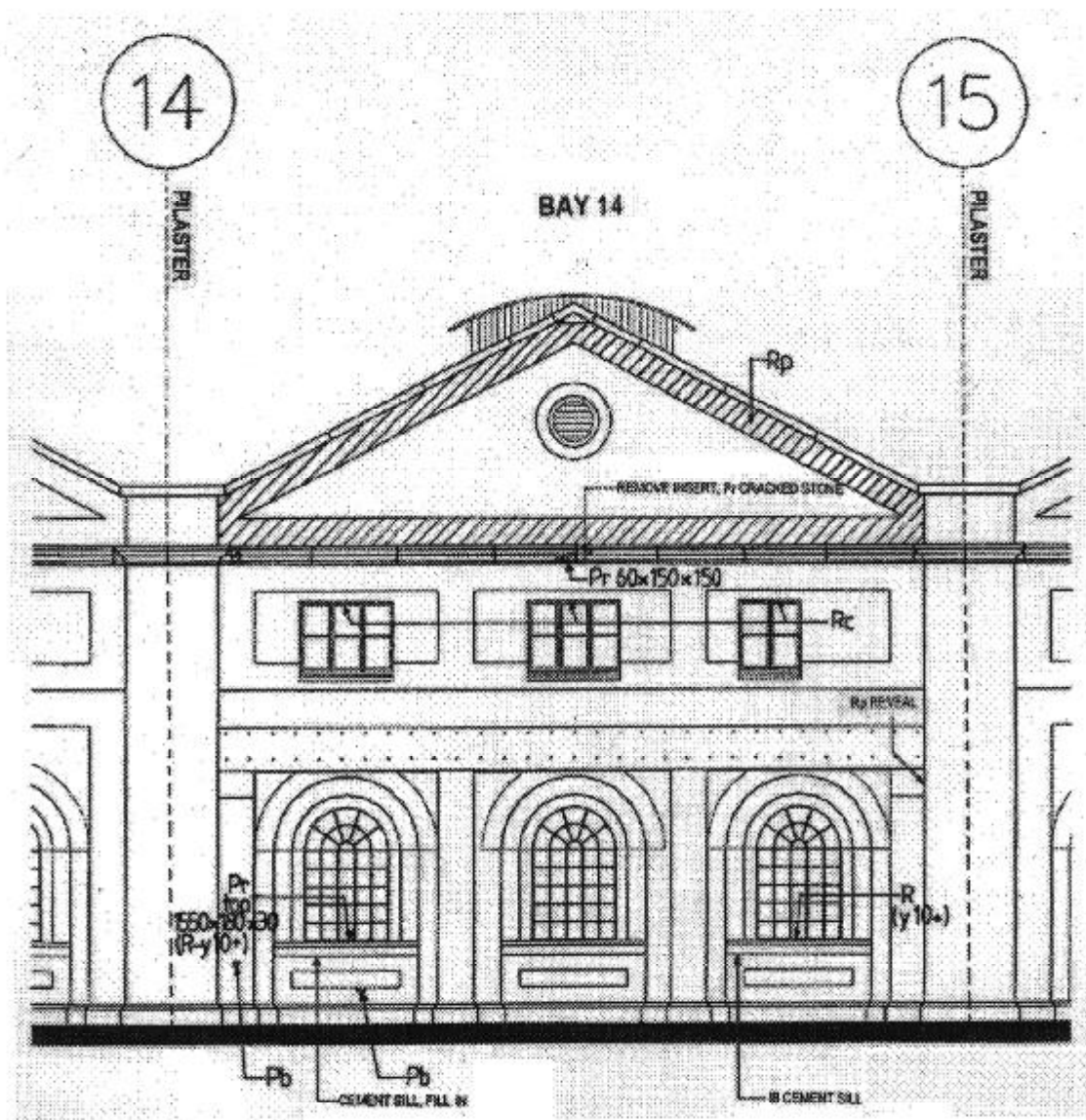
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 14/13 north

Record # 14

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Major repointing of rim. Light wash.	
STONEWORK					
coping	S1	C3	R1	Light wash and repoint as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rim	S1	C1	R3	Repoint entire rim.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C2	R3	Remove cables from porcelain inserts and preserve. Do not	
BULLSEYE	S1	C2	R3	Reinstate louvres	
UPPER WALL	S1	C2	R1		
STONEWORK					
cornice	S1	C2	R3	Patch gaps with reinforcement. Remove insert where	
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve porcelain inserts.	
WINDOWS	S1	C2	R3	Apply rust converter to window heads as indicated.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Patch brick as indicated. Light wash and repoint as required.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	N/A				
panel under sill	S1	C3	R1	Patch brick where indicated.	
inserts	N/A				
STONEWORK					
window sills	S1	C1	R3	See drawing. Patch, replace, fill as indicated. Fill & els joints	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
Door(s)	N/A				



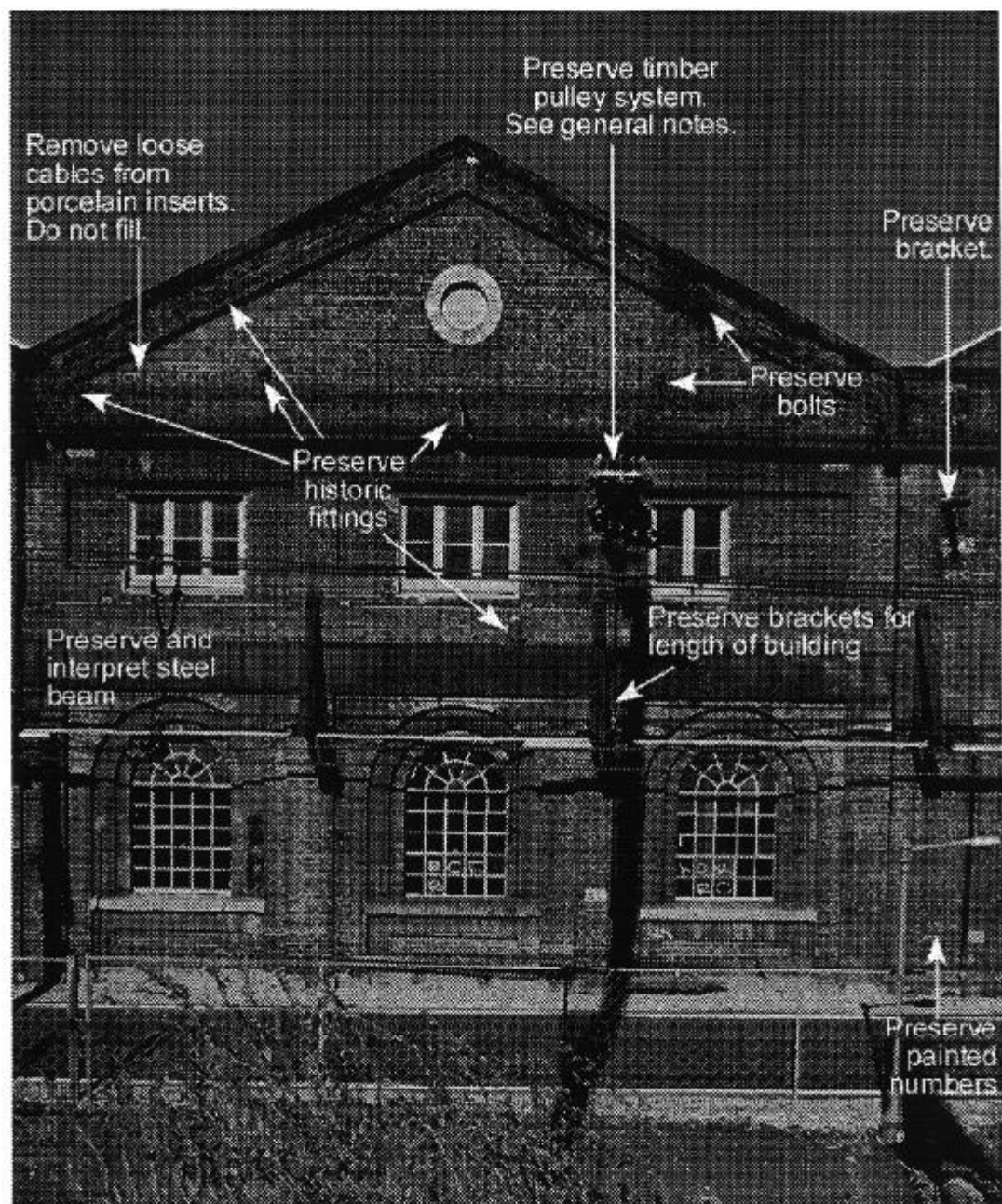
Record # 14

Bay 14/13 north

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- ☒ R replace stone
- ☐ I Indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☐ C Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☒ Pr Patch stone with reinforcement
- ☒ IB Insert Brick
- ☐ Bs Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☐ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☒ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other, see "Notes"



LOCATION Bay 14/13 north

RECORD # 14

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☒ INTERPRET



Bay 13/12 north

Record # 13

## COMMENTS

Remnant seating in good condition on this bay. Consider historical interpretation.

Preserve remnant paint of bay numbers in consultation with a specialist. Consider historical interpretation.

The sills are noted on the drawing to be repaired but will require replacement in the future (10 years plus).

Record # 13

Bay 13/12 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Mortar fill and els joint.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor metal fixings. Rust proof as required.	
PILASTER	S1	C3	R1		
STONEMWORK					
coping	S1	C3	R1		
cornice	S1	C2	R3	Repair crack with epoxy injection.	
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet.	
body	S1	C2	R3	Insert bricks and repoint as indicated. Light wash.	HP
down pipes	N/A				
inserts	S2	C3	R1	Monitor timber block inserts.	
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R1	Monitor timber seating for further deterioration.	Interpret
OTHER 2					
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

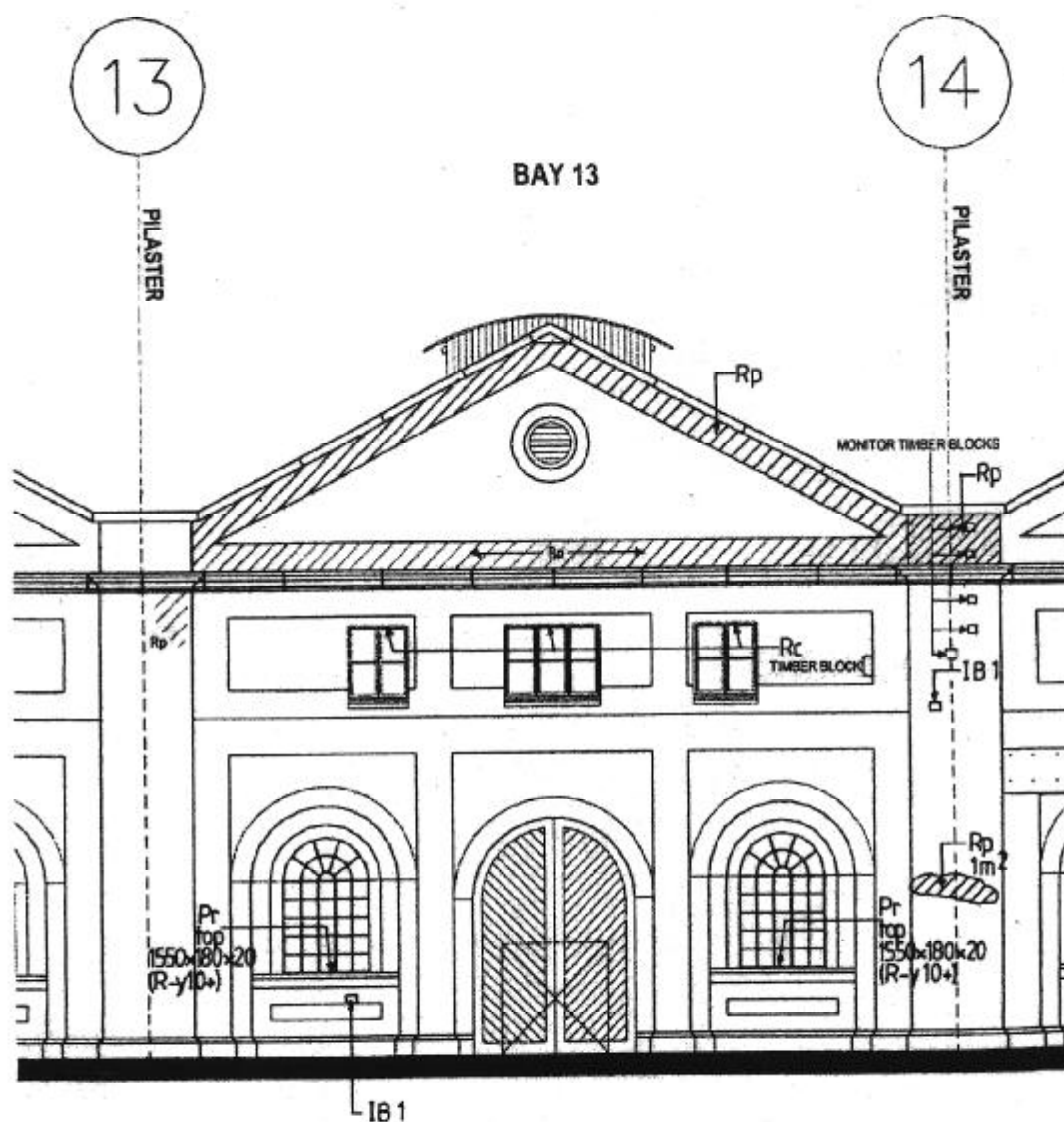
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 13/12 north

Record # 13

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3		
STONework					
coping	S1	C3	R1		
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C1	R3	Repoint entire rim.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C1	R3	Reinstate louvres.	
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONework					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C2	R1	Preserve porcelain inserts. Do not fill. Monitor timber block.	
WINDOWS	S1	C2	R3	Apply rust converter to window heads	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Insert bricks where indicated.	
inserts	N/A				
STONework					
window sills	S1	C1	R3	Patch stone with reinforcement. Mortar fill and els joint.	
plinth	S1	C2	R3	Patch large gap in plinth under window. Mortar fill & els	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(s)	S1	C3	R1	Timber gate reinstated in 1995.	done

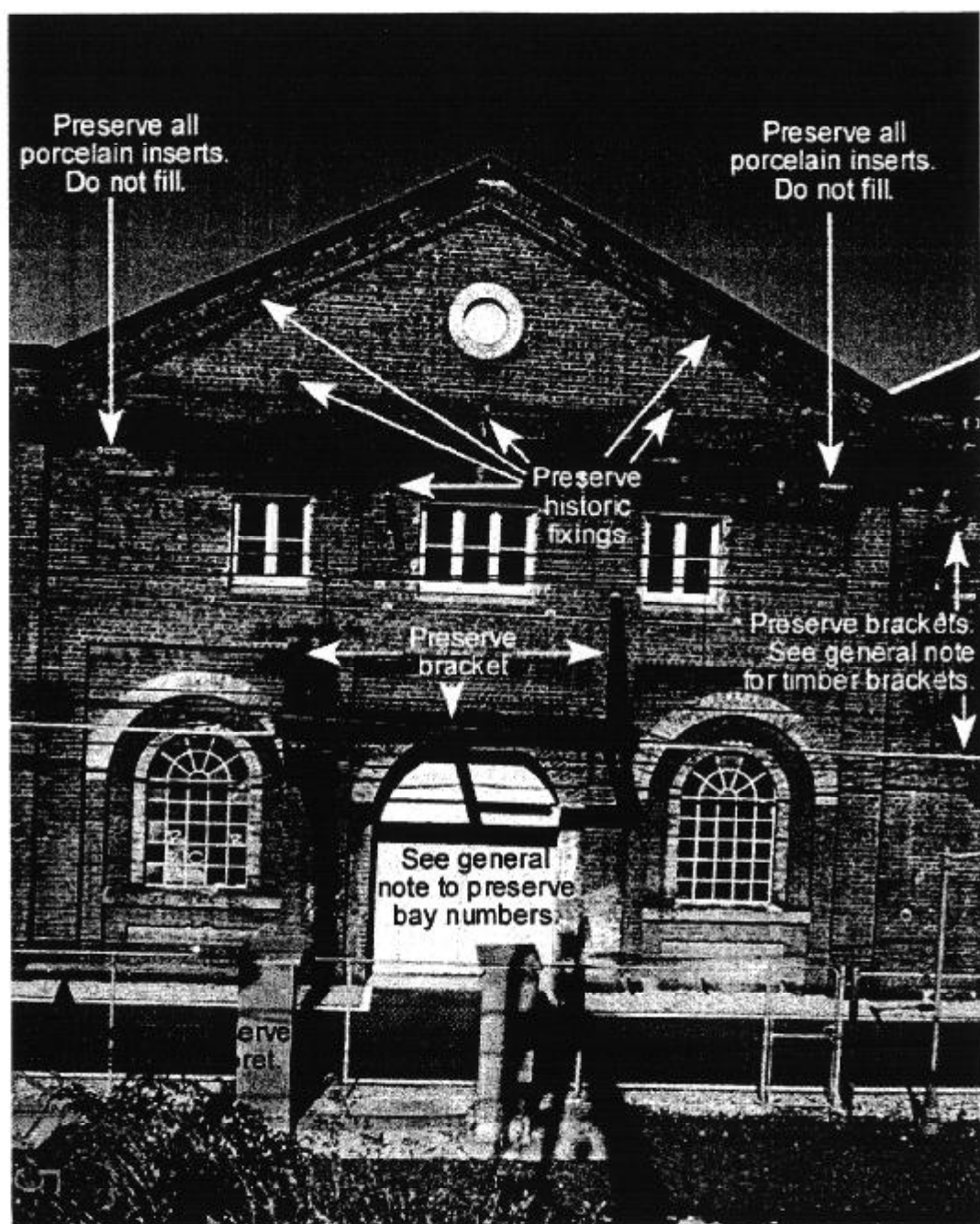


Record # 13

Bay 13/12 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                              |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                                  |
| <input type="checkbox"/> I Indent stone                                                     | <input checked="" type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                               |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping               |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep                  |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                                |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input type="checkbox"/> Pb Patch brickwork                                                  |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                          |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                               |



LOCATION Bay 13/12 north

RECORD # 13

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☒ INTERPRET



Bay 12/11 north

Record # 12

## COMMENTS

The sills are noted on the drawing to be repaired but will require replacement in the future (10 years plus).

Record # 12

Bay 12/11 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C2	R3	Remove graffiti	
THRESHOLD	S1	C2	R3	Mortar fill and els joint	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor steel brackets for corrosion. Rust proof if required.	Interpret
PILASTER					
STONWORK					
coping	S1	C3	R1	Mortar fill and els joint.	
cornice	S1	C3	R1		
plinth	S1	C2	R3	Plinth exfoliating. Mortar fill and els joint. Desalinate?	
inserts	S1	C3	R1	Monitor timber block inserts for termites and corrosion	
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet.	
body	S1	C2	R3	Repoint as indicated on drawing. Light wash.	HP
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R3	Attempt to stabilise and preserve historic sign on plaster.	
OTHER 2	S1	C2	R1	Monitor historic fittings for rust and stability.	
OTHER 3					

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

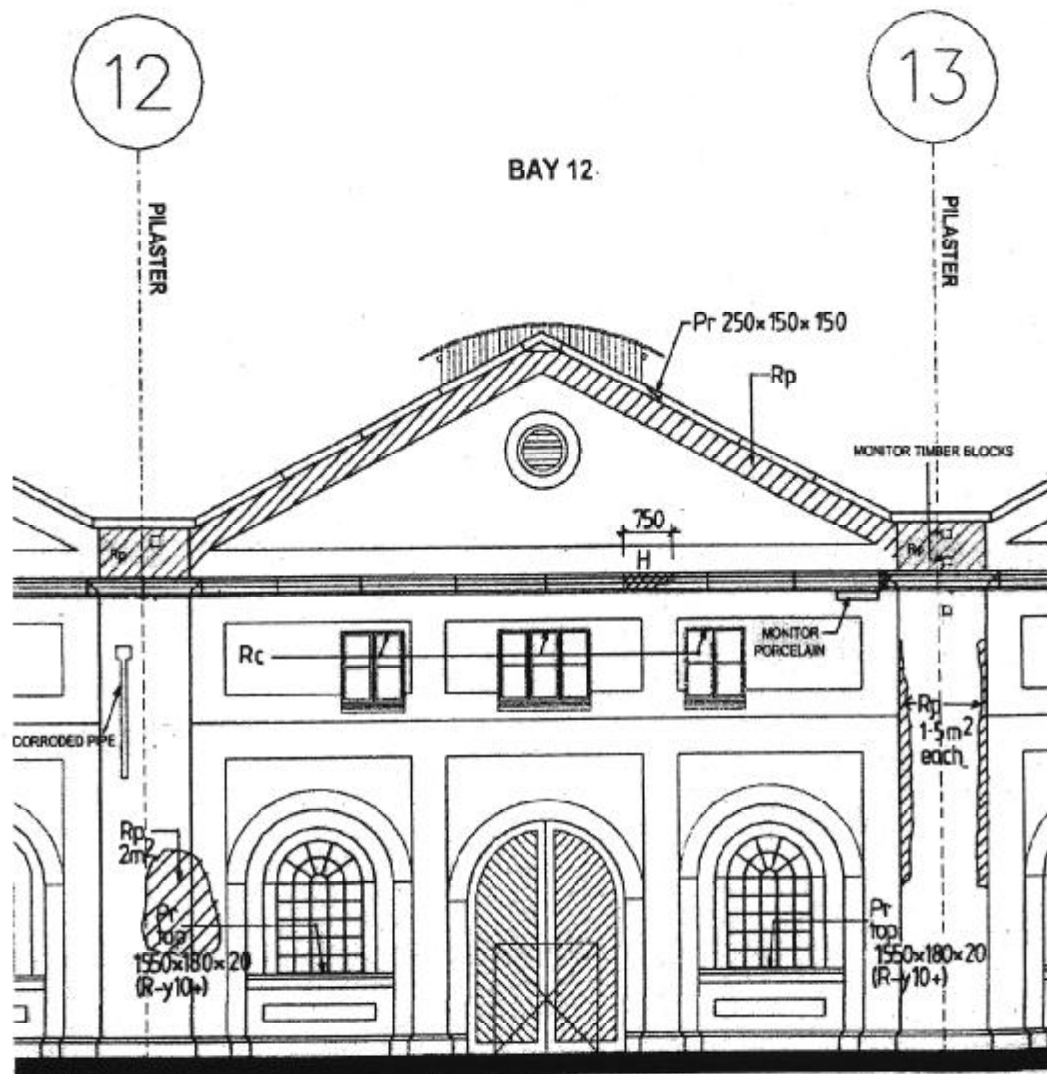
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 12/11 north

Record # 12

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Major repointing required. Light wash.	
STONework					
coping	S1	C3	R1	Light wash and repoint as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C2	R3	Repoint whole top of rim	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve porcelain inserts. Do not fill.	
BULLSEYE	S1	C2	R3	Reinstate louvres	
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONework					
cornice	S1	C2	R3	Patch and replace stone where damaged. See drawing.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve porcelain inserts on rim. Do not fill.	
WINDOWS	S1	C2	R3	Apply rust converter to window heads.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R3	Repoint where shown. Light wash, repoint as required.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C2	R3	Patch sill with reinforcement. Mortar fill and els joint	
plinth	S1	C2	R3	Plinth exfoliating. Mortar fill and els joint.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1	Timber gate reinstated 1995.	

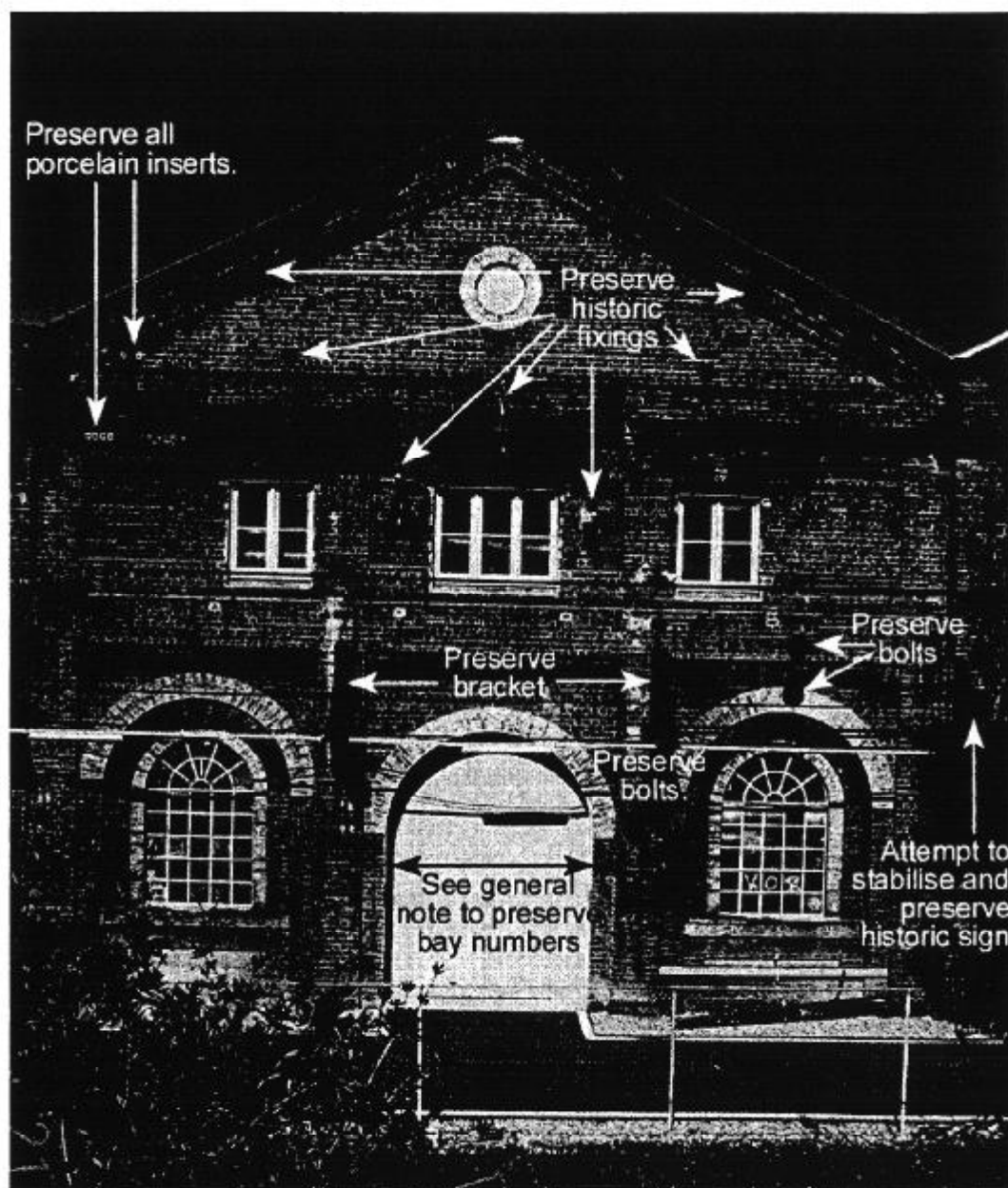


Record # 12

Bay 12/11 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                              |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In inject crack with epoxy mixture                                  |
| <input type="checkbox"/> I indent stone                                                     | <input checked="" type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input checked="" type="checkbox"/> H Hairline jointed stone insert                         | <input type="checkbox"/> Tme To match existing                                               |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping               |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep                  |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                                |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input type="checkbox"/> Pb Patch brickwork                                                  |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                          |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                               |



LOCATION Bay 12/11 north

RECORD # 12

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



## COMMENTS

Bay 9/8 north

Record # 9



## COMMENTS

Bay 11/10 north

Record # 11

One of the sills is noted on the drawing to be repaired but it will require replacement in the future (10 years plus).

Record # 11

Bay 11/10 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C2	R3	Strip graffiti	
THRESHOLD	S1	C3	R1	Mortar fill and els joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor steel fittings. Rust proof as required.	
PILASTER	S1	C3	R1		
STONWORK					
coping	S1	C3	R1		
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	S1	C3	R1	Monitor timber inserts.	
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet.	
body	S1	C2	R3	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONWORK					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C1	R3	Strip white paint to reveal bay numbers in doorway. Consult specialist	
OTHER 2					
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

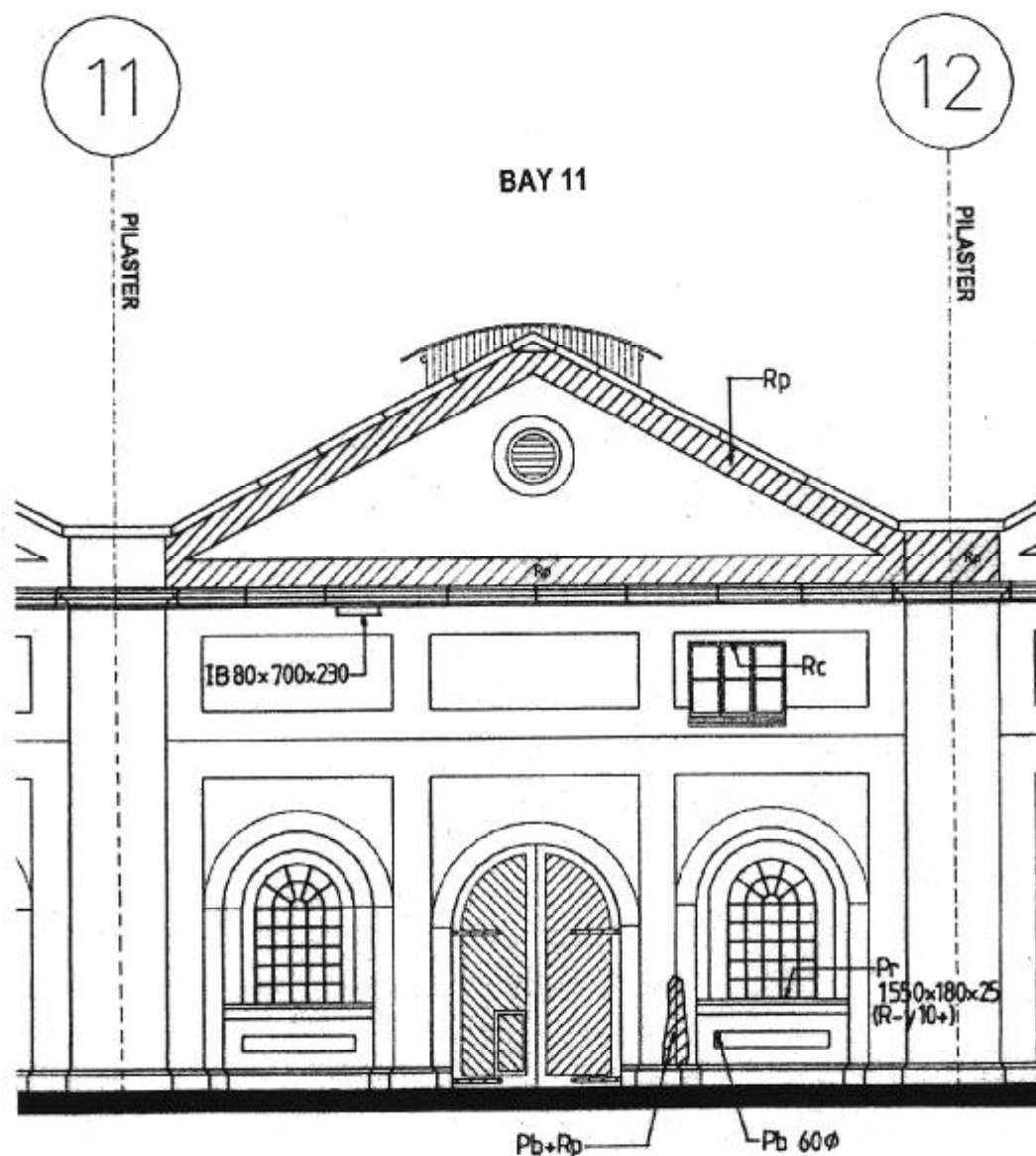
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 11/10 north

Record # 11

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3		
STONework					
coping	S1	C2	R3	Patch as indicated. Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C1	R3	Repoint entire rim.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve porcelain inserts. Do not fill.	
BULLSEYE	S1	C2	R3	Reinstate louvres as funding permits.	
UPPER WALL					
STONework					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S2	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve porcelain inserts in rim and panel.	
WINDOWS	S1	C2	R3	Apply rust converter to window heads.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C1	R3	Patch and repoint brick.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C1	R3	Patch stone with reinforcement. Els and mortar fill joints.	
plinth	S1	C3	R1	Light wash and repoint as required.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1	Door reinstated 1995.	Done

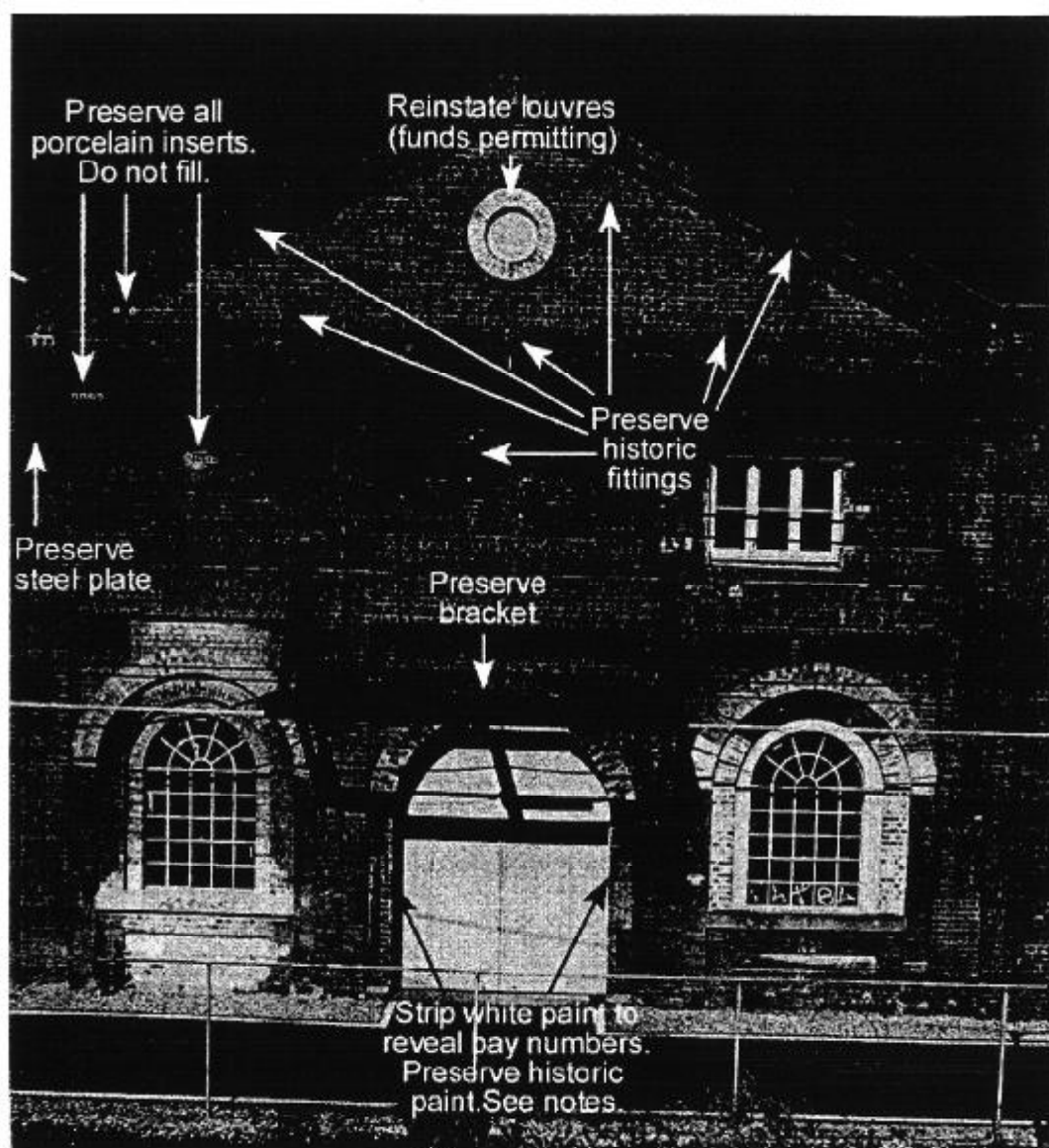


Record # 11

Bay 11/10 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

<input type="checkbox"/> R replace stone	<input type="checkbox"/> In Inject crack with epoxy mixture
<input type="checkbox"/> I Indent stone	<input checked="" type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert
<input type="checkbox"/> H Hairline jointed stone insert	<input type="checkbox"/> Tme To match existing
<input checked="" type="checkbox"/> Rp Re point	<input type="checkbox"/> Zac New Zincalume capping to replace corroded capping
<input type="checkbox"/> Ci Corroded insert, remove and epoxy patch	<input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep
<input type="checkbox"/> Ps Small epoxy patch	<input type="checkbox"/> MS Make safe by removing loose stone
<input checked="" type="checkbox"/> Pr Patch stone with reinforcement	<input checked="" type="checkbox"/> Pb Patch brickwork
<input checked="" type="checkbox"/> IB Insert Brick	<input type="checkbox"/> Rb Reconstruction of brick surface of wall
<input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top	<input type="checkbox"/> Ot Other, see "Notes"



LOCATION Bay 11/10 north

RECORD # 11

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



## COMMENTS

Bay 10/9 north

Record # 10

Record # 10

Bay 10/9 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRILL	S1	C2	R3	Replace broken glass	
THRESHOLD	S1	C2	R3	Mortar fill and els joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor brackets for corrosion. Rust proof if required.	
PILASTER	S1	C3	R1		
STONEWORK					
coping	S1	C3	R1	Mortar fill and els top side of joints.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet	
body	S1	C3	R1	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S2	C3	R1	Monitor significant brackets, particularly on pilaster.	
OTHER 2					
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

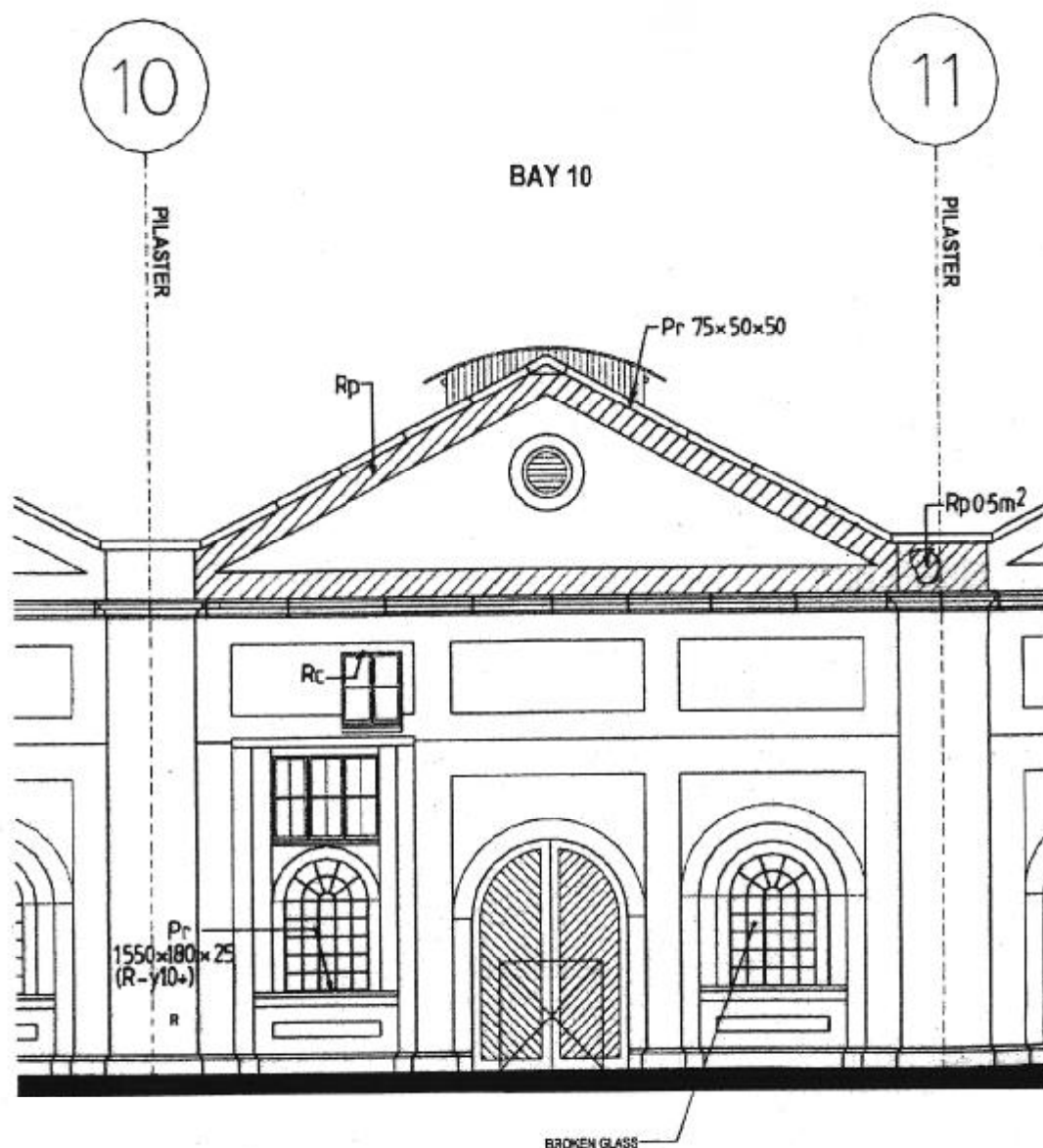
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 10/9 north

Record # 10

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Major repointing required.	
STONWORK					
coping	S1	C3	R1		
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C1	R3	Repoint entire rim.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C2	R3	Remove loose cables from porcelain inserts. Do not fill.	
BULSEYE	S1	C1	R3	Reinstate louvres as funds permit.	
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C2	R3	Apply rust converter to corroding metal window heads.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONWORK					
window sills	S1	C2	R3	Patch with reinforcement. Els and mortar fill joints.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S1	C3	R1	Timber gate reinstated 1995.	Done

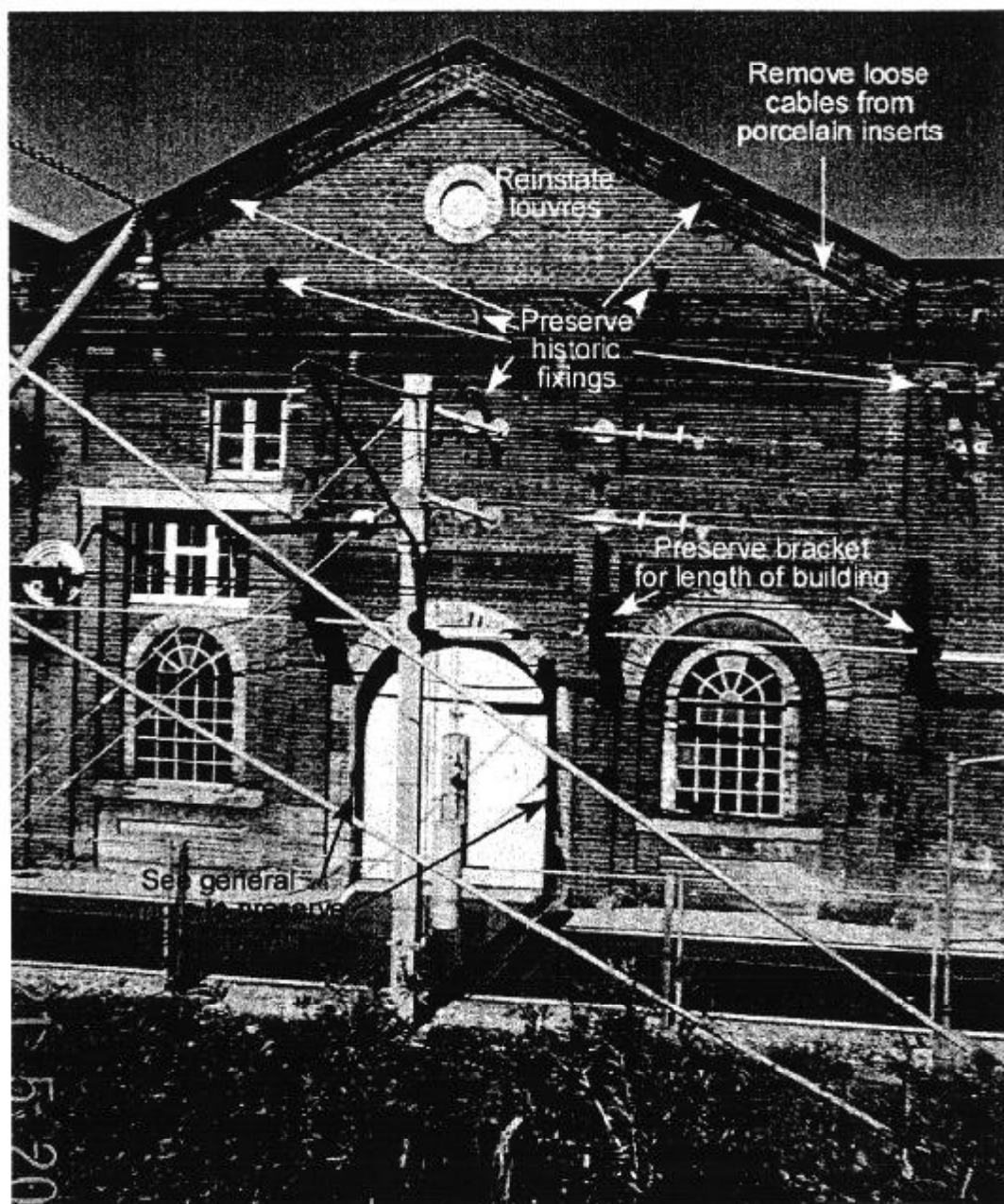


Record # 10

Bay 10/9 north

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

<input type="checkbox"/> R	replace stone	<input type="checkbox"/> In	Inject crack with epoxy mixture
<input type="checkbox"/> I	indent stone	<input checked="" type="checkbox"/> Rc	Apply rust-converter to corroded ferrous metal insert
<input type="checkbox"/> H	Hairline jointed stone insert	<input type="checkbox"/> Tme	To match existing
<input checked="" type="checkbox"/> Rp	Re point	<input type="checkbox"/> Zac	New Zincalume capping to replace corroded capping
<input type="checkbox"/> C	Corroded insert, remove and epoxy patch	<input type="checkbox"/> Rv	Remove vegetation and rake out joints 20mm deep
<input type="checkbox"/> Ps	Small epoxy patch	<input type="checkbox"/> MS	Make safe by removing loose stone
<input checked="" type="checkbox"/> Pr	Patch stone with reinforcement	<input type="checkbox"/> Pb	Patch brickwork
<input type="checkbox"/> IB	Insert Brick	<input type="checkbox"/> Rb	Reconstruction of brick surface of wall
<input type="checkbox"/> Els	Mortar fill joint, elastometric sealant and backing rod to top	<input type="checkbox"/> Ot	Other, see "Notes"



LOCATION Bay 10/9 north

RECORD # 10

☒ BAY  
☐ ROW  
☐ ANNEXE

☒ NORTH  
☐ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET

Record # 9

Bay 9/8 north

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Els horizontal stone joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Maintain bracket for length of building.	Interpret
PILASTER	S1	C1	R2	Major repair to brickwork required. Light wash.	URGENT
STONWORK					
coping	S1	C3	R1		
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	S1	C2	R1	Monitor timber inserts.	
BRICKWORK					
parapet	S1	C1	R3	Repoint entire parapet.	
body	S1	C1	R2	Repoint brickwork, repair crack, insert bricks as indicated.	URGENT
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S2	C2	R2	Sign on pilaster hanging precariously. Reattach immediately.	URGENT
OTHER 2	S1	C3	R1	Monitor significant metal fixings. See photo.	
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

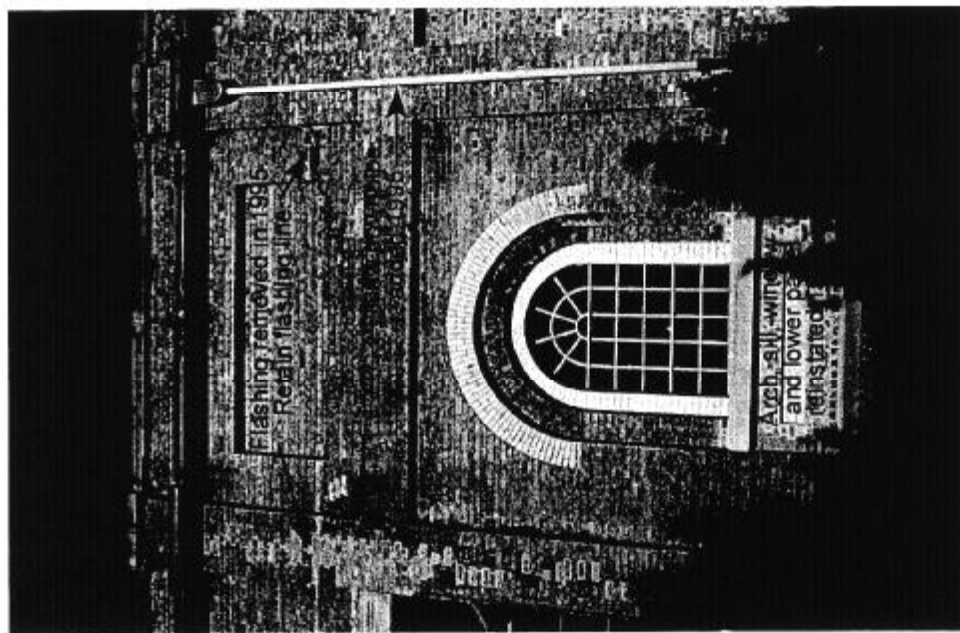
Bay 9/8 north

Record # 9

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R1		
STONWORK					
coping	S1	C3	R1		
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C1	R3	Repoint entire rim. Light wash.	HP
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C2	R1	Reinstate missing louvres. Rust proof.	
UPPER WALL	S1	C2	R1	Repoint, light wash and patch.	
STONWORK					
cornice	S1	C2	R3	Patch and reinforce damaged cornice stone.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1		
inserts	N/A				
WINDOWS	S1	C2	R3	Treat window for termite damage.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONWORK					
window sills	S1	C1	R3	Replace damaged sills.	
plinth	S1	C3	R1	Repoint horizontal stone joints	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C2	R1		
DOOR(S)	S1	C3	R1	Timber gate reinstated 1995.	

EAST WALL  
INVENTORY SHEETS





LOCATION

Row B/1-4 east

RECORD # 2

- ☐ BAY  
☒ ROW  
☐ ANNEXE
- ☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET

Record # 2

Row B/14 east

key  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - bad C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED WALL	S1	C3	R1		
THRESHOLD	N/A				
TRIANGLE FINISHED WALL	N/A				
SPRUE PIPE	N/A				
STEELWORK	N/A				
PLASTER	S1	C2	R3	Patch coping stones. Repair plinth. Ets stone joints (if not	
STONEWORK					
coping	S1	C2	R3	Patch coping as indicated.	
cornice	S1	C3	R1		
plinth	S1	C2	R3	Repair cracked plinth stone.	
masonry	N/A				
BLOCKWORK					
parapet	S1	C3	R1		
body	S1	C3	R1		
down pipes	S3	C3	R1	New downpipes added in 1995. Retain	
masonry	N/A				
END PLASTER	N/A				
STONEWORK					
coping	N/A				
cornice	N/A				
plinth	N/A				
masonry	N/A				
BLOCKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
masonry	N/A				
OTHER 1	N/A				
OTHER 2	N/A				
OTHER 3	N/A				

Row B/14 east:

Record # 2

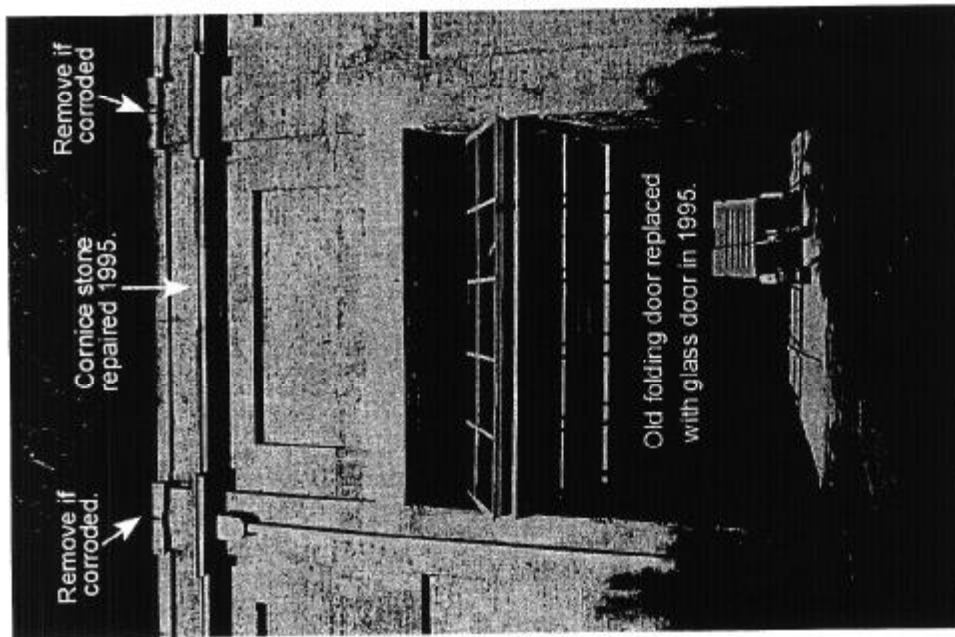
## COMMENTS

The east wall had extensive work carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to EIS horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.

New stone plinths were installed in sections of the east wall in 1995. Some of the stone is already cracked and exfoliating. The cause of this is not known but is likely to be inferior stone or chemical treatment to the stone at the time of installation. This needs further investigation.





LOCATION Row C/13 east

RECORD # 3

☐ BAY  
☒ ROW  
☐ ANNEXE  
☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET

Row C/13 east

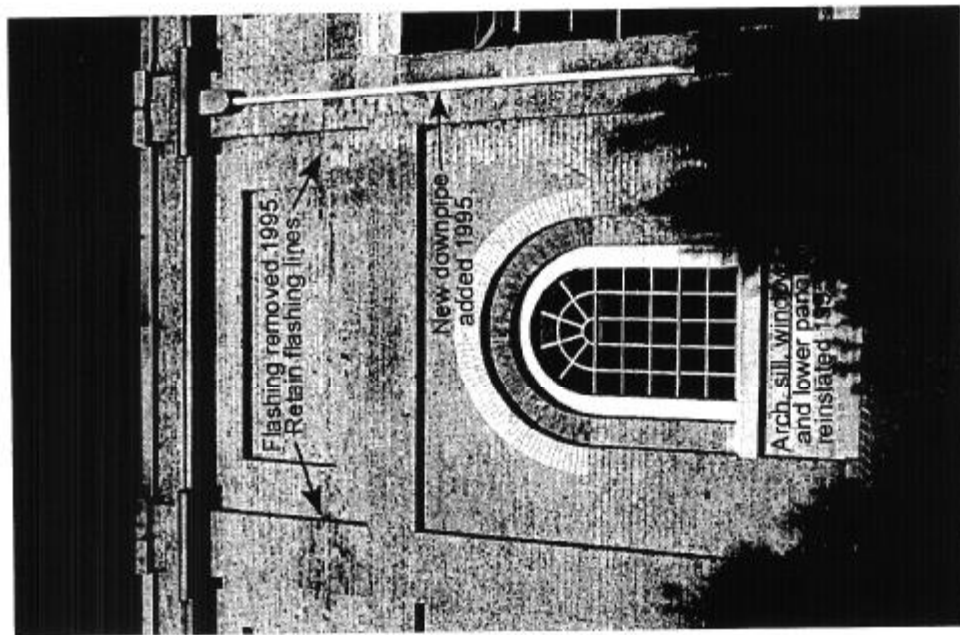
Record # 3

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to E5 horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.





LOCATION Row D1/2 east

RECORD # 4

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK ☐ HP (HIGH PRIORITY) ☐ INTRUSIVE ☐ INTERPRET



# EVELEIGH LOCOMOTIVE WORKSHOPS FABRIC INVENTORY

Key  
S1 - high S2 - moderate S3 - low S4 - entrance  
C1 - best C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

Row D1/2 East

Record # 4

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDIMENT/ARCH	S1	C3	R1		
STONEWORK					
coping	S1	C3	R1	Check stability, report on condition, light wash	
weathering	N/A				
inserts	S2	C2	R1	Monitor inserts for corrosion	
BLOCKWORK					
rim	S1	C3	R1	Light wash & repoint as required	
panels	S1	C3	R1	Light wash & repoint as required	
inserts	N/A				
BULWARK	N/A				
UPPER WALL					
STONEWORK					
cornice	S1	C3	R1	Light wash & repoint as required	
BLOCKWORK					
rim	S1	C3	R1	Light wash & repoint as required	
panels	S1	C3	R1	Light wash & repoint as required	
inserts	N/A				
WINDOWS	N/A				
LOWERS	N/A				
LOWER WALL					
BLOCKWORK					
rim	S1	C3	R1	Light wash & repoint as required	
arches	S1	C2	R2	Repair crack as indicated. Arch reconstructed in 1995.	
panels	S1	C2	R1	Remove vegetation and repoint, light wash as required	
panel under all	S1	C3	R1	Light wash & repoint as required	
inserts	N/A				
STONEWORK					
window sills	S1	C2	R2	Mortar fill and its joints	
plinth	S1	C2	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Window reinstated in 1995	Done
DOOR(S)	N/A				

Record # 4

Row DVI2 east

key  
 S1 - high S2 - moderate S3 - low S4 - resolve  
 C1 - bad C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
Lower wall continued					
GRADED MTL	S1	C3	R1		
TREAD-OLD	S1	C3	R1		
Treadle Flashed WALL	N/A				
SERVICE PITS	N/A				
STELWORK	N/A				
PLASTER					
STONEMORT	S1	C3	R1	Light wash & repoint as required	
copings	S1	C3	R1	Patch where indicated, light wash & repoint	
cornice	S1	C3	R1	Light wash & repoint as required	
plinth	S1	C3	R1		
inserts	S2	C2	R1	Monitor for corrosion	
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required	
bricks	S1	C2	R1	Monitor hole at base of plaster	
down pipes	S3	C3	R1	New downpipe added 1995	
inserts	N/A				
END PLASTER					
STONEMORT	N/A				
copings	N/A				
cornice	N/A				
plinth	N/A				
inserts	N/A				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	N/A				
OTHER 1	N/A				
OTHER 2	N/A				
OTHER 3	N/A				

Row D12 east

Record # 4

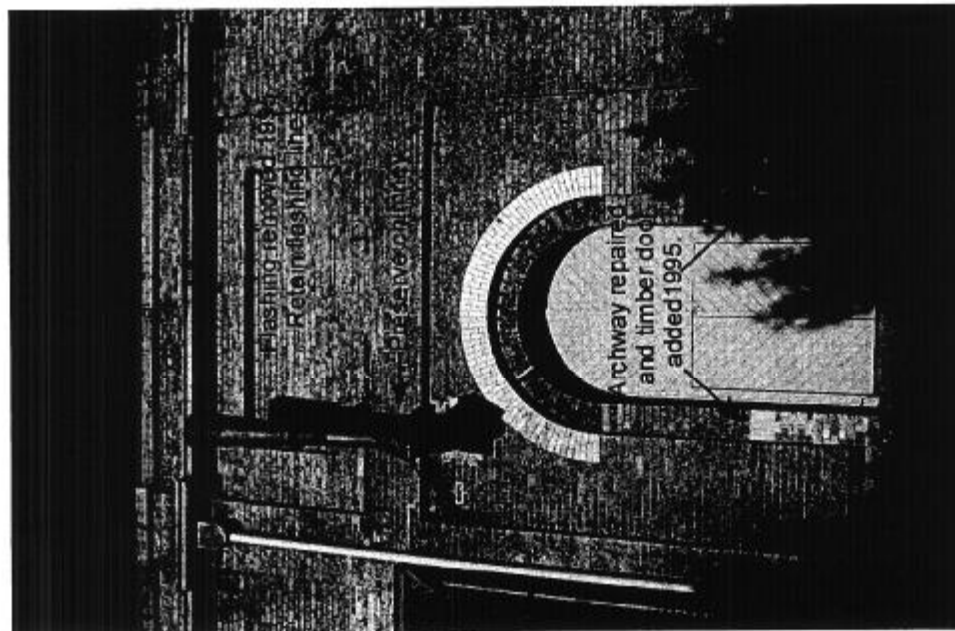
## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to E's horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.

New stone pinths were installed in sections of the east wall in 1995. Some of the stone is already cracked and exfoliating. The cause of this is not known but is likely to be inferior stone of chemical treatment to the stone at the time of installation. This needs further investigation.



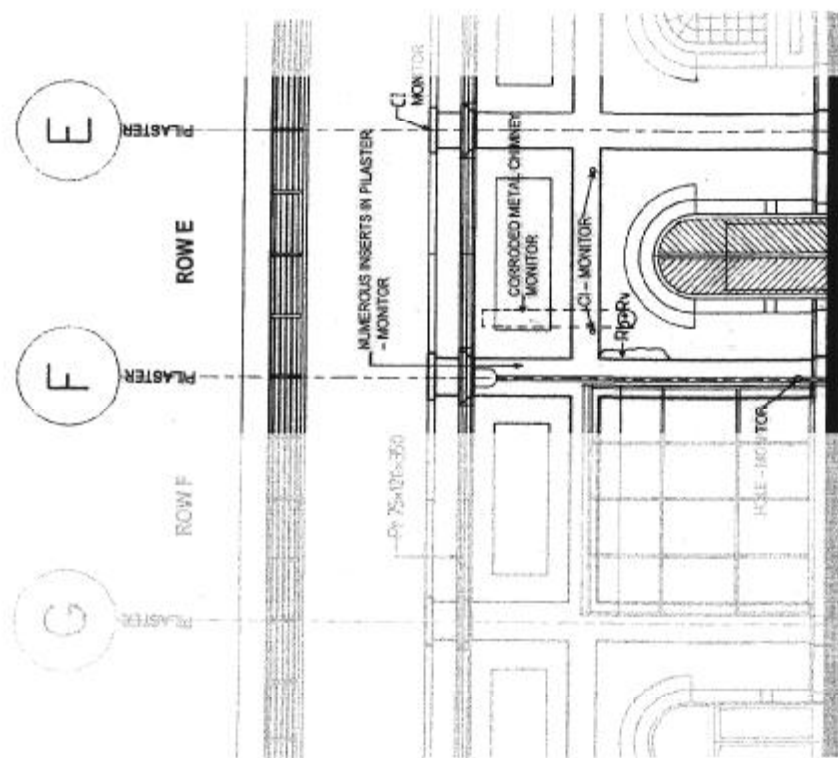


RECORD # 5

LOCATION Row E11 east

- ☐ BAY  
☒ ROW  
☐ ANNEXE  
☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 5

$\rho_{\text{CW}} E/I = \text{const}$

- |                                       |                                                   |
|---------------------------------------|---------------------------------------------------|
| <input type="checkbox"/> R            | replace stone                                     |
| <input type="checkbox"/> I            | indent stone                                      |
| <input type="checkbox"/> H            | harling-jointed stone insert                      |
| <input type="checkbox"/> RP           | RP joint                                          |
| <input checked="" type="checkbox"/> C | Canceled insert remove and epoxy patch            |
| <input type="checkbox"/> S            | Small epoxy patch                                 |
| <input type="checkbox"/> P            | Patch stone with reinforcement                    |
| <input type="checkbox"/> IS           | Insert block                                      |
| <input type="checkbox"/> MS           | Mortar fill joint, elastomeric sealant and backer |

- |   |                                                            |
|---|------------------------------------------------------------|
| 1 | Inject crack with epoxy mixture                            |
| 2 | Apply nut-converter to corroded ferrous metal insert       |
| 3 | Time To match existing                                     |
| 4 | Remove New Zincalume cladding to replace corroded cladding |
| 5 | Remove vegetation and raise out joints 30mm deep           |
| 6 | Make safe by removing loose stone                          |
| 7 | Patch brickwork                                            |
| 8 | Reconstruction of brick surface of wall.                   |
| 9 | Other, see "Notes"                                         |

# EVELEIGH LOCOMOTIVE WORKSHOPS

## FABRIC INVENTORY

Key  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - bad C2 - poor C3 - good  
 RI - maintain R2 - urgent work R3 - repair

Row E/11 east

Record # 5

DESCRIPTION	SEVERITY	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
REDUCTION	S1	C3	RI		
Stonework					
coping	S1	C3	RI	Repoint & light wash as required	
weathering	N/A				
inserts	N/A				
Brickwork					
rims	S1	C3	RI	Light wash & repoint as required	
panels	S1	C3	RI	Light wash & repoint as required	
inserts	N/A				
Bullseye	N/A				
UPPER WALL	S1	C2	RI	Light wash & repoint as required	
Stonework					
cornice	S1	C3	RI	Light wash & repoint as required	
Brickwork					
rims	S1	C3	RI	Light wash & repoint as required	
panels	S1	C3	RI	Light wash & repoint as required	
inserts	N/A				
Windows	N/A				
Louvers	N/A				
LOWER WALL	S1	C3	RI		
Brickwork					
rim	S1	C3	RI		
arches	S1	C3	RI		
panels	S1	C3	RI	Remove vegetation and repoint. Light wash as required	
panel under	N/A				
sil	S2	C3	RI	Monitor corroded inserts in rim.	
Stonework					
window sills	N/A				
parth	S1	C3	RI		
corbel	N/A				
inserts	N/A				
Windows	N/A				
Door(s)	S1	C3	RI	Timber door reinstated 1995.	Dore

Record # 5

Row E/11 east

key  
 S1 - high S2 - moderate S3 - low S4 - arrange  
 C1 - bad C2 - poor C3 - good  
 RI - maintain R2 - urgent work R3 - repair

DESCRIPTION	SKIN/CANOE	CONDITION	RECYCLICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED WALL	N/A				
INTERIOR	S1	C3	RI		
THRU WALL	N/A				
SERVICE PIPES	N/A				
STAIRWELL	S1	C1	R3	Corroded metal chimney requires stabilisation	HP
PLASTER					
STONEWORK	S1	C3	RI	Light wash, repoint as required. Monitor inserts.	
copings	S1	C3	RI	Light wash	
cornice	S1	C3	RI	Light wash	
plinth	S1	C3	RI	Light wash & repoint as required	
inserts	S2	C2	RI	Monitor corroded insert	
BRICKWORK					
parapet	S1	C3	RI	Light wash & repoint as required	
body	S1	C3	RI	Light wash & repoint as required. Retain flashing line.	
down pipes	N/A				
inserts	NI				
END PLASTER					
STONEWORK	N/A				
copings	N/A				
cornice	N/A				
plinth	N/A				
inserts	NI				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	NI				
OTHER 1					
OTHER 2	S1	C1	R3	Preserve chimney. Set machinery report	HP
OTHER 3	N/A				

Row E(1) east

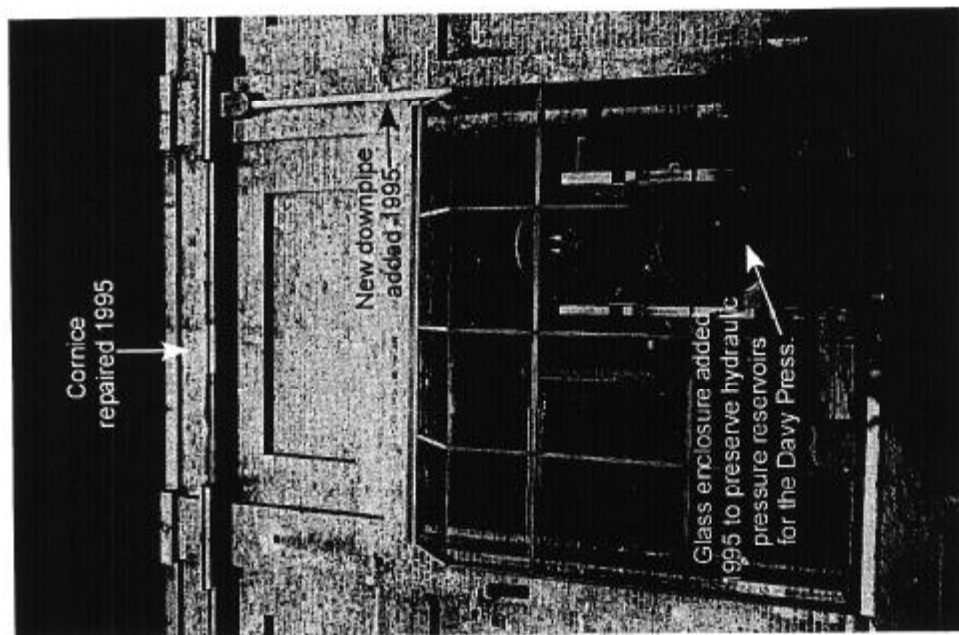
Record # 5

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required works identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to Ets horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.





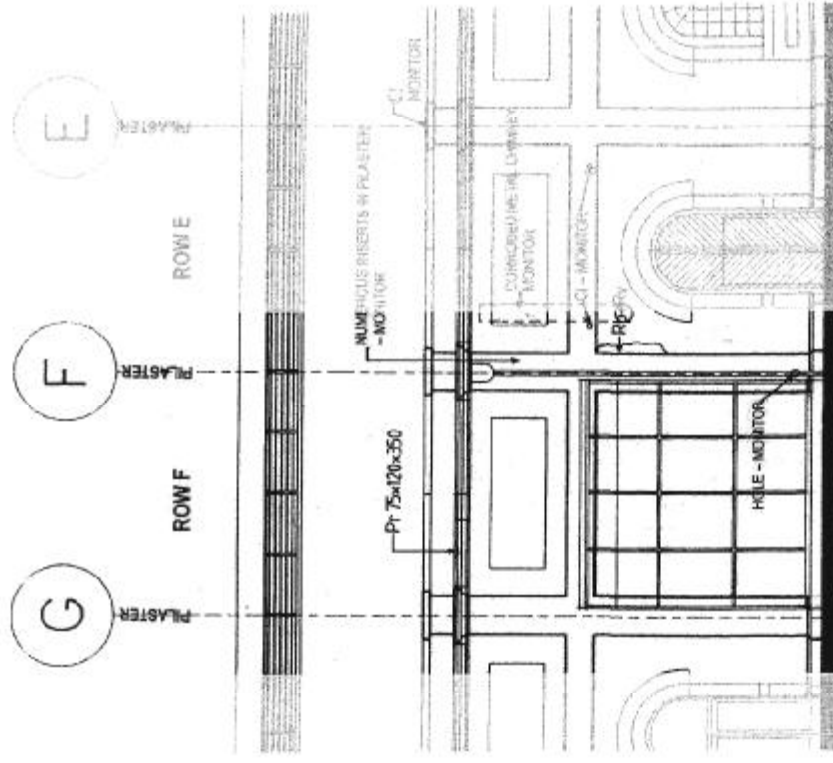
LOCATION Raw F110 east

RECORD # 6

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 6

Row F/10 east

- ☐ R rectice stone  
☐ I Indur stone  
☐ H Harline painted stone insert  
☐ Rp Re joint  
☐ C Corroded insert, remove and epoxy patch  
☐ Ps Small epoxy patch  
☒ Pr Patch stone with reinforcement  
☐ B Insert Brick  
☐ Bs Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture  
☐ Rc Apply rust-converter to corroded ferrous metal insert  
☐ Trm To match existing  
☐ Znc New Zincalume cladding to replace corroded cladding  
☐ Rv Remove vegetation and raise out joints 20mm deep  
☐ MS Make safe by removing loose stone  
☐ Pp Patch brickwork  
☐ Rb Reconstruction of brick surface of wall  
☐ Ot Other, see Notes

# EVELEIGH LOCOMOTIVE WORKSHOPS

## FABRIC INVENTORY

Key  
S1 - high S3 - moderate S3 - low S4 - intrusive  
C1 - bas C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

Row F/10 east

Record # 6

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
REDIMENT/PAVEMENT	S1	C3	R1	Light wash & repaint as required	
STONEWORK					
masonry	S1	C3	R1	Light wash & repaint as required	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash & repaint as required	
panels	S1	C3	R1	Light wash & repaint as required	
inserts	S2	C2	R1	Monitor inserts for corrosion	
bulkhead	N/A				
UPPER WALL					
STONEWORK					
cornice	S1	C2	R3	Patch cornice as indicated. E's and mortar fill joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash & repaint as required	
panels	S1	C3	R1	Light wash & repaint as required	
inserts	S2	C2	R1	Monitor inserts for corrosion and water ingress	
Windows	N/A				
Loosings	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash & repaint as required	
arches	N/A				
panels	N/A				
panel under sill	N/A				
inserts	N/A				
STONEWORK					
window sills	N/A				
parth	N/A				
corbel	N/A				
inserts	N/A				
Windows	S3	C3	R1	Retain display window added 1995 to protect steam drums	
Door(s)	N/A				



Row F/10 east

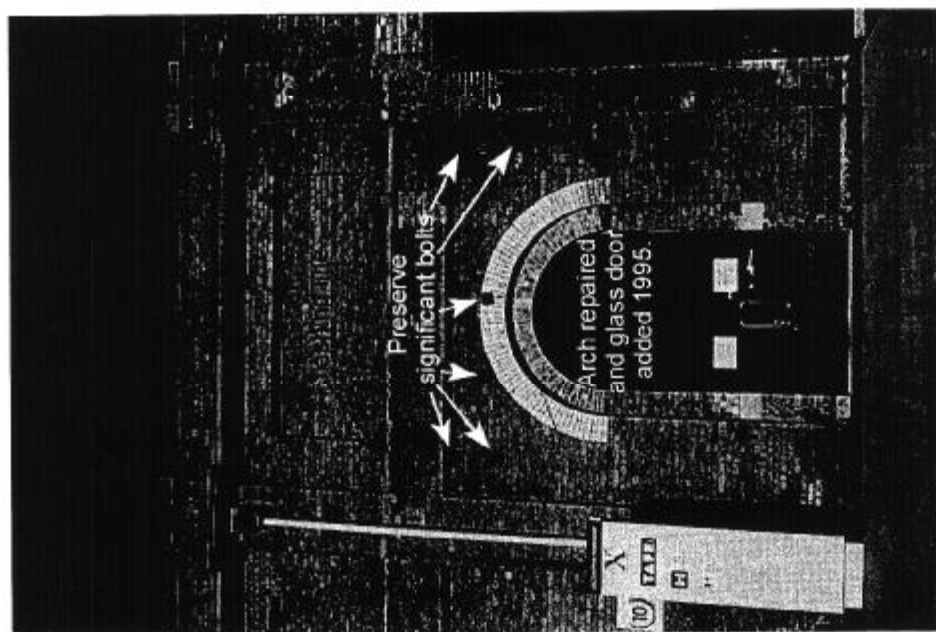
Record # 6

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to E16 horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.



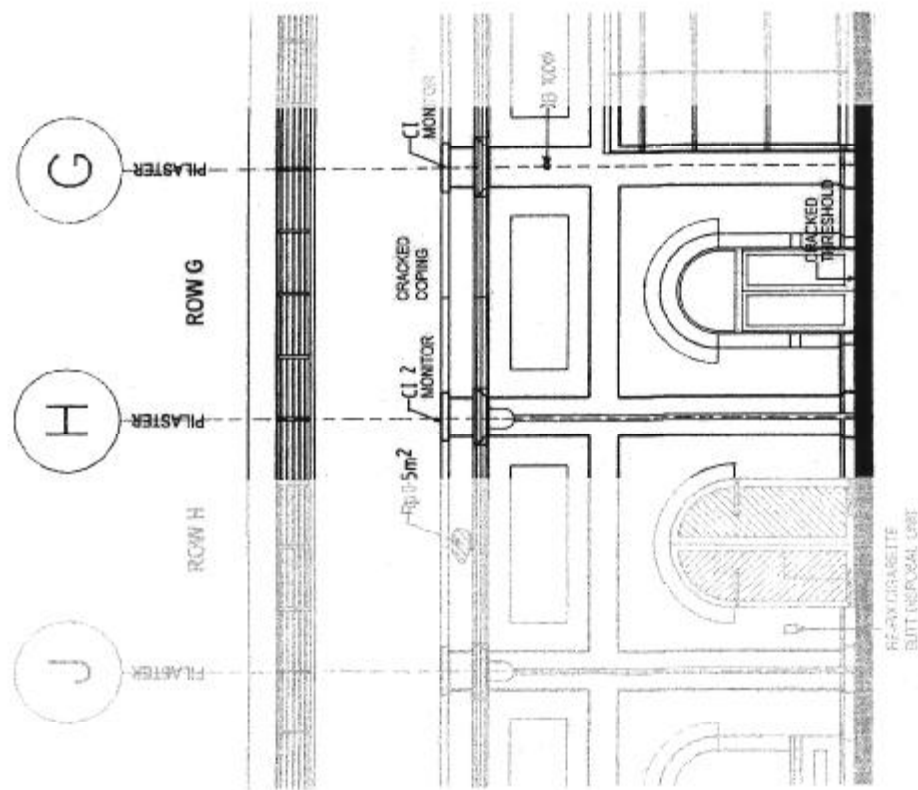


LOCATION Row G/9 east

RECORD # 7

- ☐ BAY  
☒ ROW  
☐ ANNEXE
- ☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

- ☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 7

PCW GV9 east

- |                                        |                   |
|----------------------------------------|-------------------|
| <input type="checkbox"/> R             | repair stone      |
| <input type="checkbox"/> I             | incised stone     |
| <input type="checkbox"/> H             | hairline joint    |
| <input checked="" type="checkbox"/> Rg | Run point         |
| <input checked="" type="checkbox"/> C  | Corroded iron     |
| <input type="checkbox"/> As            | Small epoxy patch |
| <input type="checkbox"/> Ar            | Patch stone with  |
| <input type="checkbox"/> B             | Insert Brick      |
| <input type="checkbox"/> Bs            | Mortar fill joint |

- |    |                                                      |
|----|------------------------------------------------------|
| In | Insect crick with epoxy mixture                      |
| Rc | Epoxy nut-converter to corroded ferrous metal insect |
| Tr | Time To match existing                               |
| Zk | New Zinc-kure cupping to replace corroded cupping    |
| Rv | Remove vegetation and rake out joints 10mm deep      |
| MS | Make safe by removing loose stone                    |
| Pb | Patch brickwork                                      |
| Rb | Reconstruction of brick surface of wall              |
| Or | Other: see "Notes"                                   |

Key:  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - fair C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

Row G9 east

Record # 7

DESCRIPTION	SIGNIFICANCE	CONDITION	REPAIR/CAUTION	RECOMMENDED WORKS	NOTES
-------------	--------------	-----------	----------------	-------------------	-------

## REDIMENT/PARAPET

STONEWORK					
coping	S1	C2	R3	Repair cracked coping. Mortar fill and Et joints.	
weathering	N/A				
lintels	S2	C2	R3	Monitor lintels for corrosion	
BRICKWORK					
rim	S1	C3	R1	Light wash & repoint as required	
panels	S1	C3	R1	Light wash & repoint as required	
inserts	S1	C3	R1	Preserve porcelain insert. Do not fill.	
Bullet	N/A				

## UPPER WALL

STONEWORK					
cornice	S1	C3	R1	Light wash & repoint as required. Et joints.	
BRICKWORK					
rim	S1	C3	R1	Mortar fill and Et joints. Light wash & repoint as required	
panels	S1	C3	R1	Light wash & repoint as required	
inserts	N/A			Preserve flashing line	
WINDOWS					
LOUVER	N/A				

## LOWER WALL

STONEWORK					
rim	S1	C3	R1	Preserve flashing line.	
arches	S1	C3	R1	Arch repaired in 1995.	Done
panels	S2	C3	R1	Light wash & repoint as required	
panel under	N/A				
lintels	S1	C3	R1	Preserve historic bolts	

## STONEWORK

window sill	N/A				
panels	S1	C3	R1	Mortar fill and Et joints.	
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
Door(s)	S3	C3	R1	New glass door added in 1995.	Done



Row G/9 east

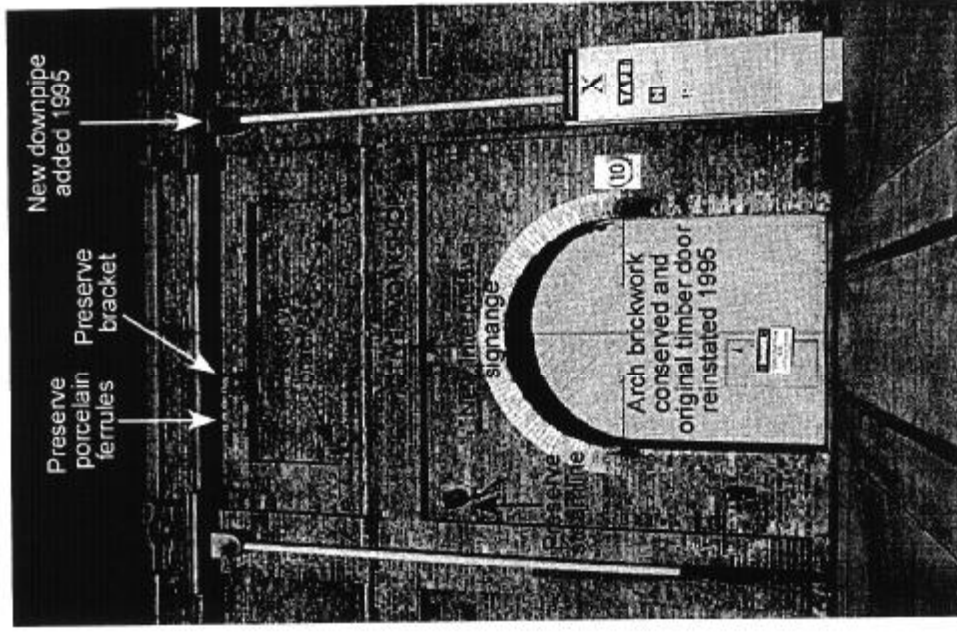
Record # 7

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to BS horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.



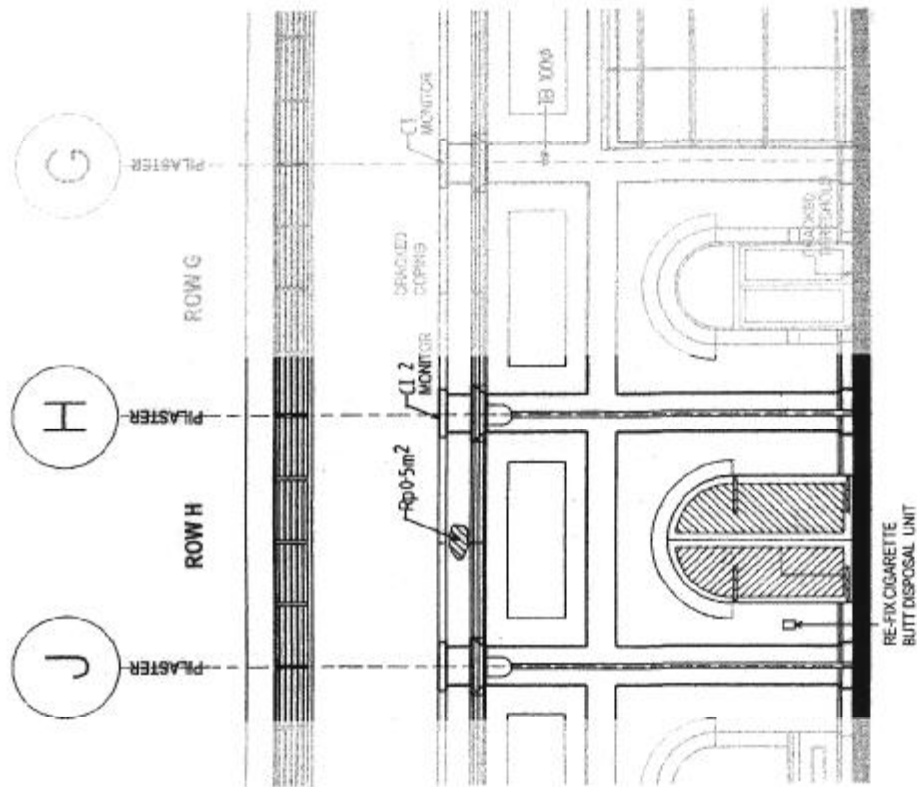


LOCATION Row H/3 east

RECORD # 8

- ☐ BAY  
☒ ROW  
☐ ANNEXE  
☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

- ☐ URGENT WORK  
☐ HP [HIGH PRIORITY]  
☐ INTRUSIVE  
☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 8

Row H/8 east

- ☐ R. replace stone  
☐ I. Indent stone  
☐ H. Hairline jointed stone insert  
☒ No Re joint  
☒ C. Corroded insert remove and epoxy patch  
☐ P. Small epoxy patch  
☐ P. Patch stone with reinforcement  
☐ B. Insert Brick  
☐ E. Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In. Inject crack with epoxy mixture  
☐ Rc. Apply multi-component to corroded ferrous metal insert  
☐ T. Time To match existing  
☐ Z. New Zincalume coping to replace corroded coping  
☐ Rv. Remove vegetation and rake out joints 20mm deep  
☐ MS. Make safe by removing loose stone  
☐ P. Patch brickwork  
☐ Rb. Reconstruction of brick surface of wall  
☒ O. Other, see "Notes"

# FIVE HIGH LOCOMOTIVE WORKSHOPS

## FABRIC INVENTORY

Key:  
 S1 - high, S2 - moderate, S3 - low, S4 - intrusive  
 C1 - best, C2 - poor, C3 - good  
 R1 - mortar, R2 - urgent work, R3 - repair

Row H18 east

Record # 8

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
<b>REDIMENT/PARAPET</b>					
Stonework coping	S1	C3	R1	Mortar fill and all joints.	
weathering	N/A				
Inserts	S2	C2	R1	Monitor corroding inserts	
<b>BELTWORK</b>					
rim	S1	C2	R3	Repoint where indicated. Light wash.	
panels	S1	C3	R1	Light wash & repoint as required.	
Inserts	N/A				
Beltwork	N/A				
<b>UPPER WALL</b>					
Stonework cornice	S1	C3	R1	Light wash & repoint as required. E/s joints.	
Stonework cornice	S1	C3	R1	Mortar fill and all joints. Light wash & repoint as required.	
<b>BELTWORK</b>					
rim	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
Inserts	S1	C3	R1	Preserve porcelain inserts and steel brackets	Interpret
Windows	N/A				
Louvers	N/A				
<b>LOWER WALL</b>					
Stonework rim	S1	C3	R1	Light wash & repoint as required.	
arches	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
panel under all inserts	N/A			Preserve brackets and baseline	Interpret
<b>STONEWORK</b>					
window sill	N/A				
plinth	S1	C3	R1		
crystal	N/A				
Inserts	N/A				
Windows	N/A				
Door(s)	S1	C3	R1	Timber gate reinstated 1995.	Done



Row F-8 east

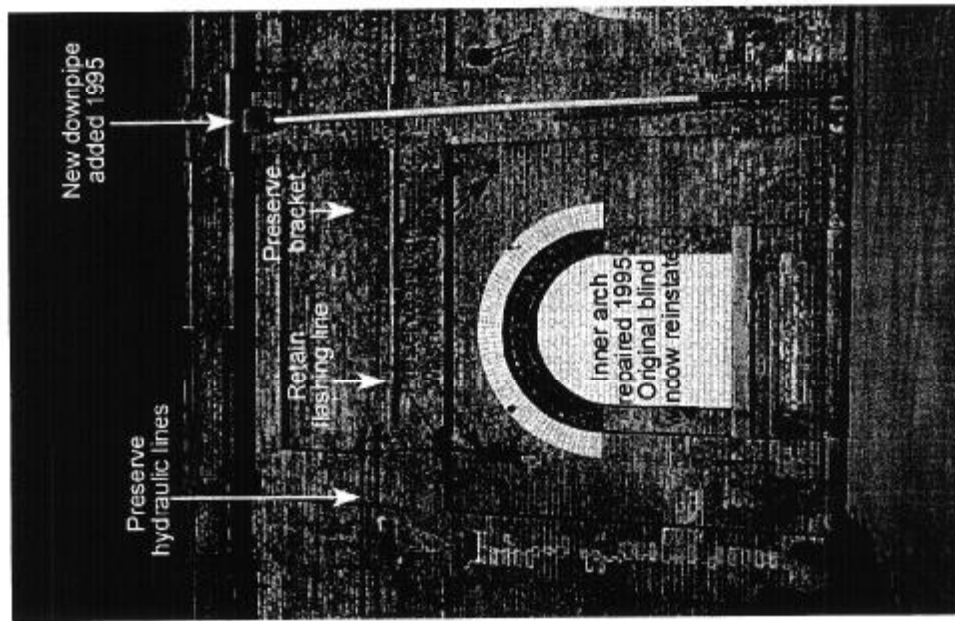
Record # 8

COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to E8 horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.



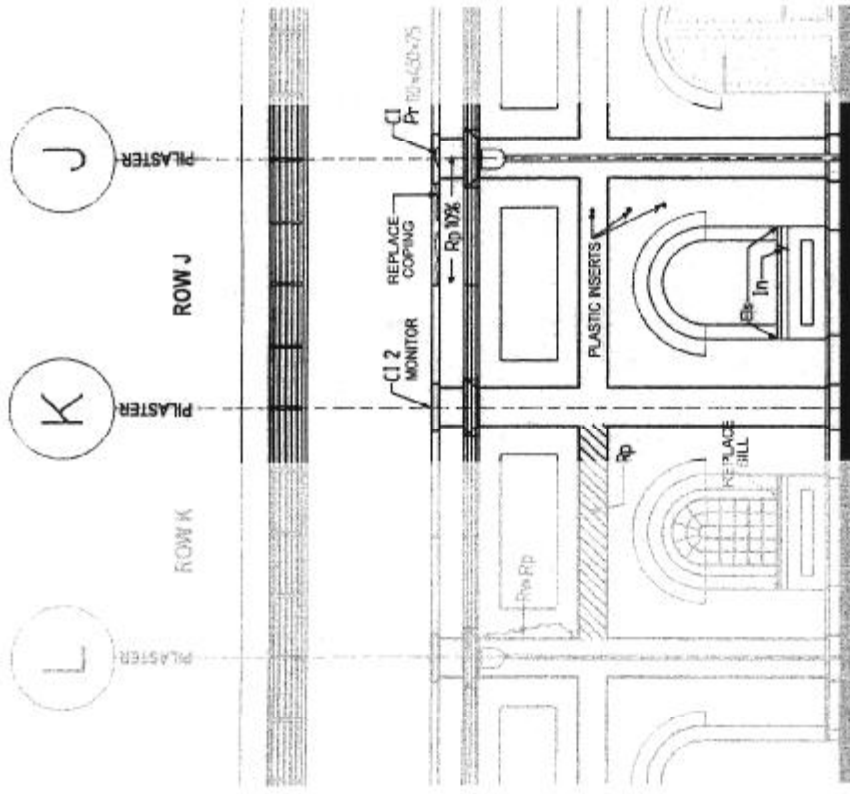


LOCATION Row J7 east

RECORD # 9

- ☐ BAY  
☒ ROW  
☐ ANNEXE  
☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☒ URGENT WORK  
 ☐ HP [HIGH PRIORITY]  
 ☐ INTRUSIVE  
 ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SELLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 9 Row J/7 east

<input type="checkbox"/> A	replace stone	<input checked="" type="checkbox"/> In	Inject crack with epoxy mixture
<input type="checkbox"/> I	redent stone	<input type="checkbox"/> Rc	Apply rust-converter to corroded ferrous metal insert
<input type="checkbox"/> H	Harline jointed stone insert	<input type="checkbox"/> Tm	Time To match existing
<input checked="" type="checkbox"/> Rp	Re point	<input type="checkbox"/> Znc	New Zincalume coping to replace corroded coping
<input checked="" type="checkbox"/> Cl	Corroded insert, remove and epoxy patch	<input type="checkbox"/> Rv	Remove vegetation and rake out joints 20mm deep
<input type="checkbox"/> Ps	Small epoxy patch	<input type="checkbox"/> MS	Make safe by removing loose stone
<input type="checkbox"/> Ar	Patch stone with reinforcement	<input type="checkbox"/> Pb	Patch blowout
<input type="checkbox"/> B	Insert Brick	<input type="checkbox"/> Rb	Reconstruction of brick surface of wall
<input type="checkbox"/> Bs	Mortar fill joint, elastometric sealant and backing rod to top	<input checked="" type="checkbox"/> Ot	Other: see "Notes"

Record # 9

Key  
S1 - high S2 - moderate S3 - low S4 - intrusive  
C1 - bad C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

DESCRIPTION	SYNCHANCE	CONDITION	REPAIR/RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PART	S1	C2	R3	Light wash & repair as required.	
Stonework					
coping	S1	C1	R2	Replace coping stone as shown.	Urgent
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash & repair as required.	
panels	S1	C3	R1	Light wash & repair as required.	
inserts	S3	C2	R1	Monitor corroded inserts	
BUENY	N/A				
UPPER WALL	S1	C3	R1	Es joints. Light wash and repair as required.	
Stonework					
cornice	S1	C3	R1	Mortar fill and es joints.	
BRICKWORK					
rims	S1	C3	R1		
panels	S1	C3	R1	Retain flashing fins. Light wash & repair as required.	
inserts	S2	C3	R1	Preserve and monitor historic fittings	
WINDOWS	N/A				
LOUVERS	N/A				
LOWER WALL	S1	C3	R1	Light wash & repair as required.	
Brickwork					
rims	S1	C3	R1	Light wash & repair as required. Preserve inserts.	
arches	S1	C3	R1	Light wash & repair as required.	
sashes	S1	C3	R1	Light wash & repair as required.	
panel under	S1	C3	R1	Light wash & repair as required.	
all	S2	C3	R1	Preserve square washered bolts. Monitor other inserts.	
inserts					
Stonework					
window sill	S1	C3	R3	Mortar fill and Es joints. Inject crack as indicated.	
plinth	S1	C3	R1	Light wash & repair as required.	
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
DOOR(s)	N/A				



Row 17 east

Record # 9

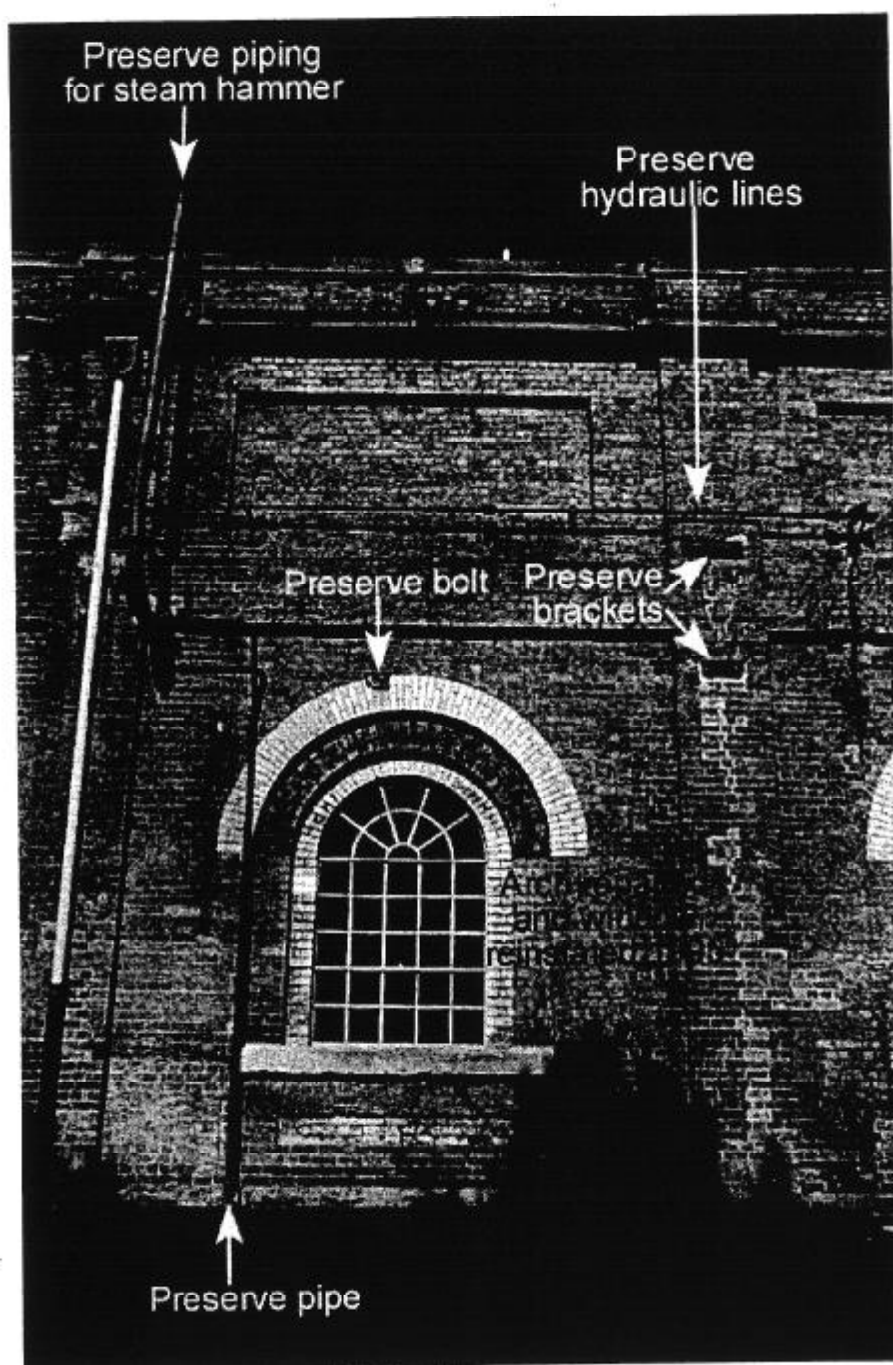
## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to Eli horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in plasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.

If the replacement or indenting of coping or cornice stones as recommended does not proceed then these stone should be monitored and made safe at least every two years. This is a matter of public safety.





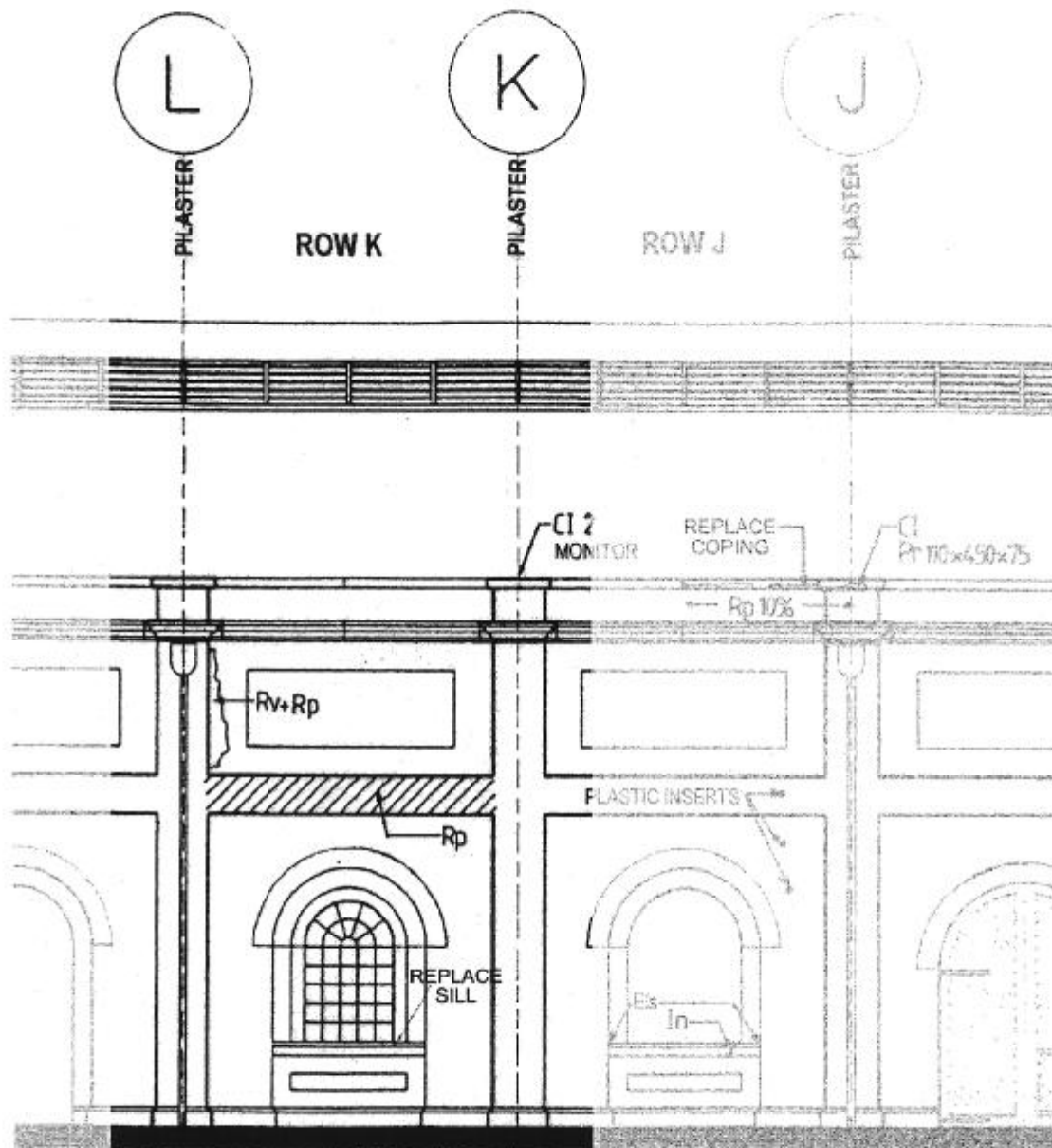
LOCATION Row K/6 east

RECORD # 10

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 10 Row K/6 east

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                            |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                         |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping         |
| <input checked="" type="checkbox"/> CI Corroded insert, remove and epoxy patch              | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                            |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see 'Notes'                                         |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row K/6 east

Record # 10

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash & repoint as required. Els stone joints.	
STONWORK					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	S1	C3	R1	Monitor inserts for corrosion.	
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Els joints. Remove vegetation. Repoint, light wash as required	
STONWORK					
cornice	S1	C3	R1	Light wash & repoint as required.	
BRICKWORK					
rims	S1	C2	R1	Remove vegetation, repoint brickwork. Light wash as	
panels	S1	C3	R1	Preserve hydraulic lines.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Repoint rim. Light wash as required.	
arches	S1	C3	R1	Preserve bolts in arch.	
panels	S1	C3	R1	Preserve hydraulic lines	
panel under sill	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
STONWORK					
window sills	S1	C1	R3	Replace stone sill.	
plinth	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Reinstated 1995	Done
DOOR(S)					

Record # 10

Row K/6 east

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

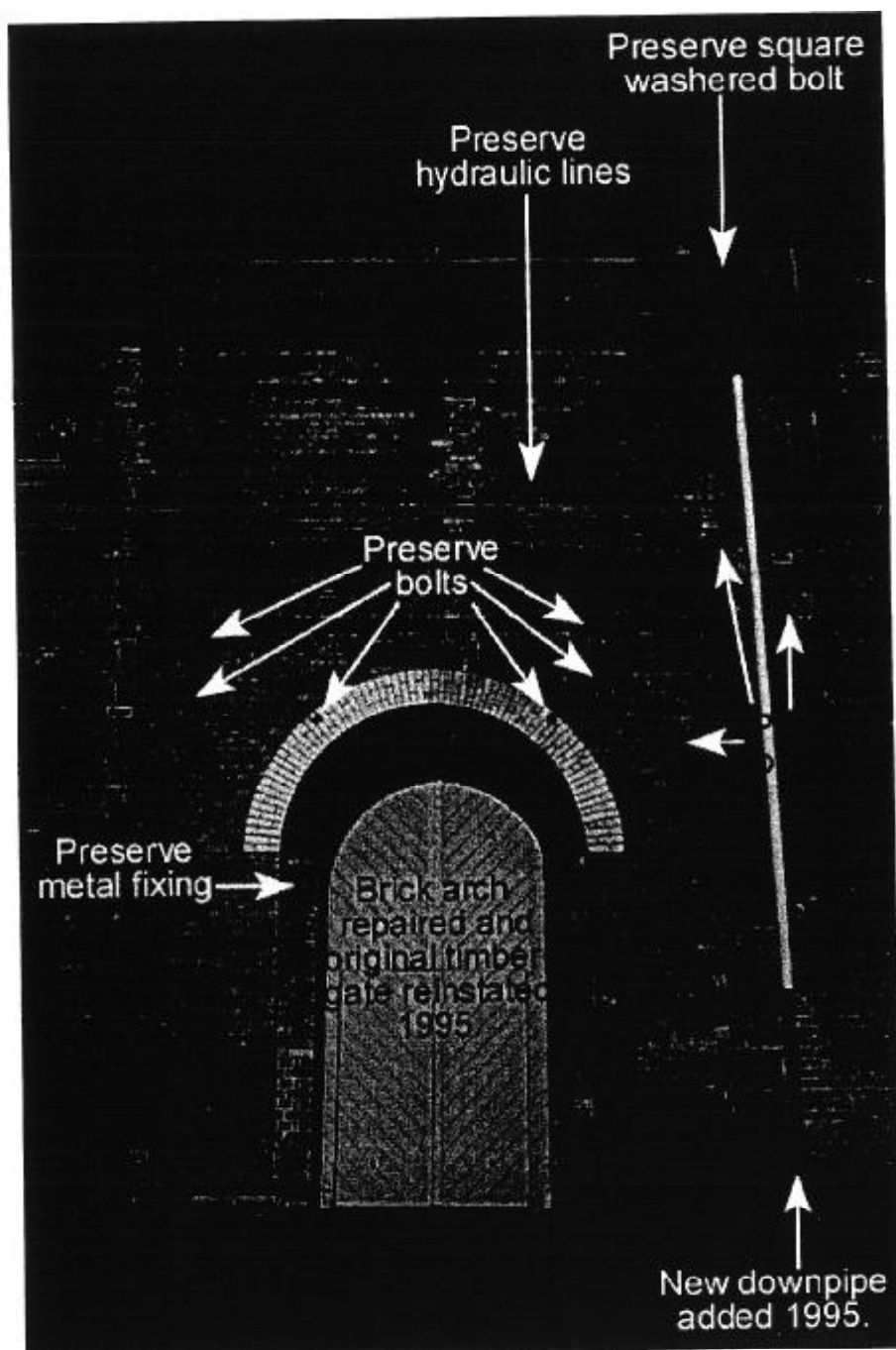
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1	Window reinstated in 1995.	Done
THRESHOLD	S1	C3	R1		
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	N/A				
PILASTER	S1	C3	R1	Light wash & repoint as required.	
STONWORK					
coping	S1	C3	R1	Light wash & repoint as required. Els stone joints.	
cornice	S1	C3	R1	Light wash & repoint as required. Mortar fill, els joints.	
plinth	S1	C3	R1	Light wash & repoint as required. Mortar fill, els joints.	
inserts	S2	C2	R1	Monitor corroded insert	
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C3	R1	Light wash & repoint as required.	
down pipes	N/A				
inserts	S2	C3	R1	Preserve brackets as indicated in photograph.	
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3	R1	Preserve bolts indicated in photograph.	
OTHER 2	S1	C2	R1	See machinery inventory for preservation of steam pipes (in photo)	Interpret
OTHER 3					

COMMENTS

Row K/6 east

Record # 10



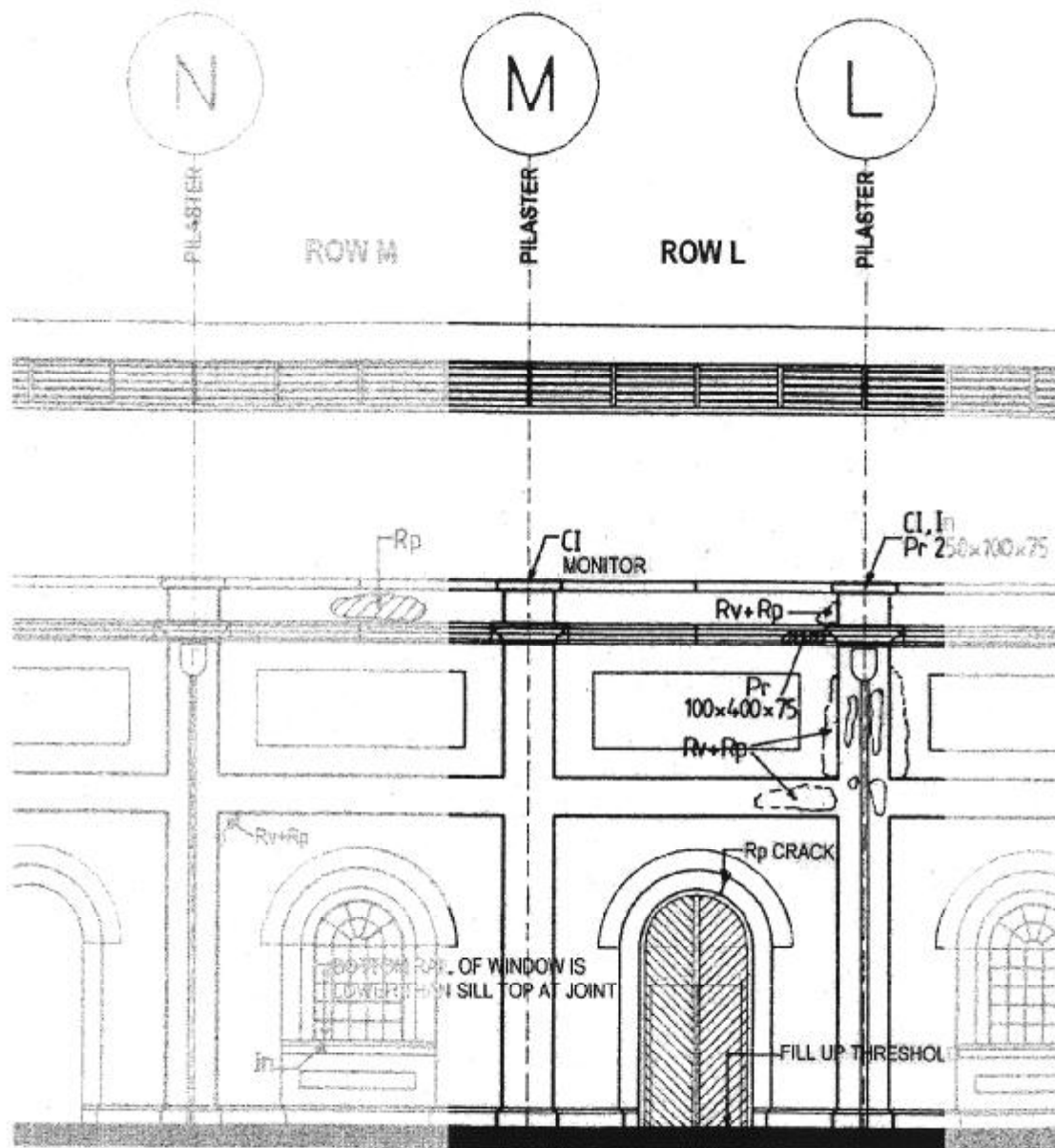


LOCATION Row L/5 east

RECORD # 11

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input checked="" type="checkbox"/> EAST |
|                                         | <input type="checkbox"/> WEST            |

☐ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 11 Row L/5 east

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                            |                                                                                        |
|--------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                   | <input checked="" type="checkbox"/> In Inject crack with epoxy mixture                 |
| <input type="checkbox"/> I Indent stone                                                    | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                   | <input type="checkbox"/> Tme To match existing                                         |
| <input checked="" type="checkbox"/> Rp Re point                                            | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping         |
| <input checked="" type="checkbox"/> O Corroded insert, remove and epoxy patch              | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                              | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                      | <input type="checkbox"/> Pb Patch brickwork                                            |
| <input type="checkbox"/> IB Insert Brick                                                   | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fil joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other: see "Notes"                                         |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row L/5 east

Record # 11

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R1	Light wash & repoint as required.	
STONEWORK					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C2	R3	Remove vegetation and repoint brickwork. Light wash.	
panels	S1	C2	R1	Remove vegetation, repoint brickwork, light wash.	
inserts	S3	C3	R1	Monitor inserts for corrosion	
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Repoint and patch as indicated. Light wash. Els joints.	
STONEWORK					
cornice	S1	C2	R3	Patch cornice as indicated. Mortar fill and els joints.	
BRICKWORK					
rims	S1	C2	R3	Remove vegetation and repoint brickwork, light wash	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Remove vegetation and repoint brickwork, light wash	
arches	S1	C3	R1		
panels	S1	C3	R1	Light wash & repoint as required.	
panel under sill	N/A				
inserts	S1	C3	R1	Monitor all inserts for corrosion.	
STONEWORK					
window sills	N/A				
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
DOOR(S)	S1	C3	R1	Timber gate reinstated in 1995.	Done

Record # 11

Row L/5 east

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRILL	N/A				
THRESHOLD	S1	C3	R1		
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	N/A				
PILASTER	S1	C3	R1	Light wash & repoint as required. Patch stone. Els joints.	
STONEMWORK					
coping	S1	C2	R3	Patch stonework where indicated. Mortar fill and els joints.	
cornice	S1	C3	R1	Light wash & repoint as required.	
plinth	S1	C3	R1	Light wash & repoint as required.	
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C3	R1	Remove vegetation, light wash & repoint as required.	
down pipes	S3	C3	R1	New downpipe added in 1995.	
inserts	S1	C3	R1	Preserve historic fittings.	
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3	R1	Preserve bolts and brackets as indicated in photograph.	
OTHER 2	S1	C3	R1	Preserve hydraulic lines. See machinery report.	
OTHER 3					

Row L/5 east

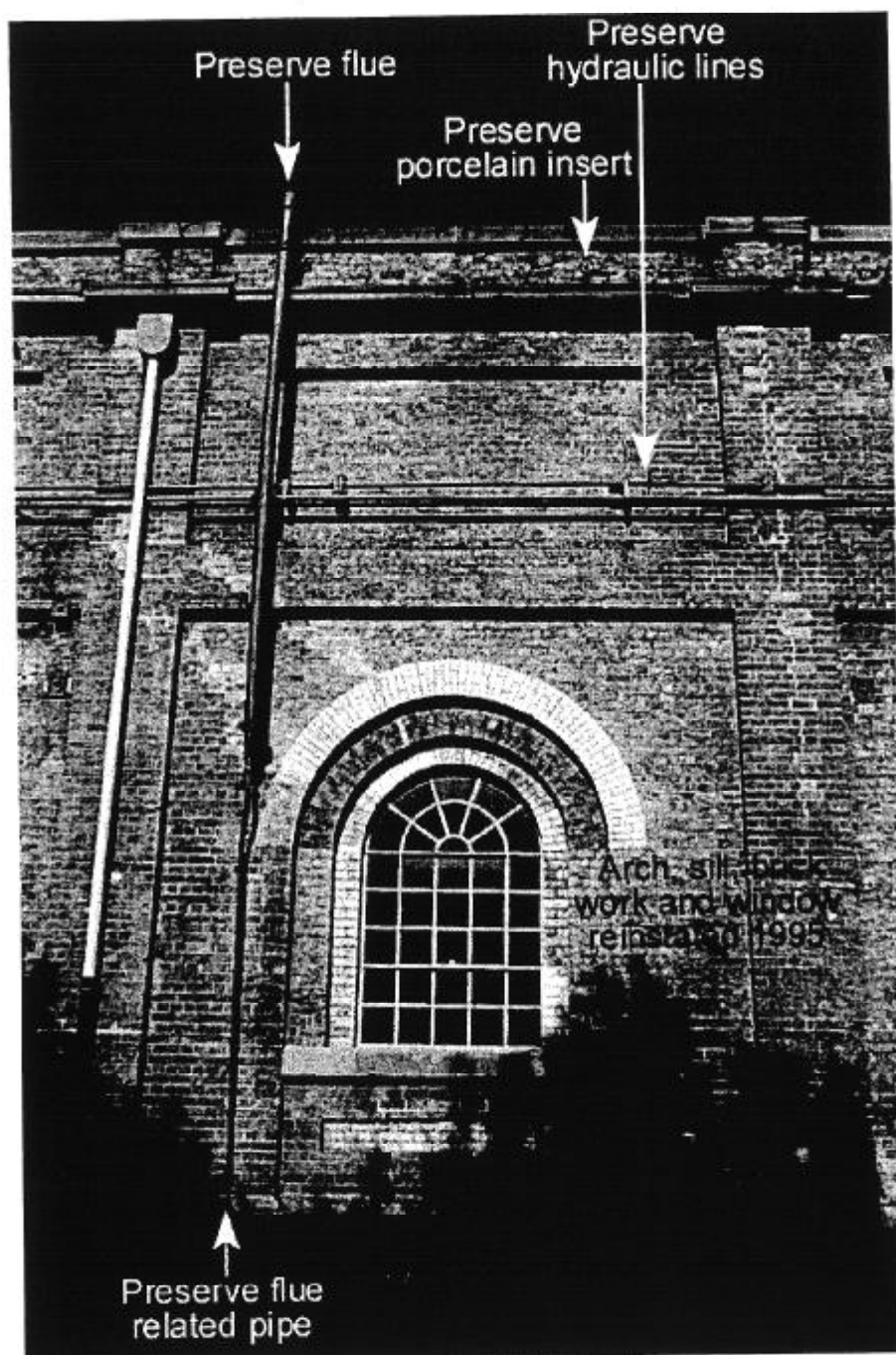
Record # 11

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to E1s horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.





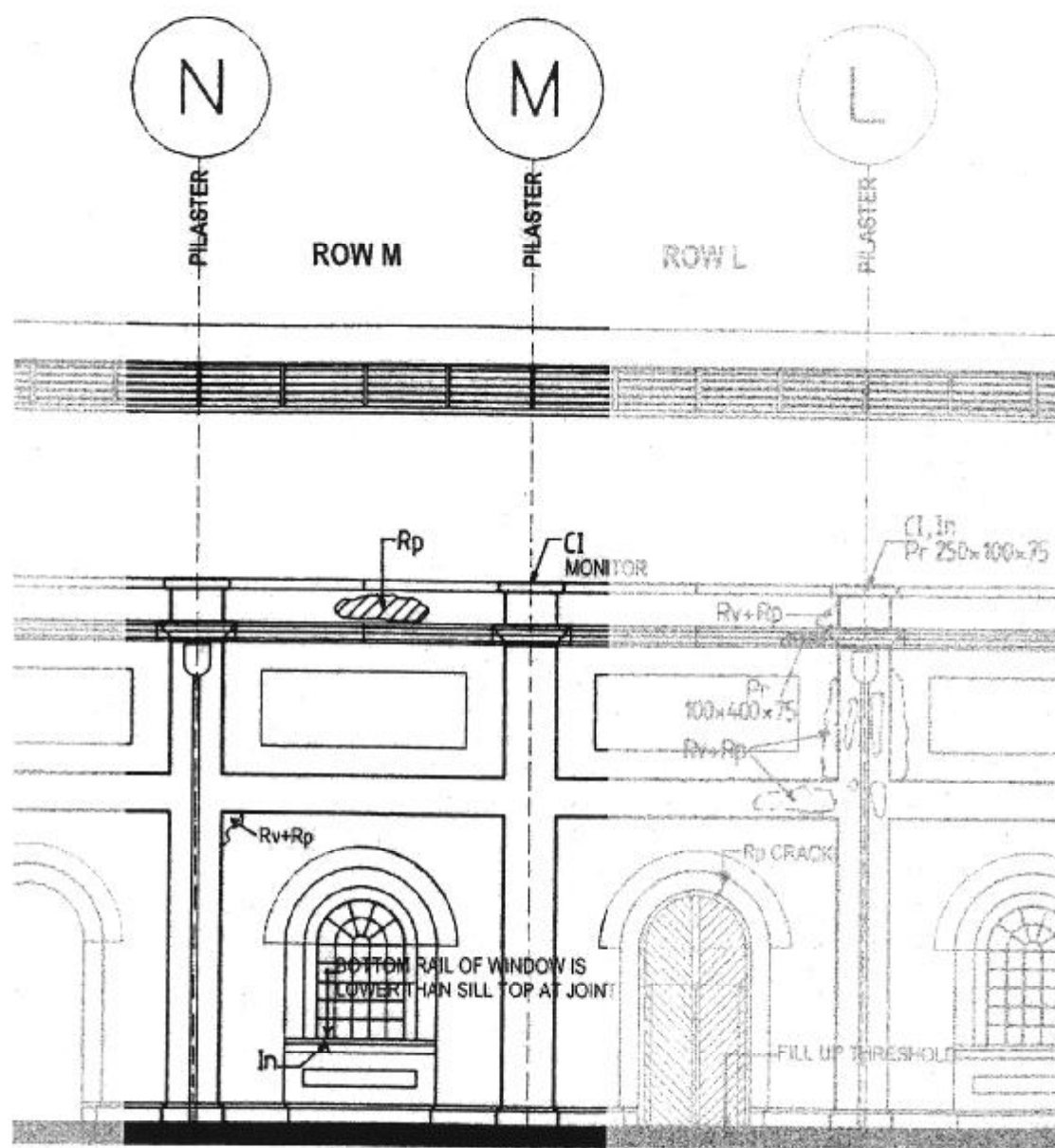
LOCATION Row M/4 east

RECORD # 12

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 12

Row M/4 east

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

<input type="checkbox"/> R replace stone	<input checked="" type="checkbox"/> In Inject crack with epoxy mixture
<input type="checkbox"/> I Indent stone	<input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert
<input type="checkbox"/> H Hairline jointed stone insert	<input type="checkbox"/> Tme To match existing
<input checked="" type="checkbox"/> Rp Re point	<input type="checkbox"/> Zac New Zincalume capping to replace corroded capping
<input type="checkbox"/> Cl Corroded insert, remove and epoxy patch	<input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep
<input type="checkbox"/> Ps Small epoxy patch	<input type="checkbox"/> MS Make safe by removing loose stone
<input type="checkbox"/> Pr Patch stone with reinforcement	<input type="checkbox"/> Pb Patch brickwork
<input type="checkbox"/> IB Insert Brick	<input type="checkbox"/> Rb Reconstruction of brick surface of wall
<input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top	<input type="checkbox"/> Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row M/4 east

Record # 12

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint brickwork as indicated. Light wash. Els stone joints.	
STONEWORK					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A				
inserts	S3	C2	R1	Monitor insert for corrosion	
BRICKWORK					
rims	S1	C2	R3	Repoint brickwork as indicated.	
panels	S1	C2	R3	Repoint brickwork as indicated	
inserts	S1	C3	R1	Preserve porcelain insert	
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash & repoint as required. Els stone joints.	
STONEWORK					
cornice	S1	C3	R1	Light wash & repoint as required. Mortar fill and Els joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash & repoint as required.	
arches	S1	C3	R1	Arch restored in 1995.	Done
panels	S1	C3	R1	Remove vegetation and repoint.	
panel under sill	S1	C3	R1	Light wash & repoint as required.	
inserts	S2	C2	R1	Monitor any inserts for corrosion.	
STONEWORK					
window sills	S1	C2	R3	Window or sill not level. See line drawing. Els stone joints.	
plinth	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Cast-iron window reinstated in 1995.	Done
DOOR(S)	N/A				

Record # 12

Row M/4 east

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	N/A				
PILASTER	S1	C3	R1	Light wash & repoint as required. Mortar fill & els stone	
STONEWORK					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
cornice	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
plinth	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
inserts	S3	C2	R1	Monitor corroded insert	
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C3	R1	Light wash & repoint as required.	
down pipes	S3	C3	R1	New downpipe added in 1995.	
inserts	S3	C2	R1	Monitor inserts for corrosion.	
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3	R1	Preserve flue and related pipes. See photo & machinery report.	Interpret
OTHER 2	S1	C3	R1	Preserve hydraulic lines. See photo & machinery report.	
OTHER 3					

Row M/4 east

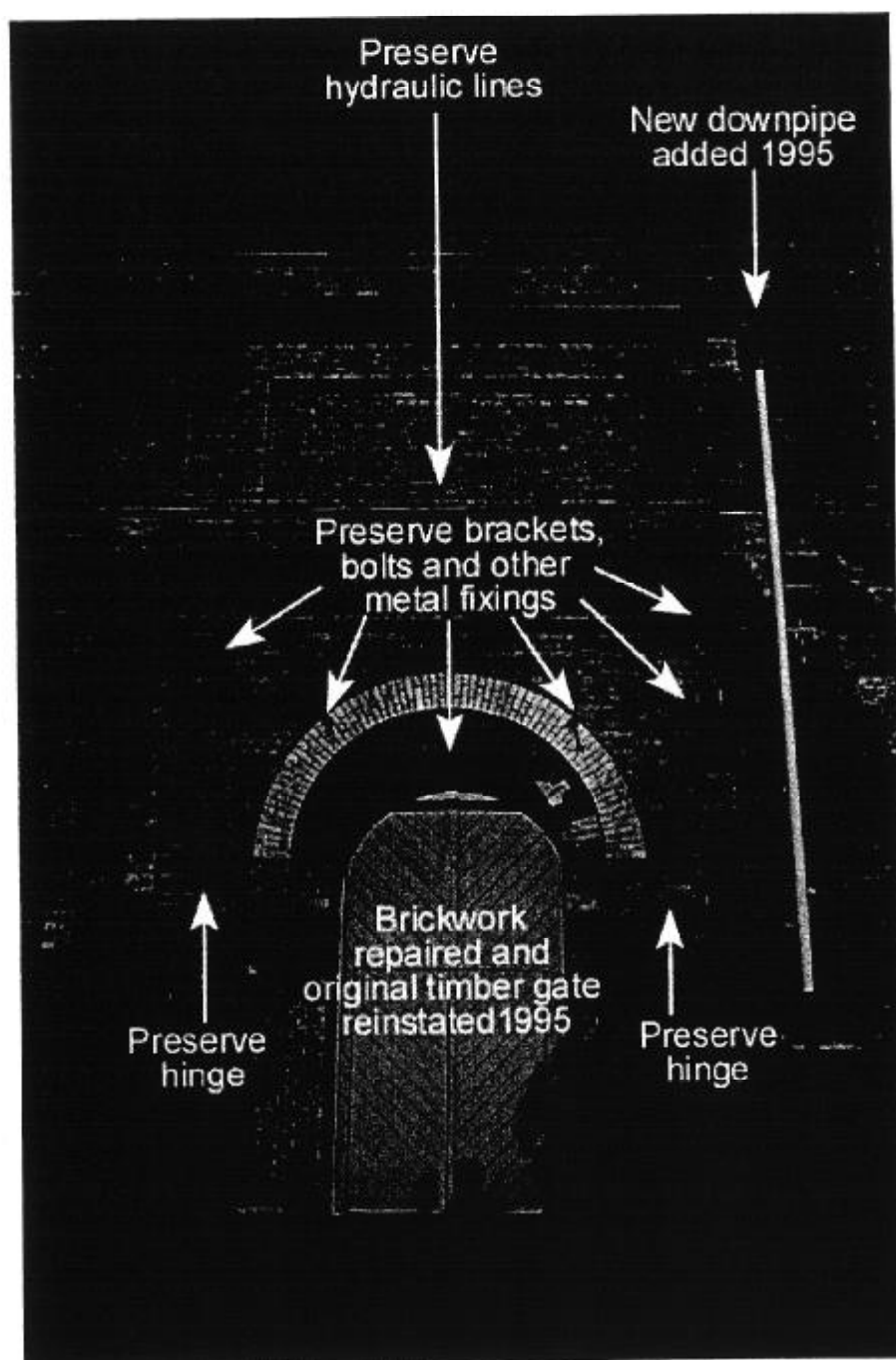
Record # 12

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastometric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.





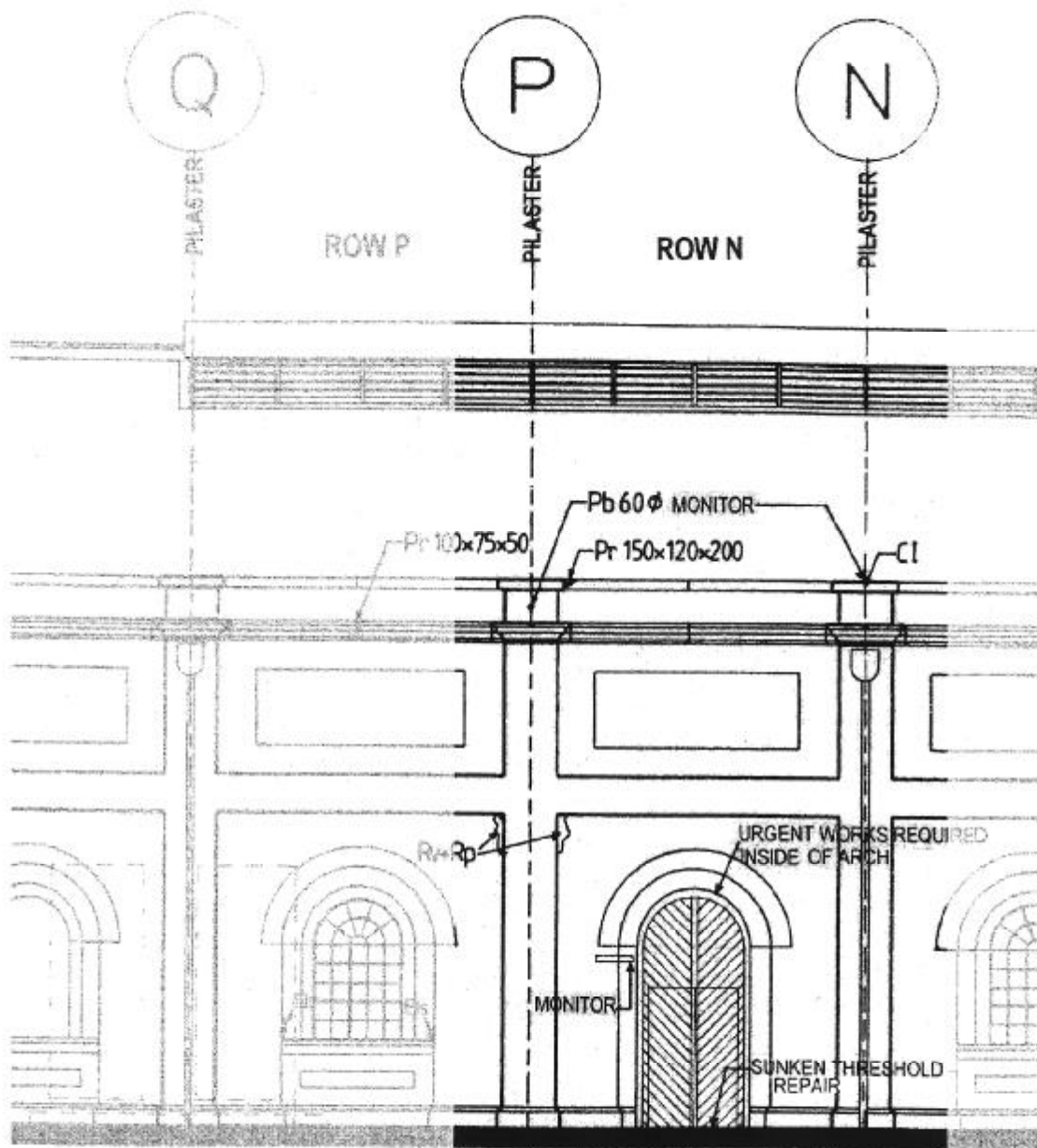
LOCATION Row N/3 east

RECORD # 13

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☒ URGENT WORK  
 ☐ HP [HIGH PRIORITY]  
 ☐ INTRUSIVE  
 ☐ INTERPRET



Record # 13

Row N/3 east

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                            |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Trme To match existing                                        |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping         |
| <input type="checkbox"/> C Corroded insert, remove and epoxy patch                          | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input checked="" type="checkbox"/> Pb Patch brickwork                                 |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                         |

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row N/3 east

Record # 13

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash & repoint as required. Els stone joints.	
STONework					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash & repoint as required. Els stone joints.	
STONework					
cornice	S1	C2	R3	Patch with reinforcement as indicated in drawing. Els joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	S2	C3	R1	Monitor insert for corrosion.	
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash & repoint as required.	
arches	S1	C1	R2	URGENT works required inside arch. Severe cracking.	URGENT
panels	S1	C2	R3	Remove vegetation and repoint as indicated	
panel under sill	N/A				
inserts	S2	C3	R1	Preserve remnant hinges and other fittings as indicated	
STONework					
window sills	N/A				
plinth	S1	C3	R1	Els horizontal stone surface.	
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
DOOR(s)	S1	C3	R1	Timber gate reinstated 1995.	

Record # 13

Row N/3 east

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	S1	C2	R3	Repair sunken threshold. Mortar fill and els joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	N/A				
PILASTER	S1	C3	R1	Light wash & repoint as required.	
STONEMWORK					
coping	S1	C2	R3	Patch stonework as indicated in photo. Els joints.	
cornice	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
plinth	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
inserts	S2	C2	R1	Monitor corroded insert	
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C3	R1	Light wash & repoint as required.	
down pipes	S3	C3	R1	New downpipe added in 1995.	
inserts	S3	C3	R1	Monitor any inserts for corrosion.	
END PILASTER	N/A				
STONEMWORK					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C2	R1	Preserve bolts, hinges and other metal fittings as indicated in photo.	
OTHER 2	S1	C3	R1	Preserve hydraulic lines. See photo & machinery report.	Interpret
OTHER 3					

Row N/3 east

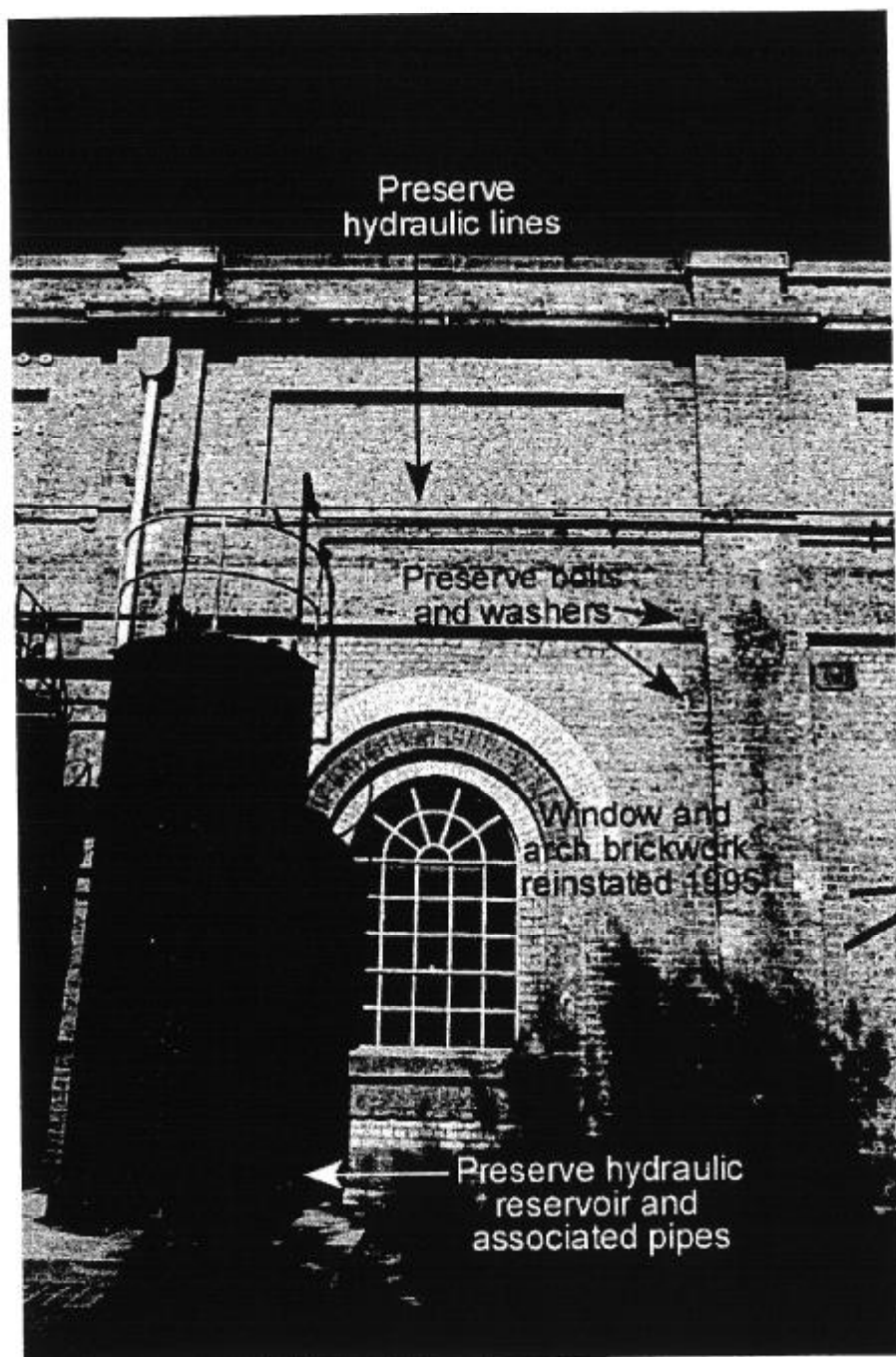
Record # 13

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.





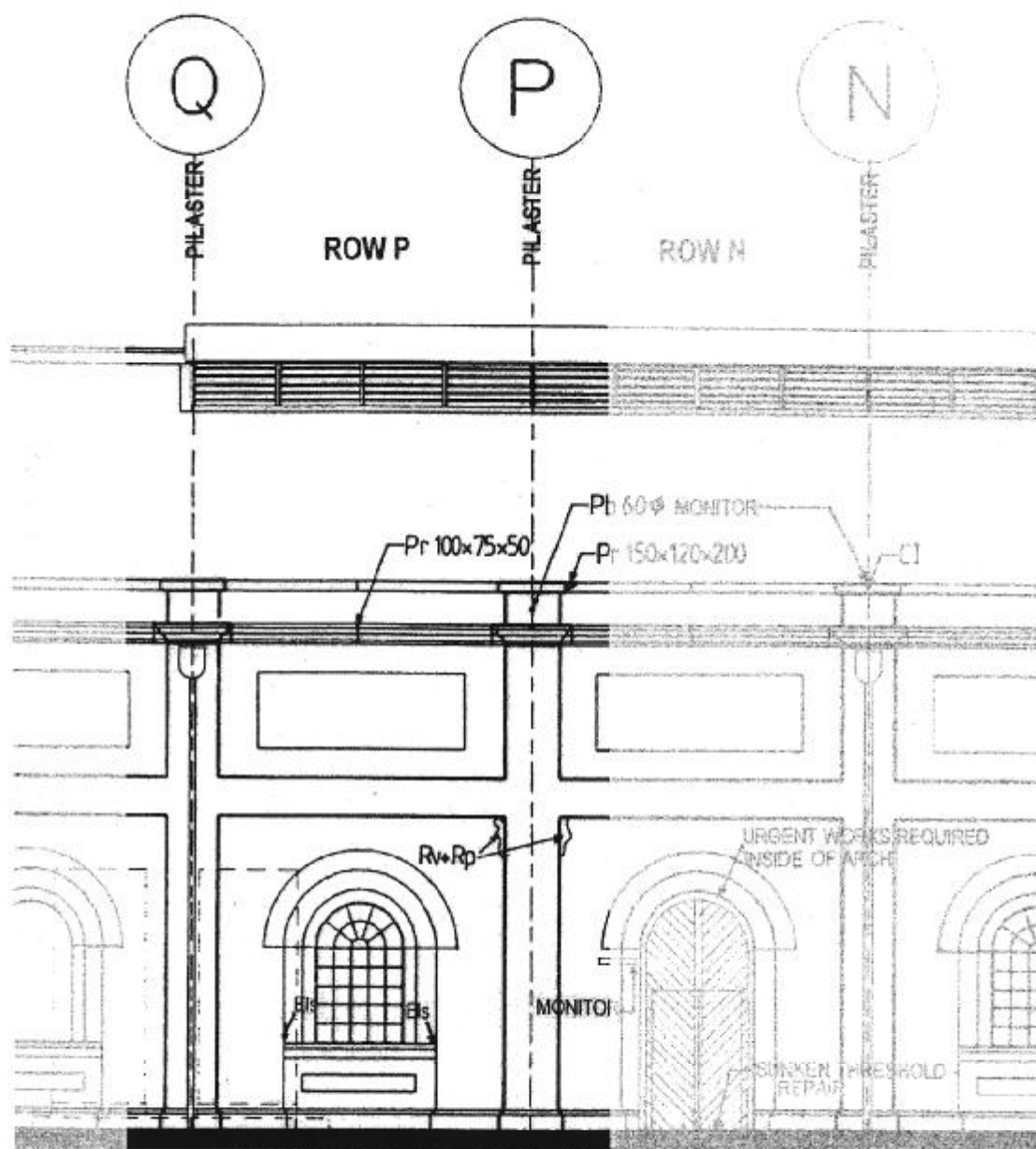
LOCATION Row P/2 east

RECORD # 14

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☒ EAST  
☐ WEST

☐ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 14

Row P/2 east

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                            |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                         |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping         |
| <input type="checkbox"/> CI Corroded insert, remove and epoxy patch                         | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input checked="" type="checkbox"/> Pb Patch brickwork                                 |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                         |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row P/2 east

Record # 14

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash & repoint as required. Els stone joints.	
STONEWORK					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash & repoint as required. Els stone joints. Patch	
STONEWORK					
cornice	S1	C2	R3	Patch with reinforcement as indicated in drawing. Els joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash & repoint as required.	
arches	S1	C3	R1	Arch reinstated 1995.	Done
panels	S1	C2	R3	Remove vegetation and repoint. Light wash as required.	
panel under sill	N/A				
inserts	S3	C2	R1	Monitor inserts for corrosion	
STONEWORK					
window sills	S1	C2	R3	Mortar fill and els joints.	
plinth	S1	C3	R1	Light wash & repoint as required.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Cast iron window reinstated 1995.	Done
DOOR(S)	N/A				

Record # 14

Row P/2 east

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	N/A				
FILASTER	S1	C3	R1	Light wash & repoint as required. Els joints.	
STONWORK					
coping	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
cornice	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
plinth	S1	C3	R1	Light wash & repoint as required. Mortar fill and els joints.	
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C2	R3	Patch brickwork.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C2	R1	Preserve hydraulic reservoir & associated pipes. See machine report.	
OTHER 2	S1	C3	R1	Preserve historic bolts and other fittings as indicated in photo.	
OTHER 3					

Row P/2 east

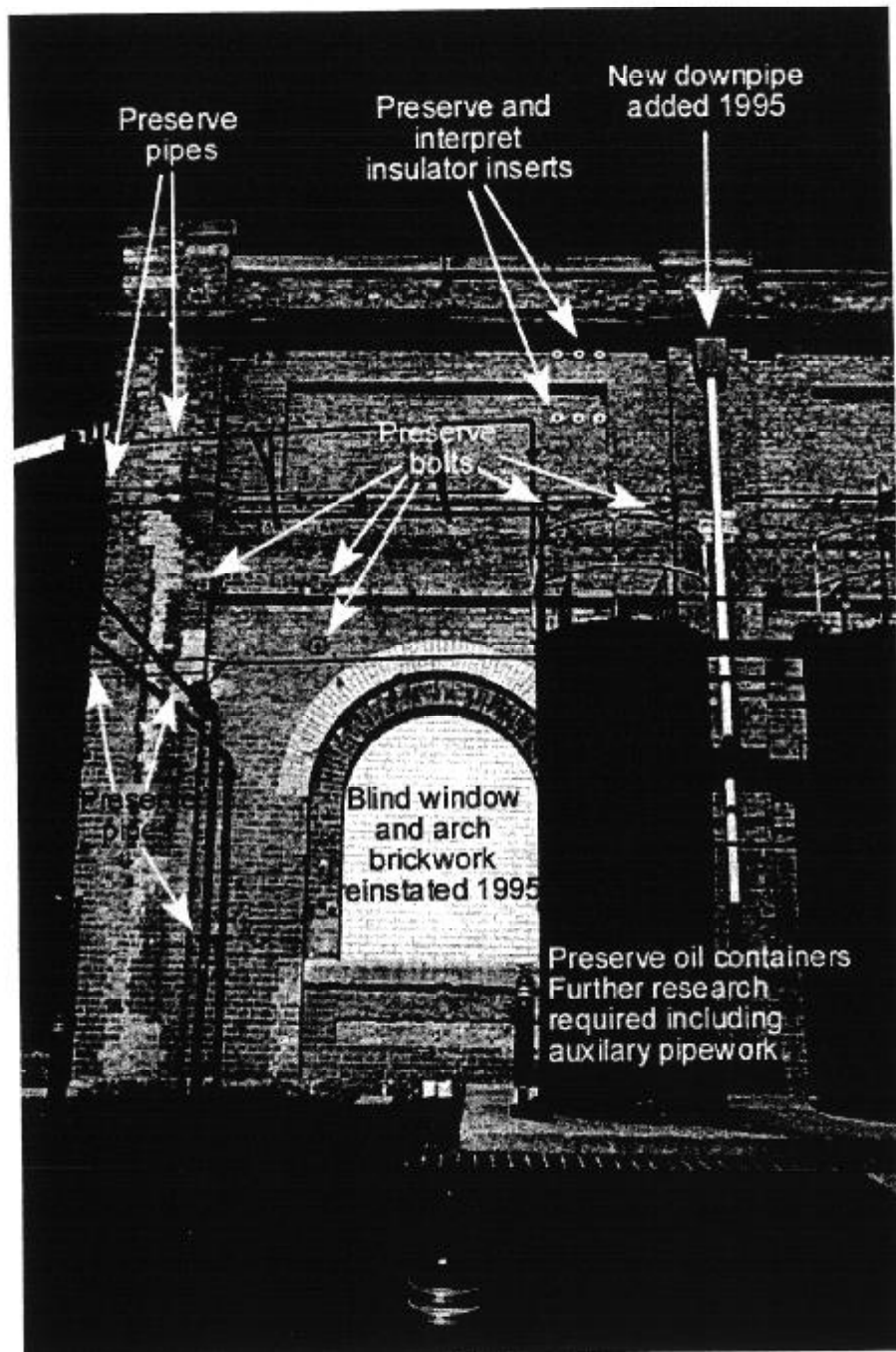
Record # 14

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to Els horizontal stone joints should be applied to this wall.

Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.



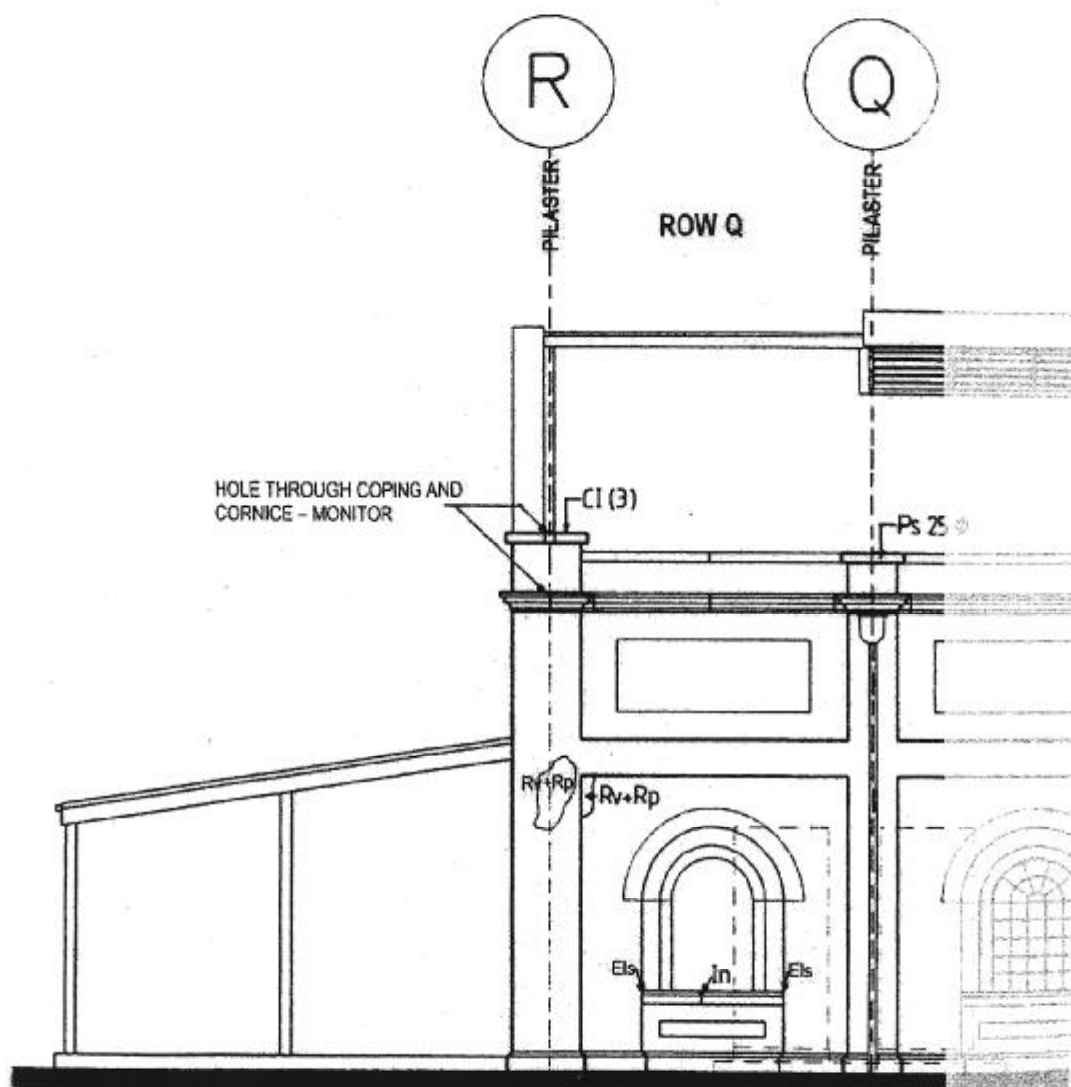


LOCATION Row Q/I east

RECORD # 15

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input checked="" type="checkbox"/> EAST |
|                                         | <input type="checkbox"/> WEST            |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☒ INTERPRET



Record # 15

Row Q/I east

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input checked="" type="checkbox"/> In Inject crack with epoxy mixture                 |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                         |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping         |
| <input checked="" type="checkbox"/> CI Corroded insert, remove and epoxy patch              | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                            |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                         |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row Q/I east

Record # 15

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash & repoint as required.	
STONework					
coping	S1	C3	R1	Light wash & repoint as required.	
weathering	N/A				
inserts	S3	C2	R1	Monitor inserts for corrosion.	
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash & repoint as required.	
STONework					
cornice	S1	C3	R1	Light wash & repoint as required.	
BRICKWORK					
rims	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C2	R3	Remove vegetation and repoint. Light wash.	
inserts	S1	C3	R1	Preserve porcelain ferrules	
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash & repoint as required.	
arches	S1	C3	R1	Light wash & repoint as required.	
panels	S1	C3	R1	Light wash & repoint as required.	
panel under sill	S1	C3	R1	Light wash & repoint as required.	
inserts	S1	C3	R1	Preserve bolts as indicated.	
STONework					
window sills	S1	C2	R3	Mortar fill and E/s joints. Inject cracks as indicated.	
plinth	S1	C3	R1	Light wash & repoint as required.	
corbel	N/A				
inserts	N/A				
WINDOWS	N/A			Blind window.	
DOOR(S)	N/A				

Record # 15

Row Q/I east

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C3	R1	Preserve pipes.	
STEELWORK	N/A				
PILASTER	S1	C3	R1	Light wash & repoint as required.	
STONWORK					
coping	S1	C2	R3	Patch stone as indicated.	
cornice	S1	C3	R1	Light wash & repoint as required.	
plinth	S1	C3	R1	Light wash & repoint as required.	
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C3	R1	Light wash & repoint as required.	
down pipes	S3	C3	R1	New downpipe added in 1995.	
inserts	Nil				
END PILASTER	S1	C2	R1	Monitor. Repoint and light wash as required.	
STONWORKS					
coping	S1	C2	R1	Monitor hole through coping and cornice.	
cornice	S1	C2	R1	Monitor hole through coping and cornice.	
plinth	S1	C3	R1	Light wash & repoint as required.	
inserts	S3	C2	R1	Monitor corroding insert.	
BRICKWORK					
parapet	S1	C3	R1	Light wash & repoint as required.	
body	S1	C2	R3	Remove vegetation and repoint.	
pipes	S1	C3	R1	Preserve pipes as indicated.	
inserts	S2	C3	R1	Monitor and preserve bolts.	
OTHER 1	S1	C2	R1	Preserve oil containers & auxiliary pipework. See machinery report.	
OTHER 2	S1	C3	R1	Preserve historic bolts and fittings as indicated in photo	
OTHER 3					

Row Q/I east

Record # 15

## COMMENTS

The east wall had extensive works carried out in 1995 during the adaptive reuse of the building for the Australian Technology Park. Most of the required work identified in 1995 has been completed, but the finished work needs some further inspection. The stone joints should be checked to see if they have been filled with mortar and the tops sealed with elastomeric sealant. If this has not been done, then the general note to EIs horizontal stone joints should be applied to this wall.

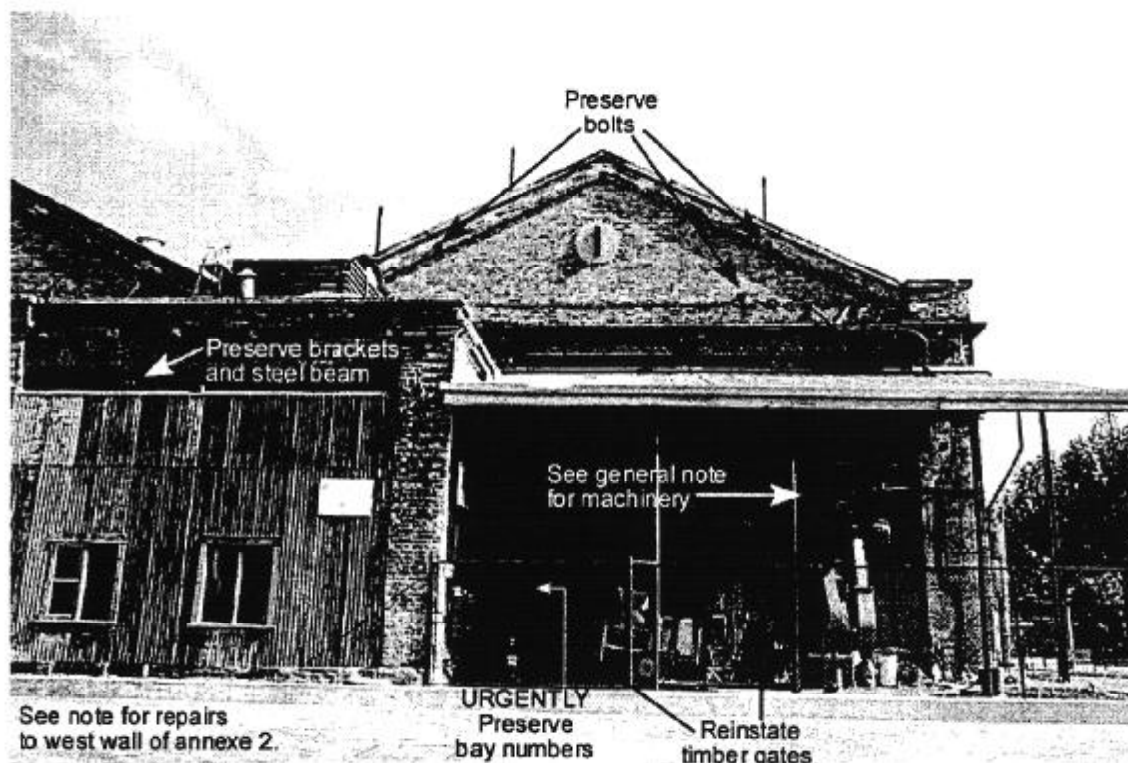
Works in 1995 included structural repairs to the brickwork in pilasters which had been damaged by corroding downpipes in the walls. These should be monitored to check that no further cracks develop.





## SOUTH WALL INVENTORY SHEETS

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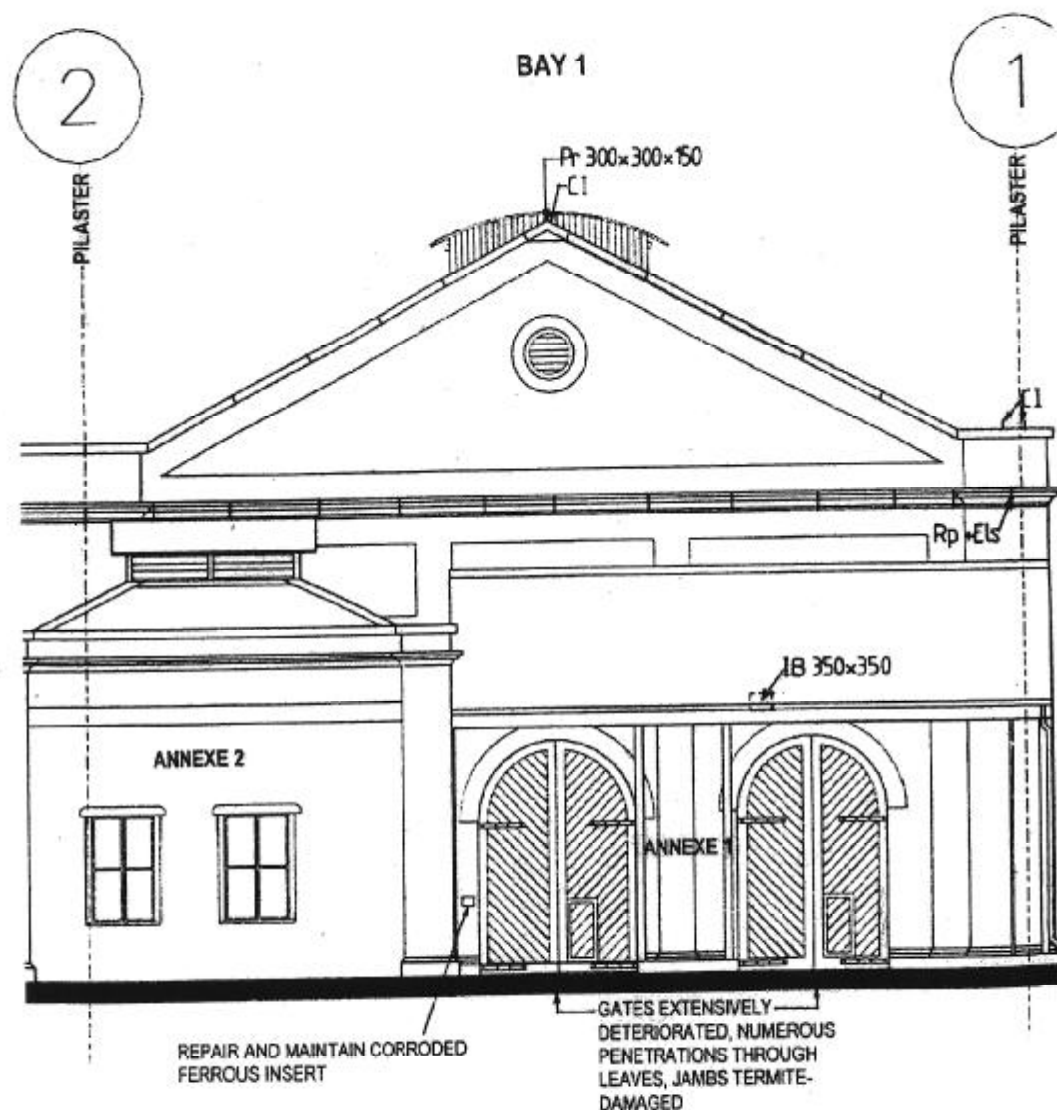


LOCATION Bay 1/I south

RECORD # 1

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input type="checkbox"/> NORTH            |
| <input type="checkbox"/> ROW            | <input checked="" type="checkbox"/> SOUTH |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 1

Bay 1/1 south

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R replace stone
- ☐ I Indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☒ C Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☒ Pr Patch stone with reinforcement
- ☐ IB Insert Brick
- ☐ Els Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☒ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☒ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☐ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 1/1 south

Record # 1

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Generally good condition. Minor repairs noted on drawing.	
STONEWORK					
coping	S1	C2	R3	Mortar fill & els horizontal stone joints	
weathering	N/A				
inserts	S3	C1	R3	Remove corroded inserts and patch as indicated in drawing.	
BRICKWORK					
rims	S1	C1	R2	Light wash and repoint as required. Structural assessment	Urgent
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C3	R3	Louvres covered by modern signage. See general note.	
UPPER WALL	S1	C3	R1	Light wash, repoint brick as required. Els stone joints.	
STONEWORK					
cornice	S1	C2	R3	Mortar fill & els horizontal stone joints and patch as indicated.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C3	R1		
panels	S1	C3	R1	Numerous attachments to panels in use. Monitor stability.	
panel under sill	N/A				
inserts	S2	C2	R3	Monitor inserts, repair if required, removal may damage	
STONEWORK					
window sills	N/A				
plinth	S1	C2	R3	Mortar fill & els horizontal stone joints.	
corbel	N/A				
inserts	S2	C2	R1	Monitor all inserts for corrosion.	
WINDOWS	N/A				
DOOR(S)	S1	C1	R2	Major termite damage to gates. Damage affecting stability....	URGENT

Record # 1

Bay 1/1 south

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRL	N/A				
THRESHOLD	S1	C3	R1	Mortar fill & els horizontal stone joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C3	R1	See general note for machinery.	
STEELWORK	N/A				
PILASTER					
STONWORK					
coping	S1	C2	R3	Remove corroded insert and patch stone.	
comice	S1	C2	R3	Mortar fill and els joints and repoint.	
plinth	S1	C3	R1		
inserts	S3	C1	R3	Remove corroded insert as indicated in drawing.	
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C3	R1	Monitor for water ingress. Light wash, repoint as required.	
down pipes	N/A				
inserts	S3	C2	R3	Monitor inserts for corrosion.	
END PILASTER					
STONWORKS					
coping	N/A				
comice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R2	Preserve Bay numbers immediately.	URGENT
OTHER 2					
OTHER 3					

## COMMENTS

Bay 1/1 south

Record # 1

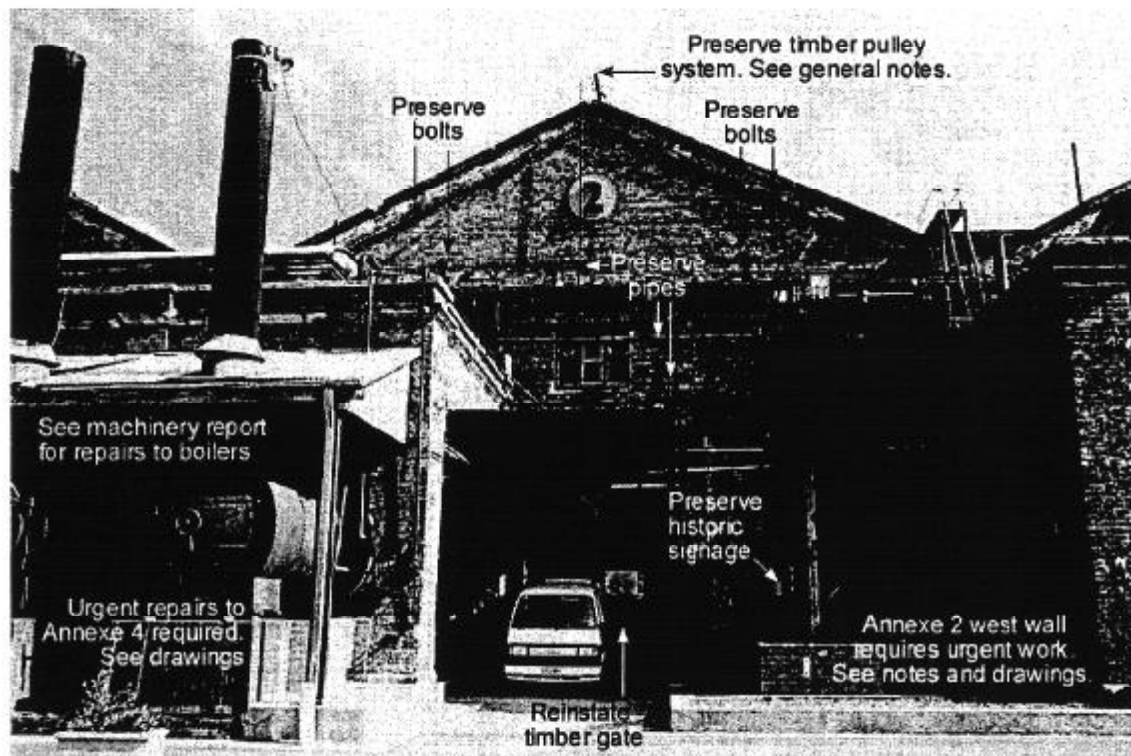
See separate entry for Annexe 2/ South.

The timber gates are severely deteriorated by termite damage and the many holes caused by the pipe inserts. Many of these pipes are still in use, so any repair work should be done in consultation with the blacksmith using the workshop, Guido Gouvernor. The holes in the gates are affecting stability and the gates should be repaired if possible (rather than replaced).

There is severe structural cracking in the brickwork where Annex 2 adjoins Bay 1. This is commented on in the general introduction to this fabric inventory. A structural engineering assessment is needed and urgent stabilisation and repair.

The brickwork in the gable rims in Bays 1 to 4 South are split on their bed planes indicating a possible problem with corroding embedded metal. There is crude repointing in this area and it is not known if the problem was adequately assessed and repaired. The fault needs structural assessment and repair.



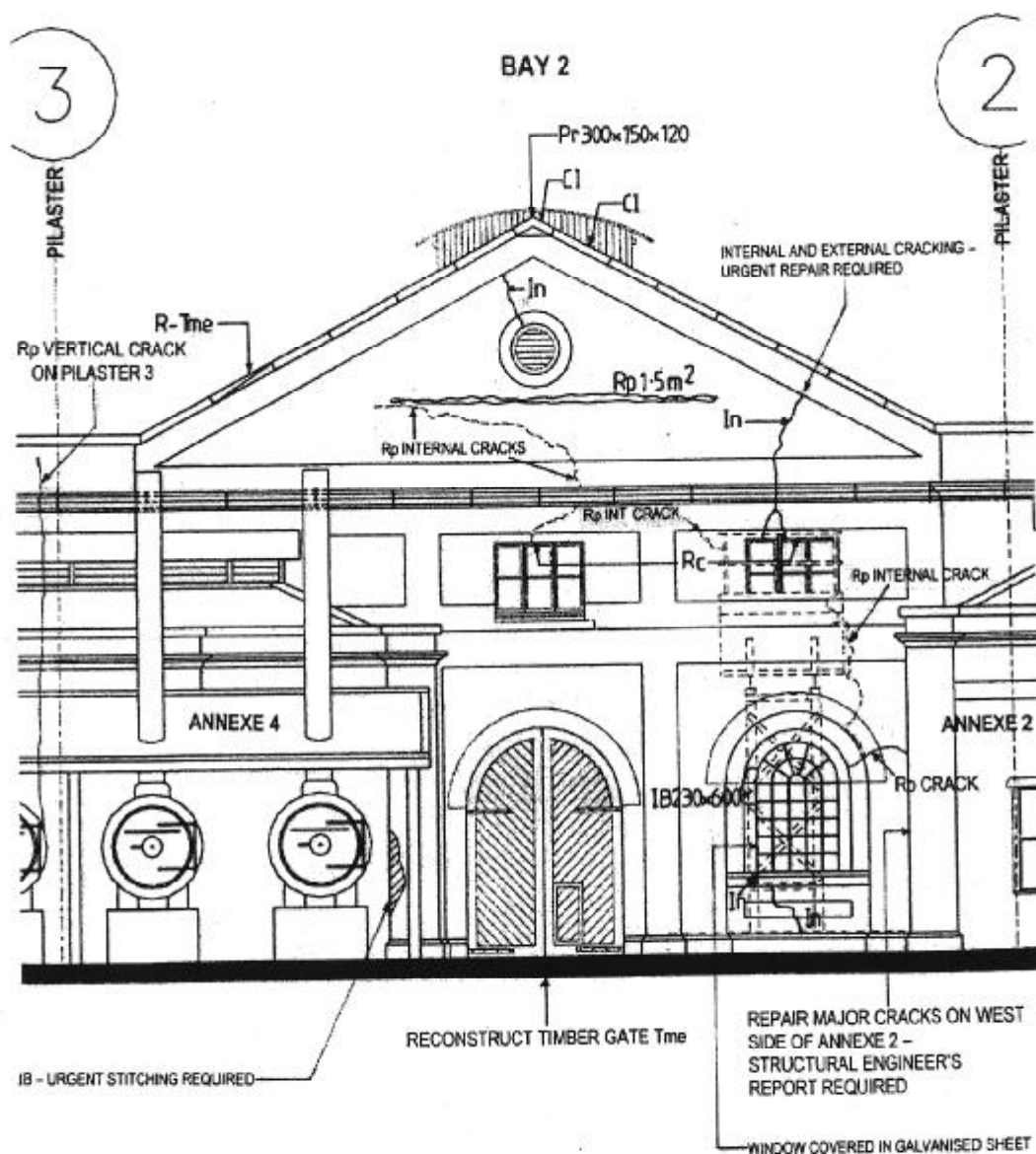


LOCATION Bay 2/2 south

RECORD # 2

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input type="checkbox"/> NORTH            |
| <input type="checkbox"/> ROW            | <input checked="" type="checkbox"/> SOUTH |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 2

Bay 2/2 south

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☒ R replace stone
- ☐ I indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☒ Ci Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☒ Pr Patch stone with reinforcement
- ☒ IB Insert Brick
- ☐ Els Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☒ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☐ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☒ Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 2/2 south

Record # 2

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C1	R3	Major internal & external cracking. Repair urgently.	URGENT
STONWORK					
coping	S2	C2	R3	Replace stone and patch where required. See drawing.	
weathering	N/A				
inserts	S3	C1	R3	Remove corroded inserts and patch stone.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required. Structural assessment	URGENT
panels	S1	C1	R2	Repair major cracking immediately. See drawing for details.	URGENT
inserts	N/A				
BULLSEYE	S1	C2	R3	Repair crack. Modern signage covers louvres. See general	
UPPER WALL	S1	C2	R3	Repair internal and external cracking as soon as possible.	URGENT
STONWORK					
cornice	S1	C2	R3	Repair cracks.	
BRICKWORK					
rims	S1	C1	R2	Repair internal cracking urgently.	URGENT
panels	S1	C2	R3	Repair internal/external cracking.	
inserts	N/A				
WINDOWS	S1	C2	R3	Apply rust converter to window heads.	
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint internal crack.	
arches	S1	C1	R2	Repoint internal and external cracking.	URGENT
panels	S1	C1	R2	Repair internal cracking.	URGENT
panel under sill	S1	C1	R2	Repair large crack.	URGENT
inserts	N/A				
STONWORK					
window sills	S1	C2	R3	Mortar fill & Els joints. Inject crack as indicated on drawing.	
plinth	S1	C2	R3	Plinth exfoliating. Mortar fill & Els joints.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C2	R3	Galvanised sheet covering window. Need further	
DOOR(S)	S1	C1	R3	Reconstruct timber gate.	

Record # 2

Bay 2/2 south

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Mortar fill and Els topside of joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C3	R1	Rust proof as required.	
STEELWORK	S1	C2	R1	See machinery report for recommended works.	
PILASTER	S1	C3	R1	Generally good condition. Light wash. Repoint. Els joints.	
STONEMWORK					
coping	S1	C3	R1	Mortar fill and Els joints.	
cornice	S1	C3	R1	Mortar fill and Els stone joints and crack.	
plinth	S1	C2	R3	Plinth exfoliating. Mortar fill and Els joints.	
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C3	R1	Light wash and repoint as required. Part obscured by Anx 2.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3	R1	Preserve historic signage.	
OTHER 2	S1	C2	R1	Stabilise and preserve timber pulley system (electrical insulators).	
OTHER 3					

## COMMENTS

Bay 2/2 south

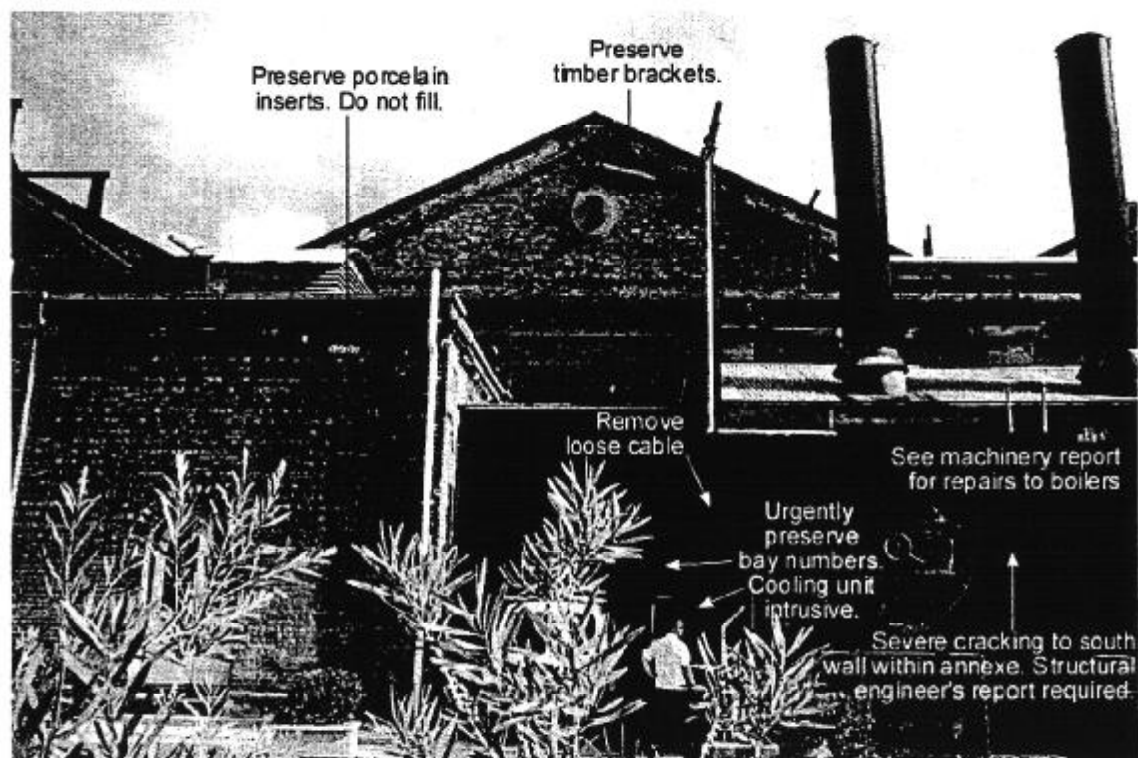
Record # 2

The brickwork in the gable rims in Bays 1 to 4 South are split on their bed planes indicating a possible problem with corroding embedded metal. There is crude repointing in this area and it is not known if the problem was adequately assessed and repaired. The fault needs structural assessment and repair.

A section of plinth is noted for repair. See general notes re plinths. New stone plinths were installed in sections of the east wall in 1995. Some of the stone is already cracked and exfoliating. The cause of this is not known but is likely to be inferior stone or chemical treatment to the stone at the time of installation. The repair of plinths needs further consideration. It may be preferable to treat with sacrificial render prior to installation of new stones. Care should be taken not to breach the asphalt damp proof course in any works to the plinth.

If the replacement or indenting of coping or cornice stones as recommended does not proceed then these stone should be monitored and made safe at least every two years. This is a matter of public safety.





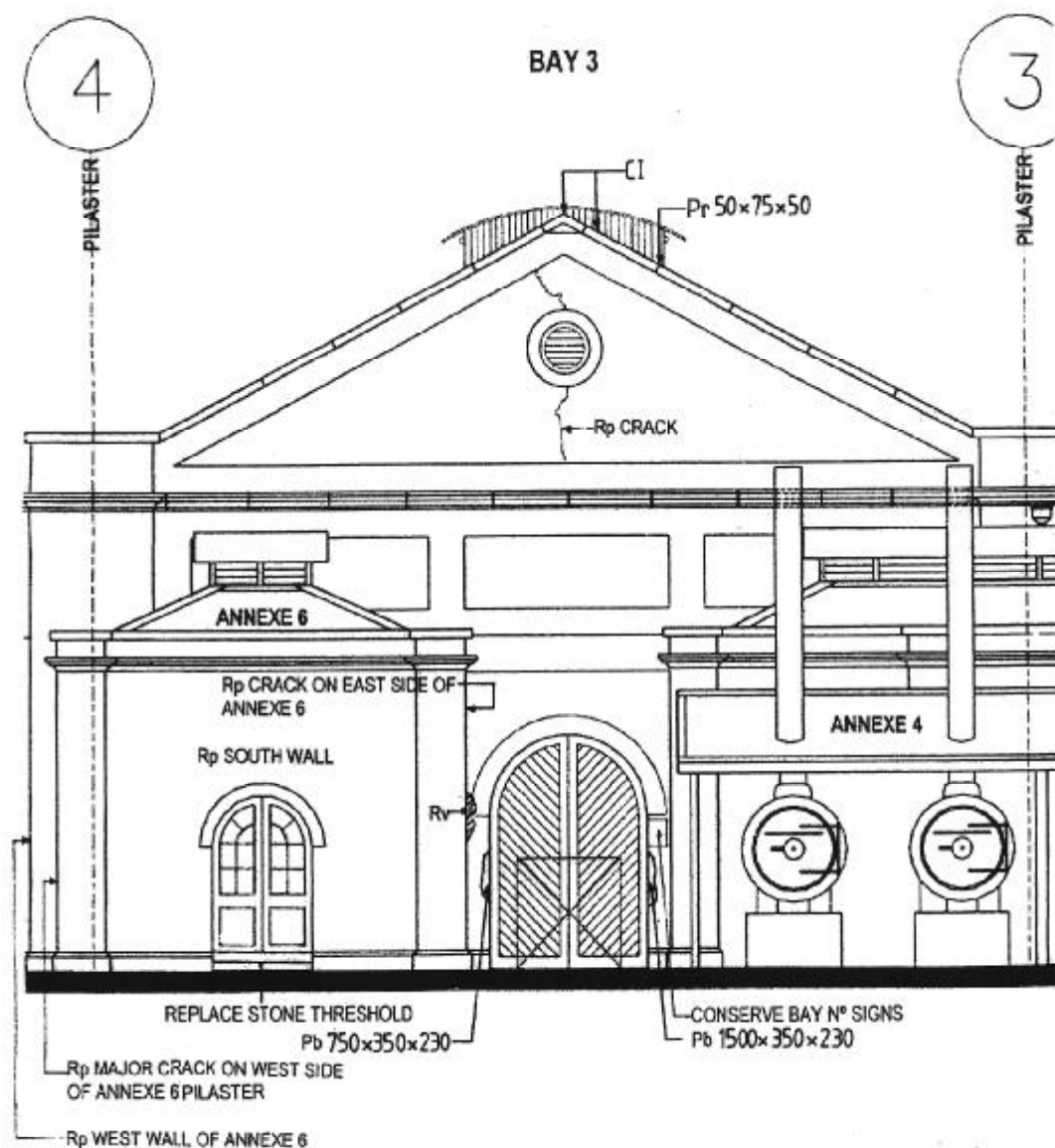
LOCATION Bay 3/3 south

RECORD # 3

☒ BAY  
☐ ROW  
☐ ANNEXE

☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 3

Bay 3/3 south

**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R replace stone
- ☐ I indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☒ Co Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☒ Pr Patch stone with reinforcement
- ☐ IB Insert Brick
- ☐ Els Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☐ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☒ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☒ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 3/3 south

Record # 3

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repair large crack. Patch as indicated. Light wash, repoint.	
STONework					
coping	S1	C2	R3	Patch where indicated in drawing. Fill & Els joints.	
weathering	N/A				
inserts	S3	C1	R3	Remove corroded inserts & patch stone as drawing indicates	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required. Structural assessment	URGENT
panels	S1	C1	R2	Repair large crack.	URGENT
inserts	N/A				
BULLSEYE	S1	C3	R3	Louvres covered by modern signage. See general note.	
UPPER WALL	S1	C3	R1		
STONework					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C2	R1	Internal cracking. Structural engineer's report required.	URGENT
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Monitor for internal cracking.	
arches	S1	C1	R2	Remove vegetation. Stitch brickwork urgently. Preserve	URGENT
panels	S1	C2	R3	Severe internal cracking. Structural engineer's report	URGENT
panel under sill	N/A				
inserts	N/A				
STONework					
window sills	N/A				
plinth	S1	C2	R3	Plinth exfoliating. Mortar fill and Els topside of joints.	
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
Door(s)	S1	C2	R1		

Record # 3

Bay 3/3 south

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	S1	C2	R3	Threshold exfoliating. Mortar fill and Els joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C3	R1	See machinery report for further detail.	
STEELWORK	S1	C3	R1	See machinery report for further detail.	
PILASTER	S1	C2	R3		
STONEMWORK					
coping	S1	C2	R3	Mortar fill and Els joints.	
cornice	S1	C2	R3	Mortar fill and Els joints.	
plinth	S1	C2	R3	Mortar fill and Els joints. Exfoliating plinth.	
inserts	Nil				
BRICKWORK					
parapet	S1	C1	R2	Repair major cracking	URGENT
body	S1	C1	R2	Repair severe vertical crack immediately	URGENT
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1					
OTHER 2					
OTHER 3					

Bay 3/3 south

Record # 3

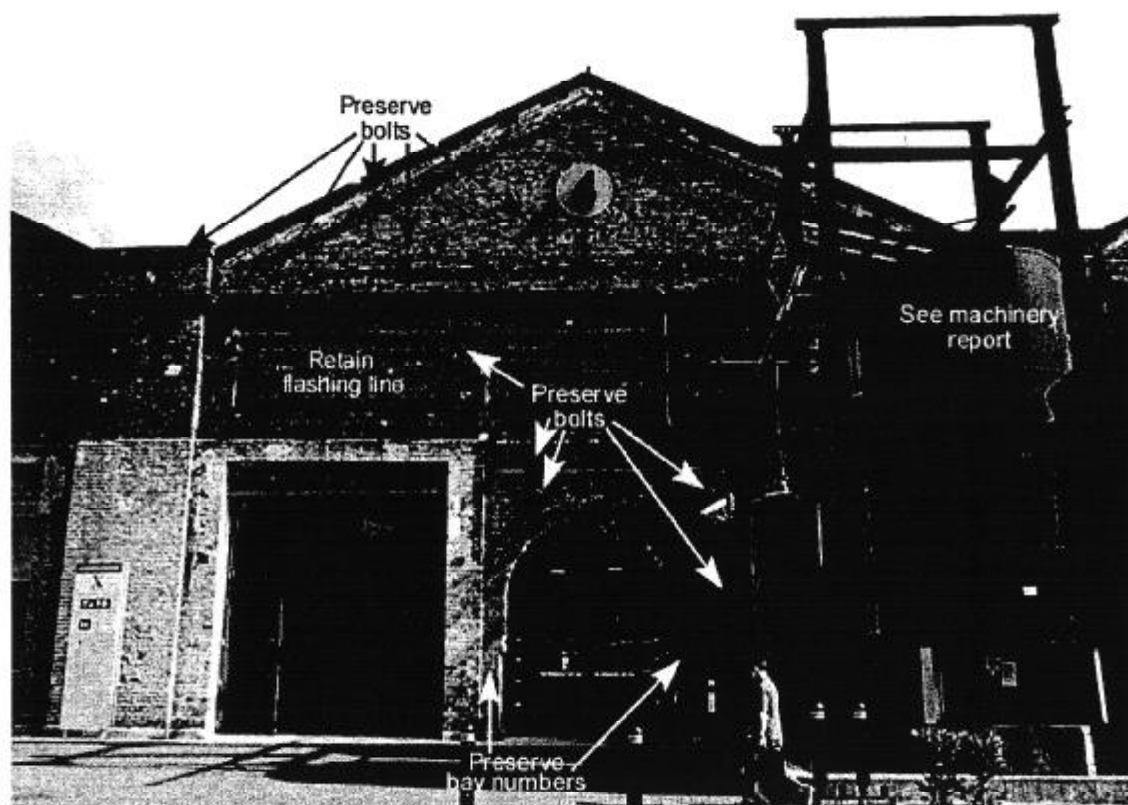
## COMMENTS

See separate entry for annexe 4 and machinery report for boilers.

The brickwork in the gable rims in Bays 1 to 4 South are split on their bed planes indicating a possible problem with corroding embedded metal. There is crude repointing in this area and it is not known if the problem was adequately assessed and repaired. The fault needs structural assessment and repair.

A section of plinth is noted for repair. See general notes re plinths. The repair of plinths needs further consideration. It may be preferable to treat with sacrificial render. Care should be taken not to breach the asphalt damp proof course in any works to the plinth.



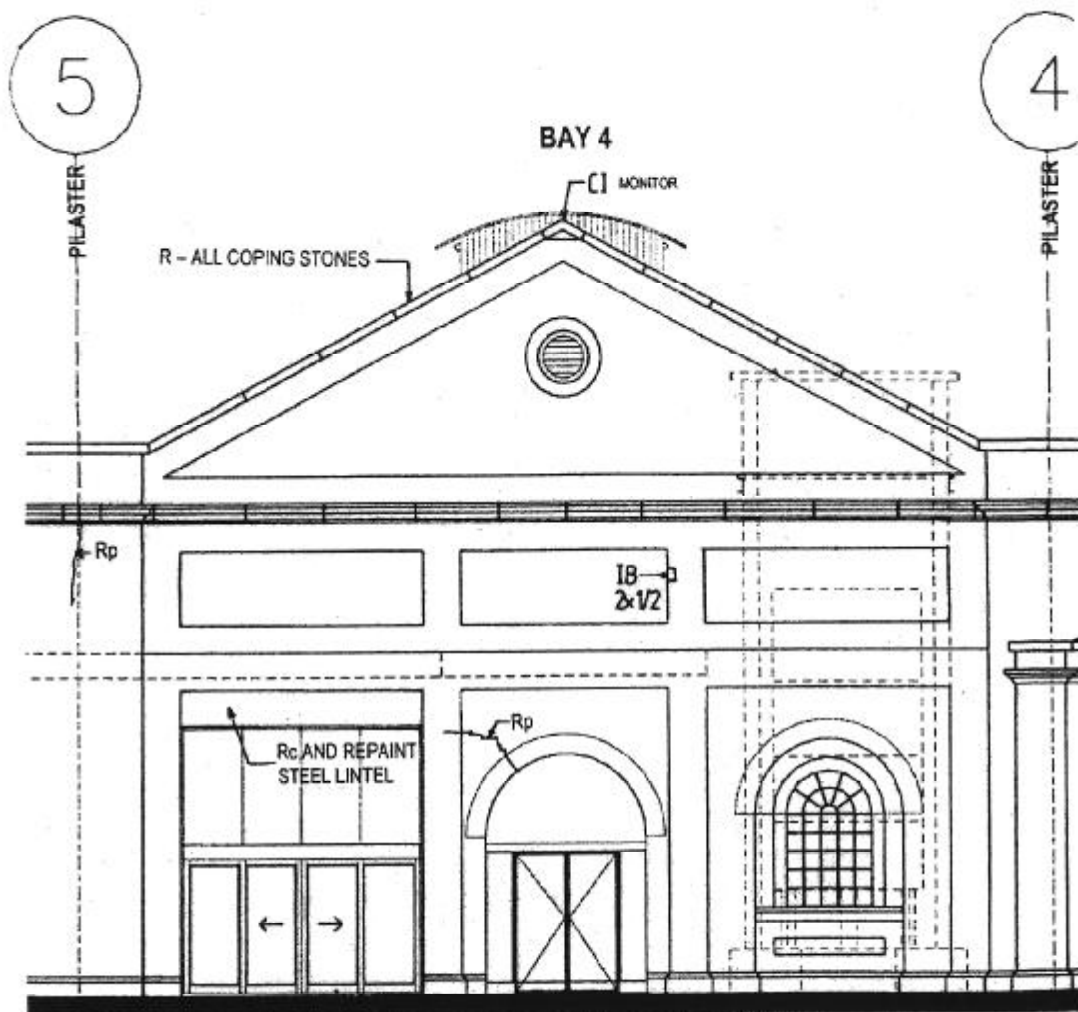


LOCATION Bay 4/4 south

RECORD # 4

- |                                         |                                           |
|-----------------------------------------|-------------------------------------------|
| <input checked="" type="checkbox"/> BAY | <input type="checkbox"/> NORTH            |
| <input type="checkbox"/> ROW            | <input checked="" type="checkbox"/> SOUTH |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST             |
|                                         | <input type="checkbox"/> WEST             |

☒ URGENT WORK  
 ☒ HP [HIGH PRIORITY]  
 ☐ INTRUSIVE  
 ☒ INTERPRET



Record # 4

Bay 4/4 south

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                             |                                                                                              |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input type="checkbox"/> In Inject crack with epoxy mixture                                  |
| <input type="checkbox"/> I Indent stone                                                     | <input checked="" type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                               |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping               |
| <input checked="" type="checkbox"/> C Corroded insert, remove and epoxy patch               | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep                  |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                                |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                                  |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                          |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input checked="" type="checkbox"/> Ot Other, see "Notes"                                    |

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Bay 4/4 south

Record # 4

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C1	R3	Brickwork in good condition but coping needs replacing	URGENT
STONework					
coping	S1	C1	R2	Replace all coping stones, except apex stone.	URGENT
weathering	N/A				
inserts	S3	C1	R3	Remove insert and patch apex stone.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required. Structural assessment	URGENT
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
BULLSEYE	S1	C3	R3	Louvres covered by modern signage. See general note.	
UPPER WALL	S1	C3	R1	Good condition. Light wash, repoint as required.	
STONework					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required. Insert brick indicated.	
panels	S1	C3	R1	Light wash, repoint as required. Retain flashing line.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
arches	S1	C2	R3	Repoint crack.	HP
panels	S1	C2	R3	Repoint crack.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C2	R3	Mortar fill & Els joints	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	S3	C3	R1	New glazed doors installed 1995.	

Record # 4

Bay 4/4 south

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1	Interpret former rope annex.	Interpret
THRESHOLD	S1	C2	R3	Mortar fill and Els topside of joints.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R3	Apply rust converter to steel lintel. Repaint.	
PILASTER	S1	C3	R1	Generally good condition. Light wash, repoint. Els joints	
STONEWORK coping	S1	C2	R3	Mortar Fill & Els joints.	
cornice	S1	C3	R1	Mortar Fill & Els joints.	
plinth	S1	C3	R1	Mortar Fill & Els joints.	
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C3	R1	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C3		Interpret location of rope annex.	Interpret
OTHER 2					
OTHER 3					

## COMMENTS

Bay 4/4 south

Record # 4

The glazed opening at left was the location of the "lottery ticket wall" now conserved and stored in Bays 1 or 2. There was an annex in this location known as the rope annex which was removed in 1995. The lottery tickets were adhered to a tarpulin hung in the opening and faced out. This should be interpreted at this location (the item may not be able to be displayed here because of exposure to the sun).

The brickwork in the gable rills in Bays 1 to 4 South are split on their bed planes indicating a possible problem with corroding embedded metal. There is crude repointing in this area and it is not known if the problem was adequately assessed and repaired. The fault needs structural assessment and repair.

A section of plinth is noted for repair. See general notes re plinths. The repair of plinths needs further consideration. It may be preferable to treat with sacrificial render. Care should be taken not to breach the asphalt damp proof course in any works to the plinth.

If the replacement or indenting of coping or cornice stones as recommended does not proceed then these stone should be monitored and made safe at least every two years. This is a matter of public safety.



# EVELEIGH LOCOMOTIVE WORKSHOPS

## FABRIC INVENTORY

Key:  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - bad C2 - poor C3 - good  
 RI - maintain R2 - urgent work R3 - repair

Bay 16/15 south

Record # 15

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
<b>REDIMENT/PART</b>					
<b>Stonework</b>					
caping	S1	C2	R3	Repoint. Replace coping stones. Es joints. Monitor inserts.	HP
weathering	N/A	C2	R3	Replace cornice stones shown. Fill and Es joints.	HP
inserts	S3	C2	R3	Remove corroded insert and patch apex stone.	
<b>Brickwork</b>					
rim	S1	C2	R3	Repoint rim. Light wash as required.	
panels	S1	C2	R3	Repoint. Light wash as required.	
inserts	N/A				
balustrade	S1	C2	R3	Louvers covered by modern signage. See general note.	
<b>UPPER WALL</b>					
<b>Stonework</b>					
cornice	S1	C3	RI	Light wash and repoint as required.	
<b>Brickwork</b>					
rim	S1	C3	RI	Light wash and repoint as required.	
panels	S1	C3	RI	Light wash and repoint as required. Retain flashing line.	
inserts	S2	C3	RI	Monitor timber block.	
Windows	N/A				
Louvers	N/A				
<b>LOWER WALL</b>					
<b>Brickwork</b>					
rim	S1	C3	RI	Light wash and repoint as required.	
arches	S1	C2	R3	Repair minor crack. Insert brick.	
panels	S1	C3	RI	Light wash and repoint as required. Tar line neutral.	
panel under all	S1	C3	RI	Light wash and repoint as required.	
inserts	N/A				
<b>Stonework</b>					
window sills	S1	C2	R3	Repair crack. Mortar fill & Es joints.	
plinth	S1	C3	RI		
cornice	S1	C3	RI	This is the only bay with corbels intact. Preserve and integrate.	
inserts	N/A				
Windows	S1	C3	RI		
Door(s)	S3	C3	RI	New glazed door added in 1995.	Done

Record # 15

Bay 16/15 south

key  
 S1 - high, S2 - moderate, S3 - low, S4 - intrusive  
 C1 - bad, C2 - poor, C3 - good  
 R1 - maintain, R2 - urgent work, R3 - repair

SIGNIFICANCE

CONDITION

RECOMMENDATION

DESCRIPTION

RECOMMENDED WORKS

NOTES

lower wall damaged

GUANO HALL	S1	C3	R1		
THRESHOLD	S1	C3	R1		
Timber Framed WALL	N/A				
SERVICE PITS	S1	C2	R3		Rust proof corroded pipes.
STEELWORK	N/A				

PLASTER

STONEWORK coping	S1	C2	R3		Elis joints. Light wash & repaint as required.
cornice	S1	C2	R3		Mortar fill and Elis joints
plinth	S1	C2	R3		Mortar fill and Elis joints
inserts	N/A				Annexe 20a conceals plinth. Unable to inspect.

BRICKWORK

parquet	S1	C3	R1		Light wash and repaint as required.
body	S1				Annexe 20a conceals plinth and body. Unable to inspect.
down pipes	N/A				
inserts	N/A				

END PLASTER

STONEWORK coping	S1	C1	R3		Replace coping stone.
cornice	S1	C2	R3		Mortar fill and Elis joints.
plinth	S1	C3	R1		Mortar fill and Elis joints.
inserts	N/A				

BRICKWORK

parquet	S1	C2	R3		Repaint entire parquet. Light wash as required.
body	S1	C2	R3		Repaint. Insert bricks as indicated. Light wash as required.
pipes	N/A				
inserts	N/A				

OTHER 1

OTHER 1	S1	C2	R3		Repair or replace timber electrical frame. See general notes.
OTHER 2	S4		R3		Remove intrusive electrical cables. See photo.
OTHER 3					

Bay 16/15 south

Record # 15

## COMMENTS

Further investigate line of tar across lower panel. This may be remnant weatherproofing from a former annex building. Monitor this area for corrosion and water ingress.

Timber frame holding electrical cabling is hanging precariously and should be made safe immediately. The timber bracket is of neutral significance and may be repaired or reattached as desired.

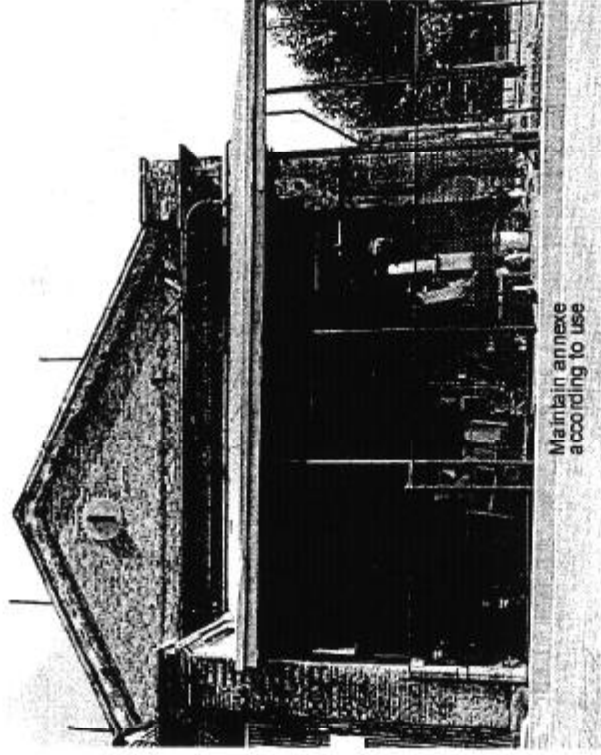
Orange pipes and cabling visually intrusive. Remove if possible, or consider more sympathetic solution.

If the replacement or indenting of coping or cornice stones as recommended does not proceed then these stone should be monitored and made safe at least every two years. This is a matter of public safety.



SOUTH WALL ANNEXES  
INVENTORY SHEETS

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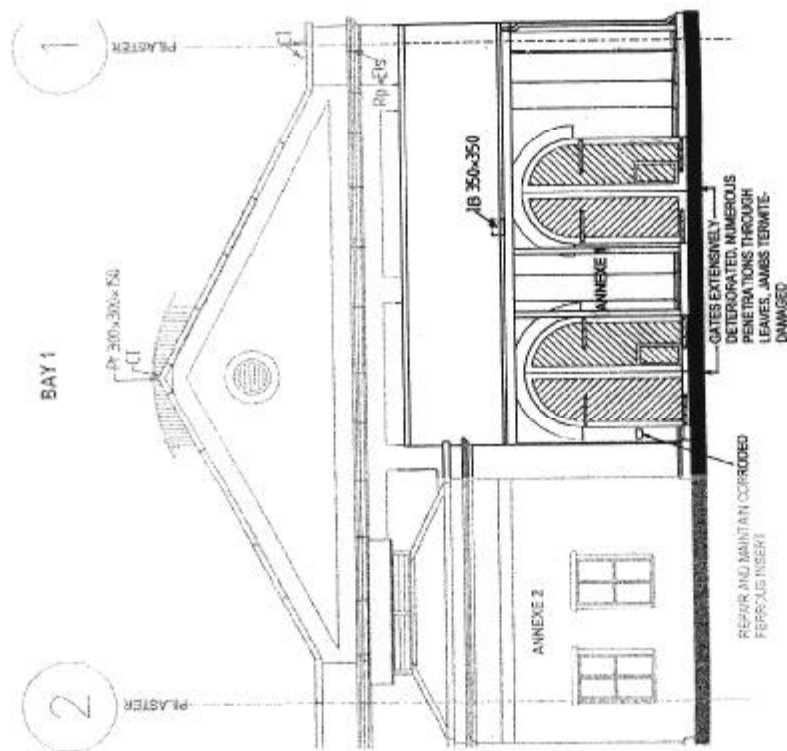


LOCATION Annexe 1/ South

RECORD # 1

- ☐ BAY  
☐ ROW  
☒ ANNEXE
- ☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

- ☐ URGENT WORK  
☒ HP [HIGH PRIORITY]  
☐ INTRUSIVE  
☐ INTERPRET



Record # 1 Annex 1 / South

NOTE: FILL OPEN JOINTS IN STONE CORNICE AND SILLS WITH LIME MORTAR &amp; POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R Replace stone  
☐ I Insert stone  
☐ H Historic painted stone insert  
☒ Rp Re point  
☐ C Corroded insert, remove and epoxy patch  
☐ P Patch epoxy patch  
☐ Pr Patch stone with reinforcement  
☒ B Mortar fill joint, elastomeric sealant and backing rod to top  
☐ Eb Mortar fill joint, elastomeric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture  
☐ Rc Apply rust-converter to corroded ferrous metal insert  
☐ Tm To match existing  
☐ Znc New Zincstone capping to replace corroded rapping  
☐ Rv Remove vegetation and rake out pins 20mm deep  
☐ MS Make safe by removing loose stone  
☐ Rb Patch brickwork  
☐ Rb Replaster of brick surface of wall  
☐ Cn Other, see Notes

Key  
S1 - high S2 - moderate S3 - low S4 - intrusive  
C1 - best C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

Annexe II South

Record # 1

DESCRIPTION	SEVERANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
RED MENTIPARAPET	N/A				
Stonework					
coping	N/A				
weathering	N/A				
inserts	N/A				
BROWWORK					
rms	N/A				
panels	N/A				
inserts	N/A				
BALUSTE	N/A				
UPPER WALL	N/A				
Stonework					
cornice	N/A				
Backwork					
rms	N/A				
panels	N/A				
inserts	N/A				
Windows	N/A				
Louvers	N/A				
LOWER WALL					
Backwork					
rm	N/A				
arches	N/A				
panels	N/A				
panel under sill	N/A				
inserts	N/A				
Stonework					
window sills	N/A				
plinth	N/A				
corbel	N/A				
inserts	N/A				
Windows	N/A				
Doors(s)					

Record # 1

Annexe 1/ South

key  
 S1 - high S2 - moderate S3 - low S4 - valuable  
 C1 - bad C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

SIGNIFICANCE  
 CONDITION  
 RECOMMENDATION

DESCRIPTION

RECOMMENDED WORKS

NOTES

lower wall continued

GLAZED BRICK

THRESHOLD

TRADING FACILITY

WALL

SERVICE PIPES

STEELWORK

PLASTER

STONEWORK

CORNER

CORNER

PLINTH

INSERTS

BROWN

PARQUET

BAND

DOWN SLOPE

INSERTS

END PLASTER

STONEWORK

CORNER

CORNER

PLINTH

INSERTS

BROWN

PARQUET

BAND

PIPES

INSERTS

OTHER 1

OTHER 2

OTHER 3

Annex 1 / South

Record # 1

## COMMENTS

Annex 1 is a simple lean-to addition with railway steel columns of railway tracks and a corrugated steel roof. It should be maintained as an open sided under cover space as far as possible. However, this annex is currently operating as a workshop for Wrought Artworks. The De Burge snears are immediately inside the east wall and when operating could constitute a public risk.

The existing fabric is not of particular significance but the annex form and materials should be retained. The structure should be generally maintained. New elements may be necessary for continued operational safety.



Repair major cracking  
on west wall of annexe  
URGENTLY. Structural  
engineer's report required.



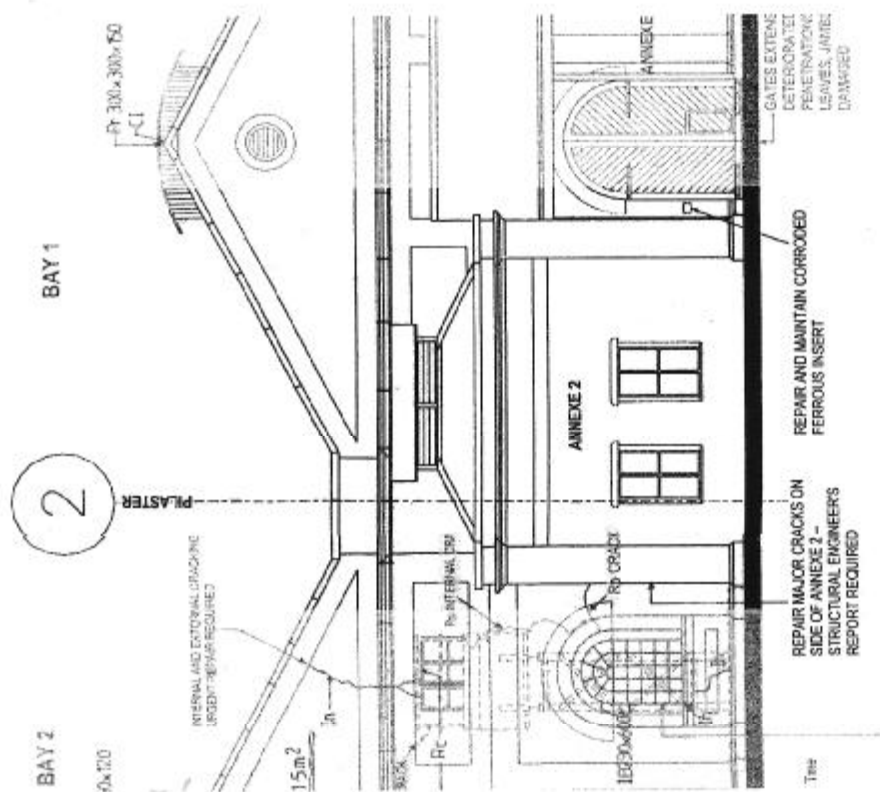
LOCATION Annexe 2/South

RECORD # 5

☐ BAY  
☐ ROW  
☒ ANNEXE

☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 5 Annex 2 / South

- ☐ R replace stone
- ☐ I Invert stone
- ☐ H Hammer jointed stone insert
- ☒ Rp Re point
- ☐ C Combed insert, remove and epoxy patch
- ☐ Sp Small epoxy patch
- ☐ R Patch stone with reinforcement
- ☐ B Insert Brick
- ☐ Es Mortar fill joint, stainless-steel wall and backing rod to top

- ☐ In Inject crack with epoxy masonry
- ☒ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Tm To match existing
- ☐ Znc New Zinc anode capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joint 20mm deep
- ☐ M5 Make safe by removing loose stone
- ☐ P5 Patch brickwork
- ☐ R5 Reconstruction of brick surface of wall
- ☐ OX Other, see 'Notes'

Key:  
S1 - high S3 - moderate S3 - low S4 - extensive  
C1 - bad C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

Annexe 2 South

Record # 5

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
<b>PEDIMENT/PARAPET</b>	S1	C3	R1	Good condition. Els joints. Light wash, repaint as required.	
Stonework					
upping	S1	C3	R1	Mortar fill and els joints.	
weathering	N/A				
masonry	N/A				
<b>BROWSE</b>					
masonry	S1	C3	R1	Light wash and repaint as required.	
panels	N/A				
masonry	N/A				
Bullseye	N/A				
<b>UPPER WALL</b>	S1	C2	R3	Els stone joints. Light wash, repaint brickwork as required.	
Stonework					
cornice	S1	C2	R3	Mortar fill and els joints.	
<b>BROWSE</b>					
masonry	S1	C3	R1	Light wash and repaint as required.	
panels	N/A				
masonry	N/A				
Windows	N/A				
Louvre	N/A				
<b>LOWER WALL</b>					
Stonework					
masonry	N/A				
arches	N/A				
panels	N/A				
panel under sill	N/A				
masonry	N/A				
<b>Stonework</b>					
window sills	N/A				
panels	S1	C2	R3	Plinth exfoliating severely. Repair	HP
curtain	N/A				
masonry	N/A				
Windows	S2	C2	R3	Apply rust converter to window heads as required.	
Door(s)	N/A				



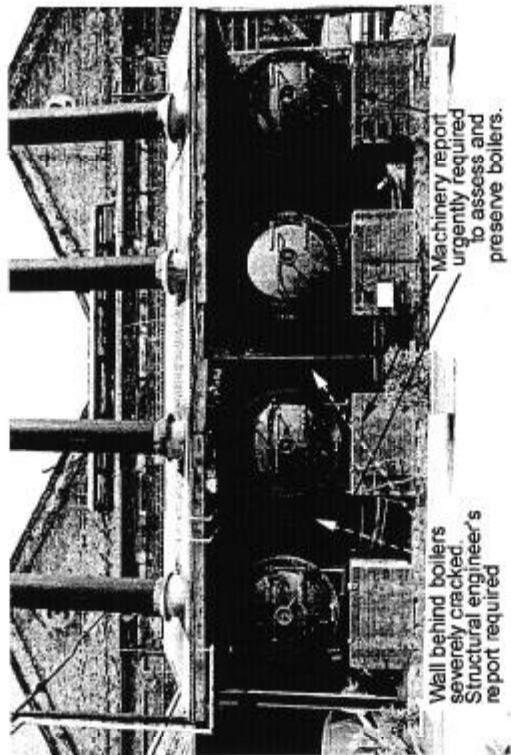
Annexe 2 / South

Record # 5

## COMMENTS

Large internal and external cracks indicate structural instability in Annexe 2. A structural engineer's report is required particularly to assess the west wall. Stabilising and repairing Annexe 2 should be given highest priority. See also the Fabric Inventory report for a more detailed study of the interior fabric.





Wall behind boilers  
severely cracked.  
Structural engineer's  
report required

Machinery report  
urgently required  
to assess and  
preserve boilers.

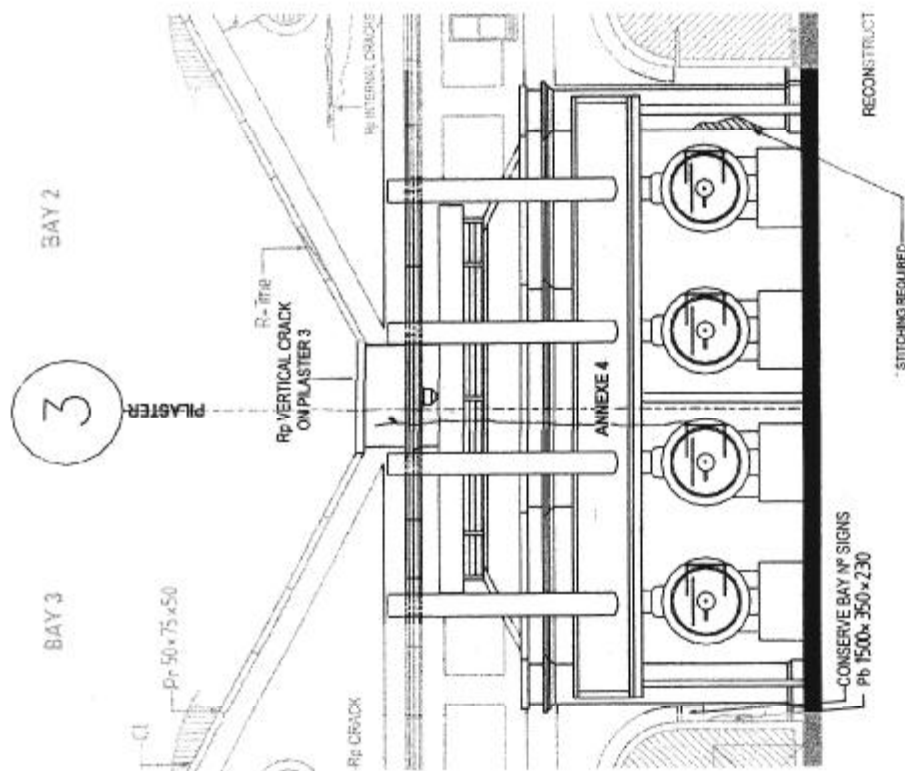
LOCATION Annexe 4 / South

RECORD # 7

☐ BAY  
☐ ROW  
☒ ANNEXE

☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 7

Annexe 4 / South

- |                                                                                            |                                                                                   |
|--------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R. replace stone                                                  | <input type="checkbox"/> In. Inject crack with epoxy mixture                      |
| <input type="checkbox"/> I. inject stone                                                   | <input type="checkbox"/> R. Apply rust converter to corroded ferrous metal insert |
| <input type="checkbox"/> H. Harline pointed stone insert                                   | <input type="checkbox"/> T. To much existing                                      |
| <input checked="" type="checkbox"/> R. Re point                                            | <input type="checkbox"/> Z. New Zincalume cladding to replace corroded cladding   |
| <input type="checkbox"/> C. Corroded insert, remove and epoxy patch                        | <input type="checkbox"/> R. Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> P. Small epoxy patch                                              | <input type="checkbox"/> M. Make safe by removing loose stone                     |
| <input type="checkbox"/> R. Patch stone with reinforcement                                 | <input type="checkbox"/> P. Patch bondwork                                        |
| <input type="checkbox"/> B. Insert Back                                                    | <input type="checkbox"/> R. Reconstruction of brick surface of wall               |
| <input type="checkbox"/> B. Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> O. Other, see "Notes"                                    |

Key  
S1 - high S2 - moderate S3 - low S4 - intrusive  
C1 - bad C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

Record # 7

Annexe 4 / South

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	N/A				
Stonework					
coping	N/A				
weathering	N/A				
risers	N/A				
Backwork					
risers	N/A				
panels	N/A				
risers	N/A				
Bluestone	N/A				
UPPER WALL	N/A				
Stonework					
cornice	N/A				
Backwork					
risers	N/A				
panels	N/A				
risers	N/A				
Windows	N/A				
Louvers	N/A				
LOWER WALL					
Backwork					
risers	S1	C1	R2	Severe cracking. Urgent attention - consult machinery report.	URGENT
arches	N/A				
panels	S1	C1	R2	Severe cracking. Urgent attention - consult machinery report.	URGENT
panels under	N/A				
risers	N/A				
Stonework					
windows	N/A				
panels	N/A			Not surveyable	
corbel	N/A				
risers	N/A				
Windows					
Door(s)					

Record # 7

Annexe 4 / South

low  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - bad C2 - poor C3 - good  
 R1 - mortar R2 - urgent work R3 - repair

DESCRIPTION	SURFANCE	CONDITION	REPAIRATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED BRICK	N/A				
THRESHOLD	N/A				
TERRAZZO FLOOR	N/A				
WALL	N/A				
SKIN PLATE	N/A				
SKINWORK	S1	C1	R2	Urgently preserve boilers. Consult machinery report.	URGENT
PLASTER					
STONEWORK	S1	C1	R3	Repair vertical cracks in plaster 3. Eas joints.	
copied	S1	C3	R3	Mortar fill and eas joints	
concrete	S1	C3	R3	Mortar fill and eas joints	
plaster	S1	C3	R3	Mortar fill and eas joints	
inserts	Nil				
Brickwork					
parapet	S1	C3	R1	Light wash and repair as required.	
body	S1	C1	R3	Repair large vertical cracks in plaster.	HP
down pipes	S1	C1	R1	Internal downpipes caused cracking, now diverted but intact.	Done
vents	Nil				
END PLASTER					
STONEWORK	S2	C1	R3	Urgently stitch eastern pillar. West pillar good condition.	URGENT
copied	N/A				
concrete	N/A				
plaster	N/A				
vents	Nil				
Brickwork					
parapet	N/A				
body	S2	C1	R3	Stitch brickwork urgently in eastern pillar. Light wash, repair.	Urgent
pipes	N/A				
vents	Nil				
OTHER 1					
OTHER 2					
OTHER 3					

Annexe 4 / South

Record # 7

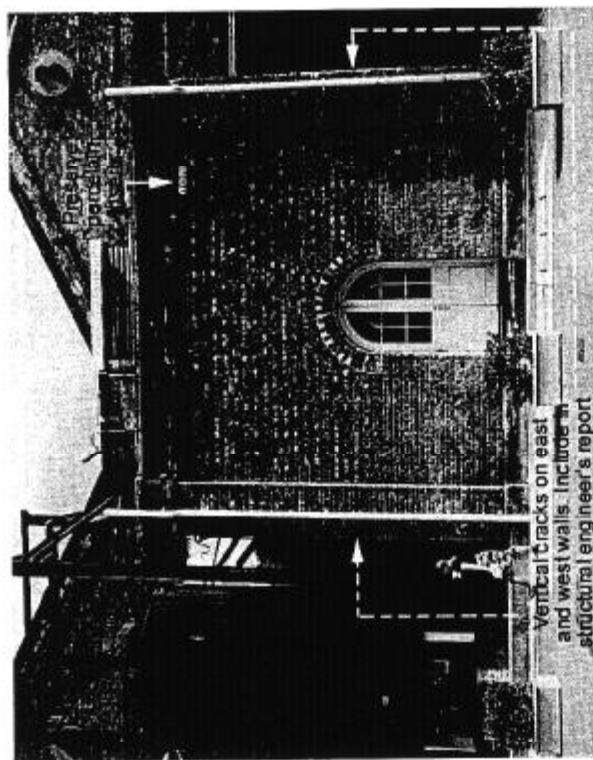
## COMMENTS

Annexe 4 is in very bad condition and is structurally unstable. It was originally a brick annex but when larger boilers were installed a large steel beam was inserted and a light weight lean-to annex added. The two parts of the annex should be conserved in this form.

A structural engineer's report is required to assess severe cracking on the back wall and the overall condition of the annex. Cracks should then be repaired as soon as possible in consultation with this report. The eastern plaster brickwork needs to be stitched urgently. The four boilers are also severely deteriorating and the pit below them has blocked stormwater drains and fills with water. The boiler insulation is loose and should be assessed as it may be asbestos.

Recommendations for preservation of the boilers should be outlined in the machinery report. Interpretive signage could also be prepared.

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LOCATION

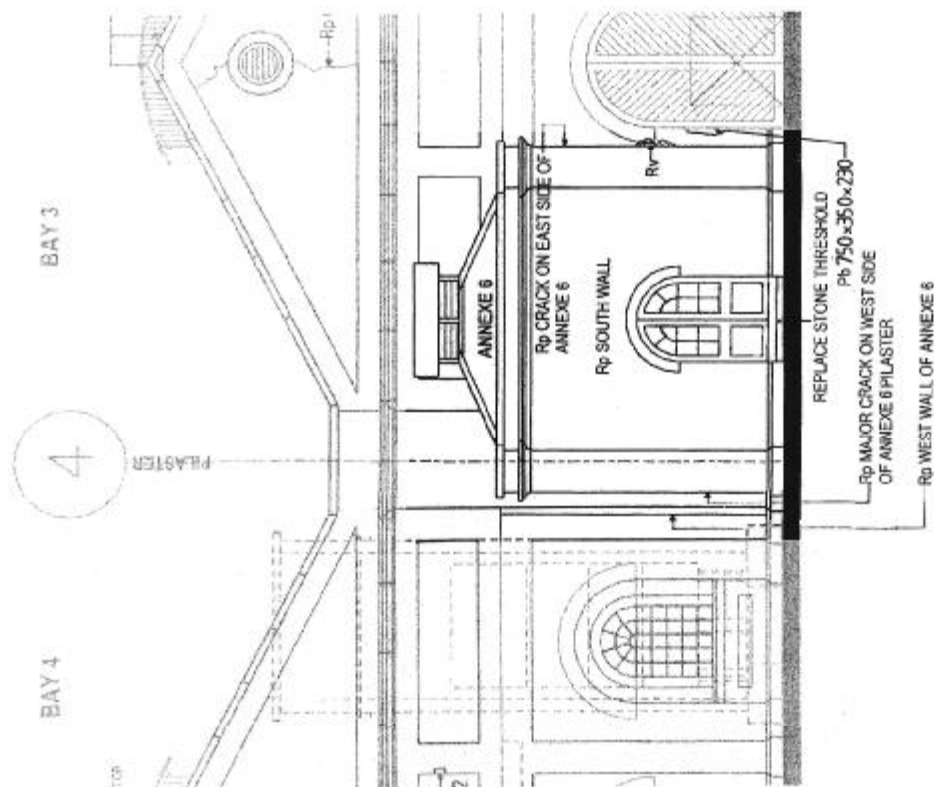
Annexe 6 / South

RECORD # 1

☐ BAY  
☐ ROW  
☒ ANNEXE

☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☒ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 1

- |                                         |                                                       |
|-----------------------------------------|-------------------------------------------------------|
| <input checked="" type="checkbox"/> R   | Replace stone                                         |
| <input type="checkbox"/> I              | Insert stone                                          |
| <input type="checkbox"/> H              | Hammer jointed stone insert                           |
| <input type="checkbox"/> R <sub>0</sub> | Re point                                              |
| <input type="checkbox"/> C              | Crushed insert, remove and epoxy patch                |
| <input type="checkbox"/> P <sub>0</sub> | Small epoxy patch                                     |
| <input type="checkbox"/> P <sub>1</sub> | Patch stone with reinforcement                        |
| <input type="checkbox"/> B              | Insert brick                                          |
| <input type="checkbox"/> E              | Monitor fill joint, elastomeric sealant, and backfill |

- |     |                                                      |
|-----|------------------------------------------------------|
| In  | Inject crack with epoxy mixture                      |
| Itc | Apply nut-converter to corroded ferrous metal insert |
| Tr  | True 0.001 inch existing                             |
| Zac | New Zinc-chrome coating to reduce corrosion against  |
| Rc  | Remove vegetation and raise out onto 20mm deep       |
| MS  | Make safe by removing loose stone                    |
| Pb  | Patch brickwork                                      |
| Rb  | Reconstruction of brick surface of wall              |
| On  | Other, see "Notes"                                   |

OTTO CSERHÁLM + PARTNERS P/L 2003

Date of print 25/08/2003 2

key  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - best C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

Annexe 6 / South

Record # 1

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDESTAL/PARAPET	S1	C2	R3	Es joints. Light wash and repoint as required.	
Stonework					
coping	S1	C2	R3	Mortar fill and els joints	
weathering	N/A				
inserts	N/A				
Brickwork					
reins	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
Built-in	N/A				
UPPER WALL	S1	C2	R3	Patch stone, els joints. Light wash.	
Stonework					
cornice	S1	C2	R3	Mortar fill, els joints. Patch stone. Light wash.	
Brickwork					
reins	N/A				
panels	N/A				
inserts	N/A				
Windows	N/A				
LOUVER	N/A				
LOWER WALL					
Brickwork					
rim	N/A				
arches	S1	C1	R1	Monitor.	
panels	S1	C1	R2	West & east walls - repair severe cracking. Repoint south.	URGENT
panel under	N/A				
sill	N/A				
inserts	N/A				
Stonework					
window sills	N/A				
panels	S1	C3	R1	Mortar fill and els joints.	
corbel	N/A				
inserts	N/A				
Windows	N/A				
Door(s)	S2	C3	R1		

Record # 1

Annexe 6 / South

key  
 S1 - high, S2 - moderate, S3 - low, S4 - intrusive  
 C1 - bad, C2 - poor, C3 - good  
 R1 - minor, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	NOTES
lower wall continued				
QUARTZ FILL	S2	C3	R1	
THRESHOLD	S1	C1	R3	Replace stone threshold
TIMBER FINISHED WALL	N/A			
SERVICE PIPES	N/A			
STEELWORK	N/A			
PLASTER				
STONEWORK coping	S1	C2	R3	Repoint, patch brickwork. Repair any cracks. EIS joints. HP
corner	S1	C2	R3	Mortar fill and EIS joints.
plinth	S1	C3	R1	Mortar fill and EIS joints. Light wash.
inserts	N/A			EIS joints.
BRICKWORK				
parapet	S1	C3	R1	Light wash and repoint as required.
body	S1	C2	R3	Remove vegetation, repoint brickwork. Light wash.
down pipes	N/A			
inserts	N/A			
END PLASTER				
STONEWORK	S1	C2	R3	Light wash and repoint as required. Repair any cracks. HP
coping	S1	C2	R3	Mortar fill and EIS joints. Light wash.
corner	S1	C2	R3	Mortar fill and EIS joints. Light wash.
plinth	S1	C3	R1	
inserts	N/A			
BRICKWORK				
parapet	S1	C1	R2	Severe cracking. Urgent repair. Light wash as required. URGENT
body	S1	C1	R2	Severe cracking. Urgent repair. Light wash as required. URGENT
pipes	N/A			
inserts	N/A			
OTHER 1				
OTHER 2	S1	C1	R3	Repair timber floor within annex. HP
OTHER 3	S1	C3	R1	Conserv & inspect hydraulic machinery inside. Interpret

Annexe 6 South

Record # 1

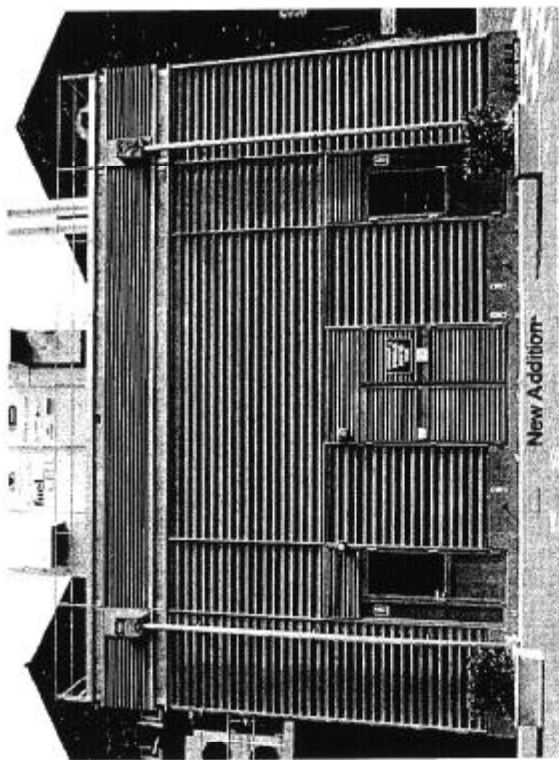
## COMMENTS

Annexe 6 is in very poor condition. The west wall and pilaster and the east wall are severely cracked and require urgent attention and a structural engineer's report. Any vegetation should be removed and the surrounding area reported. Once stabilised, the entire structure should be repointed periodically and lightly washed as required.

This annex is the Hydraulic Engine House and significant machinery including hydraulic pumps and steam engines are within it. These should be conserved and interpreted. The timber floor in the annex is badly deteriorated and should be repaired so the place can be accessed safely.

The annex has a lantern roof which should be conserved. See general notes in the introduction to this inventory for repair methods, etc.



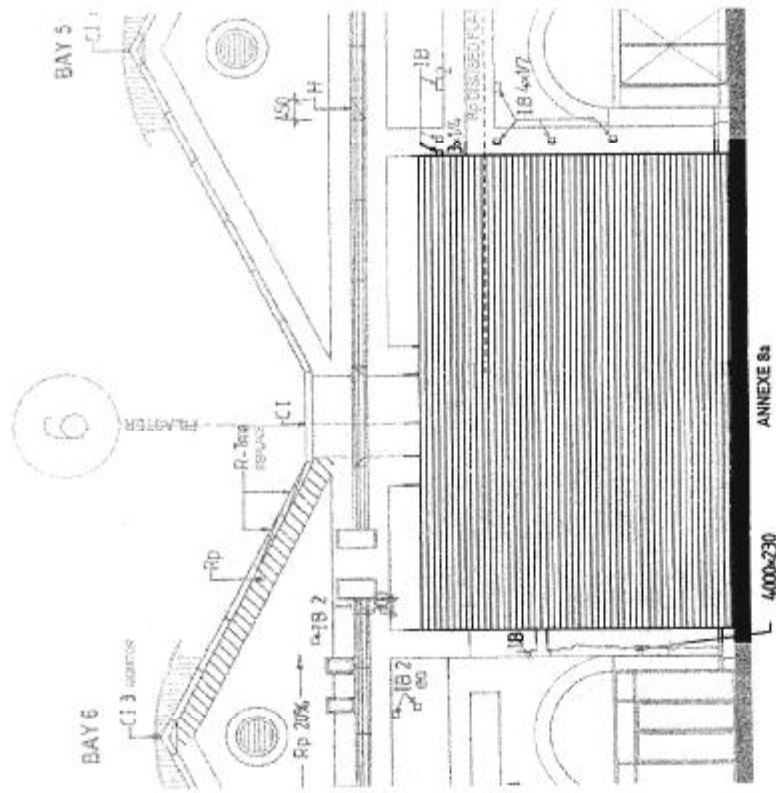


LOCATION Annexe 8a / South

RECORD # 1

- ☐ BAY  
☐ ROW  
☒ ANNEXE  
☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

- ☐ URGENT WORK  
☐ HP [HIGH PRIORITY]  
☐ INTRUSIVE  
☐ INTERPRET



**NOTE:** FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 1

R	Replace zone				In	Inject cracks with epoxy mixture
I	Interior stone				Rc	Apply rust-converter to corroded ferrous metal insert
H	Harve-jointed stone insert				Zat	New Zincalume capping to replace corroded capping
C	Corroded				Rv	Remove vegetation and rake out joints 20mm deep
Pt	Patch zone with reinforcement				MS	Made safe by removing loose stone
Sr	Small epoxy patch				Pb	Pitch brookwork
B	Block				Rc	Reconstruction of brick surface of wall
IB	Insert Brick				Ox	Other see "Notes"
F	Fill Mortar fill joint, disassemble sealant and building rod to top					

# EVELEIGH LOCOMOTIVE WORKSHOPS

## FABRIC INVENTORY

Key  
 S1 - high S2 - moderate S3 - low S4 - extensive  
 C1 - bad C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

Annexe B4 / South

Record # 1

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PERIMENT/PARAMET	N/A				
STONEWORK					
coping	N/A				
weathering	N/A				
masonry	N/A				
BRICKWORK					
rim	N/A				
panels	N/A				
roofs	N/A				
BULLENT	N/A				
UPPER WALL					
STONEWORK					
cracks	N/A				
BRICKWORK					
rim	N/A				
panels	N/A				
roofs	N/A				
WINDOWS					
frames	N/A				
LOWER WALL					
BRICKWORK					
rim	N/A				
arches	N/A				
panels	N/A				
panels under	N/A				
sil	N/A				
masonry	N/A				
STONEWORK					
window sills	N/A				
plinth	N/A				
corbel	N/A				
roofs	N/A				
WINDOWS					
Doors	N/A				

Record # 1

Annexe Ba / South

 lev /  
 S1 - high S3 - moderate S3 - low S4 - reserve  
 C1 - bad C2 - poor C3 - good  
 R1 - marion R2 - vigent work R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	REPAIR/REPLACEMENT	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED WALL	N/A				
THRESHOLD	N/A				
TRUSS FURRED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	N/A				
PLASTER	N/A				
Stonework	N/A				
coping	N/A				
cornice	N/A				
plinth	N/A				
masonry	N/A				
BRICKWORK	N/A				
parapet	N/A				
body	N/A				
down pipes	N/A				
masonry	N/A				
END PLASTER	N/A				
Stonework	N/A				
coping	N/A				
cornice	N/A				
plinth	N/A				
masonry	N/A				
BRICKWORK	N/A				
parapet	N/A				
body	N/A				
pipes	N/A				
masonry	N/A				
OTHER					
OTHER 1					
OTHER 2					
OTHER 3					

Annexe Ba / South

Record # 1

## COMMENTS

New addition with neutral significance. No data entries required.



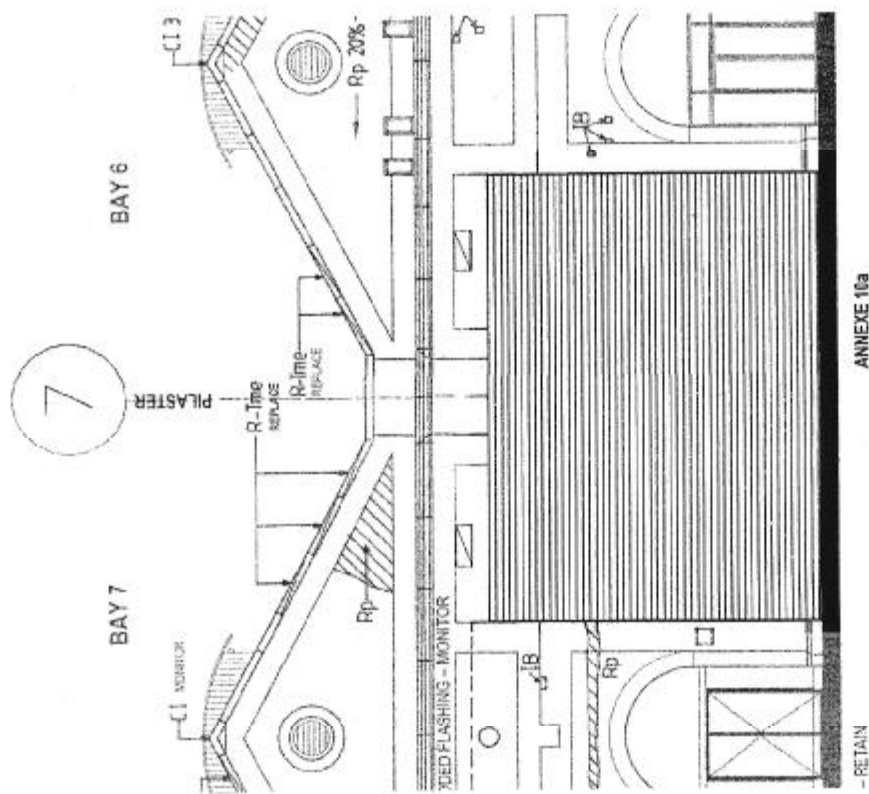


LOCATION Annexe 10a / South

RECORD # 2

- ☐ BAY  
☐ ROW  
☒ ANNEXE  
☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

- ☐ URGENT WORK  
☐ HP [HIGH PRIORITY]  
☐ INTRUSIVE  
☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 2

Annexe 10a/South

R	Reduce stone
I	Inlet stone
H	Harling pointed stone insert
A	Ap patch
C	Combed inset, remove and epoxy patch
P	Small epoxy patch
Sr	Patch stone with reinforcement
B	Inset brick
M	Monitor fit joint, elastomeric sealant and backing rod to top
F	Fill
L	Level surface
E	Embed mesh or fabric reinforcement
D	Drill hole
G	Grout
T	Time to touch setting
Zc	New Zincstone capping to replace corroded capping
Nv	Remove vegetation and rake out joints 20mm deep
Ms	Main tile by removing loose stone
Pt	Patch brickwork
Rb	Reconstruction of brick surface of wall
Ox	Other see "Notes"
Ii	Inject cracks with epoxy mixture
Ifc	Apply rust-converter to corroded ferrous metal insert
V	Vertical crack

# EVELEIGH LOCOMOTIVE WORKSHOPS

## FABRIC INVENTORY

key  
 S1 - high S2 - moderate S3 - low S4 - minimal  
 C1 - best C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

Annex 10a South

Record # 2

DESCRIPTION  
 SURFANCE  
 CONDITION  
 RECTIFICATION  
 RECOMMENDED WORKS  
 NOTES

PEDIMENT/PIPERET N/A

Stonework

coping

weathering

inserts

Brickwork

rns

panels

inserts

Blk line

UPPER WALL N/A

Stonework

cornice

Brickwork

rns

panels

inserts

Windows

Louvers

LOWER WALL

Brickwork

rns

arches

panels

panel under

all

inserts

Stonework

window sills

plinth

cornel

inserts

Windows

Door(s)

N/A

N/A

Record # 2

Annexe 0a / South

key  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - bad C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDED WORKS	NOTES
lower wall covered				
GLAZED INFILL	N/A			
THRESHOLD	N/A			
THRESHOLD	N/A			
THRESHOLD	N/A			
WALL	N/A			
SERVICE PITS	N/A			
STEELWORK	N/A			
PLASTER	N/A			
STONEWORK				
carving				
carving				
plinth				
inserts				
BACKWORK				
parquet				
body				
down pipes				
inserts				
END PLASTER	N/A			
STONEWORK				
carving				
carving				
plinth				
inserts				
BACKWORK				
parquet				
body				
pipes				
inserts				
OTHER 1				
OTHER 2				
OTHER 3				

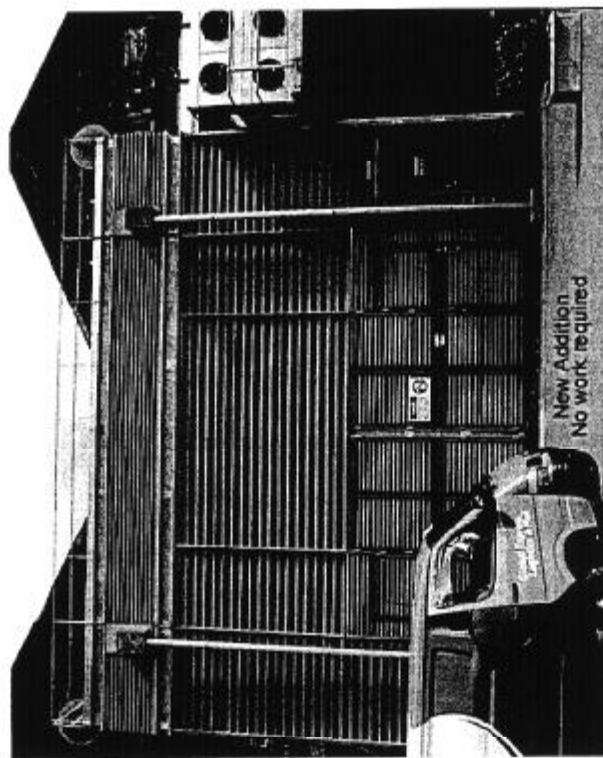
Annex 10a / South

Record # 2

## COMMENTS

New addition with neutral significance. No data entered for this annex.



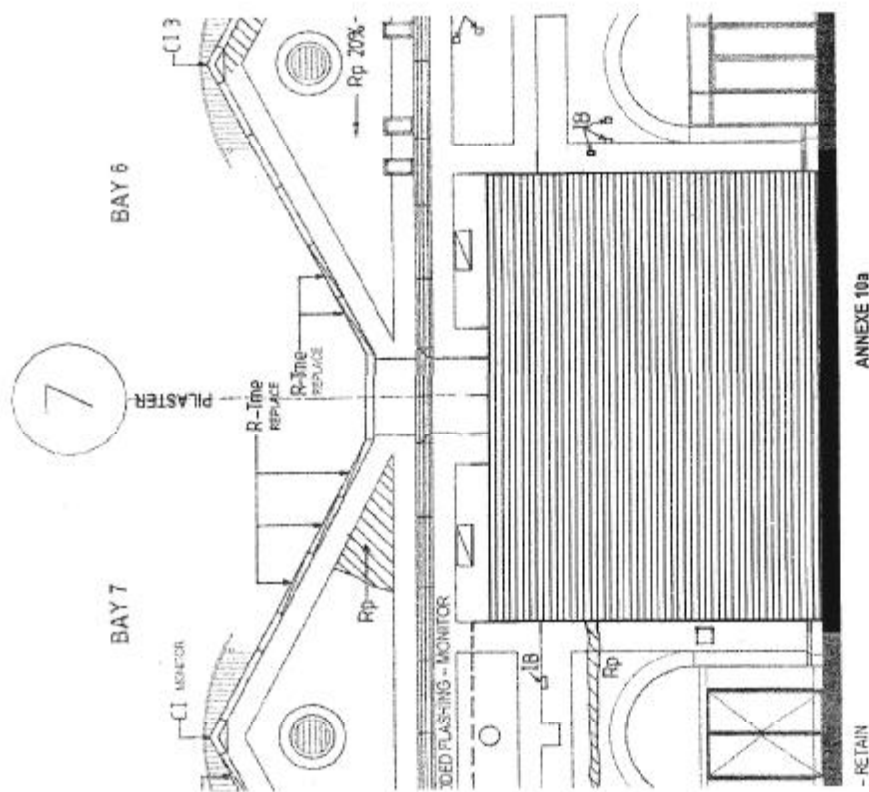


LOCATION Annexe 10a /South

RECORD # 3

☐ BAY  
☐ ROW  
☒ ANNEXE  
☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE CORPUS, CORNICE AND SILL WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 3

X	Reduce stone					In	Inject cracks with epoxy mixture
I	Indert stone					Ac	Apply nut-converter to corroded ferrous metal insert time to match existing.
H	Harline potted stone insert					Zc	New Zincalume clapping to replace corrobed clapping
A	No paint					Rv	Remove vegetation and rake out joints 20mm deep
C	Corroded rebar					Mt	Make safe by removing loose stone
S	Small epoxy patch					Pd	Patch blowdown
P	Patch stone with reinforcement					Rf	Reconstruction of tank surface of wall
B	Insert brick					Oo	Other; see "Notes"
D	Mortar if joint, elastomeric sealant and backing rod to top						

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Key  
S1 - high S2 - moderate S3 - low S4 - none  
C1 - best C2 - poor C3 - good  
R1 - maintain R2 - urgent work R3 - repair

Annexe 10a / South

Record # 3

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PANAPET	N/A				
STONEWORK					
coping	N/A				
weathering	N/A				
inserts	N/A				
BROWNWORK					
rms	N/A				
panels	N/A				
inserts	N/A				
BULLHORN	N/A				
UPPER WALL	N/A				
STONEWORK					
cornice	N/A				
BROWNWORK					
rms	N/A				
panels	N/A				
inserts	N/A				
WINDOWS	N/A				
LOURES	N/A				
LOWER WALL					
BROWNWORK					
rms	N/A				
arches	N/A				
panels	N/A				
panel under	N/A				
all	N/A				
inserts	N/A				
STONEWORK					
window sill	N/A				
plinth	N/A				
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
DOOR(S)	N/A				

Record # 3

Annexe 10a / South

key  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - bad C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

SCAFFOLD  
 CONDITION  
 RECTIFICATION

NOTES

RECOMMENDED WORKS

DESCRIPTION

Lower wall continued

GLAZED INFILL

TRESHOLD

THREE FRAMED

WALL

SERVICE PITS

STEELWORK

PLASTER

STONEWORK

coping

cornice

plinth

inserts

Brickwork

parapet

body

down pipes

inserts

BND PLASTER

STONEWORK

coping

cornice

plinth

inserts

Brickwork

parapet

body

pipe

inserts

OTHER 1

OTHER 2

OTHER 3

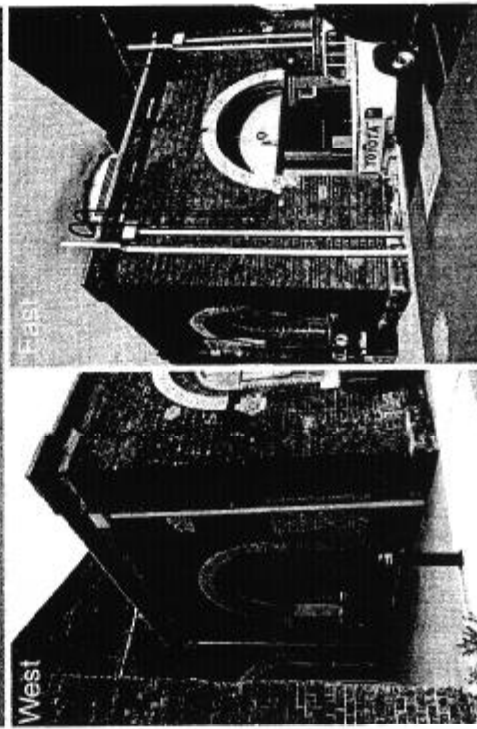
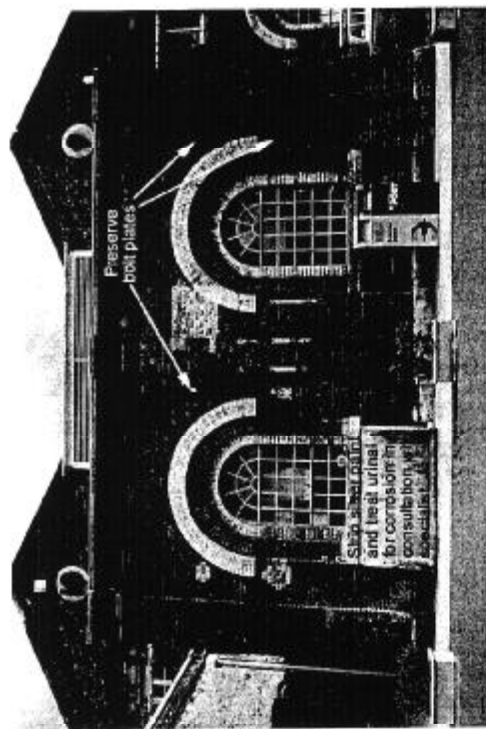
Annexe 10a (South)

Record # 3

## COMMENTS

New addition with neutral significance. No data entries required.

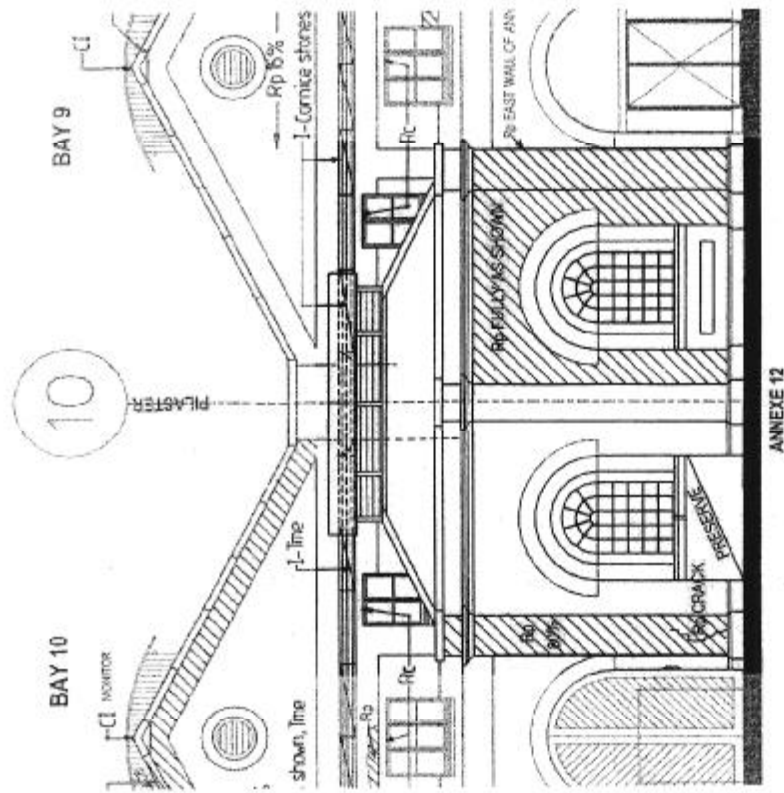


LOCATION 

RECORD # 4

- ☐ BAY  
☐ ROW  
☒ ANNEXE
- ☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



NOTE: FILL OPEN JOINTS IN STONE CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 4

Annexe 12 / South

- ☐ R - replace stone  
☐ I - insert stone  
☐ H - Halfline pointed stone insert  
☒ Rp - Re point  
☐ C - Corroded insert, remove and epoxy patch  
☐ P - Patch stone with reinforcement  
☐ B - Insert Brick  
☒ Bs - Mortar fill joint, elastomeric sealant and backing rod to top

- ☐ In - Inject crack with epoxy mixture  
☐ Rc - Apply rust-converter to corroded ferrous metal insert  
☐ T - Time To match existing  
☐ Z - New Zincalume cladding to replace corroded cladding  
☐ Rv - Remove vegetation and rake out joints 30mm deep  
☐ MS - Make safe by removing loose stone  
☐ Pb - Patch brickwork  
☐ Rb - Reconstruction of brick surface of wall  
☐ Cr - Other, see "Notes"

Key  
 S1 - light, S2 - moderate, S3 - low, S4 - intrusive  
 C1 - bad, C2 - poor, C3 - good  
 R1 - maintain, R2 - urgent work, R3 - repair

Annexe 12 / South

Record # 4

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
REDIMENT/PARAPET	S1	C2	R3	Es joints. Repoint brickwork. Light wash as required.	
STONEWORK					
coping	S1	C2	R3	Es joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint parapet. Light wash as required.	
inserts	N/A				
bullet	N/A				
UPPER WALL	S1	C2	R3	Es joints. Repoint, patch. Light wash as required.	
STONEWORK					
cornice	S1	C2	R3	Es joints. Repoint cracks. Patch brick. Light wash as required.	HP
BRICKWORK					
rims	N/A				
panels	N/A				
inserts	N/A				
WINDOWS	N/A				
LOUNGS	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	[Central plaster] Repoint brickwork. Light wash as required.	
arches	S1	C3	R1	South wall. monitor eastern arch. Repoint arches as req'd.	
panels	S1	C1	R3	Repoint fully (all walls). Light wash as required.	HP
panel under	S1	C3	R1	Light wash repairs. Unable to survey panel behind initial	
inserts	S1	C3	R1	Preserve historic bolt plates.	
STONEWORK					
window sills	S1	C2	R3	Es joints. Light wash as required. Repair cracks if required.	HP
plinth	S1	C3	R3	Plinth badly eroded. repair. repoint. Light wash	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Apply rust converter to frames if required.	
DOORS	S3	C3	R1	New glazed doors installed 1995, east/west walls of annexe.	

Record # 3

Annexe 12 / South

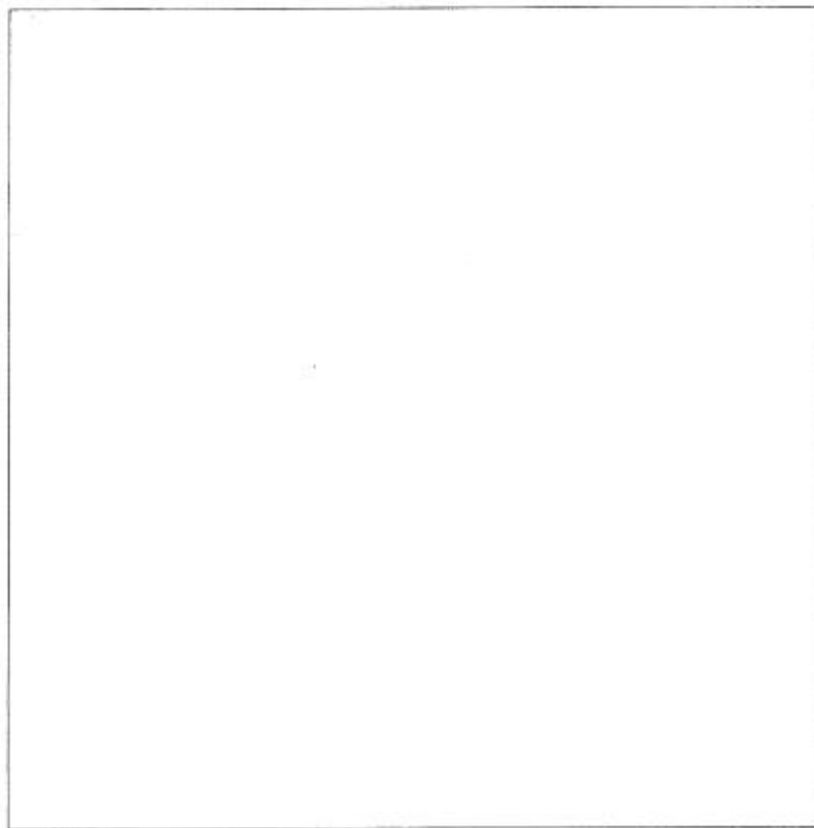
key  
S1 - high S2 - moderate S3 - low S4 - reserve  
C1 - best C2 - good C3 - poor  
R1 - maintain R2 - urgent work R3 - repair

DESCRIPTION	SCARCITY	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
<i>(Power wall continues)</i>					
GLAZED WALL					
T-403-HOLD	S1	C1	R1		
TRIPLE RIVETED WALL	S1	C1	R1	Et joints	
SPRUE PINS	N/A				
STEELWORK	N/A				
PLASTER					
STONEWORK					
caping	S1	C1	R3	[Eastern plaster] Re-point fully. Et joints. Light wash as	HP
cornice	S1	C2	R3	Et joints. Light wash as required.	
plinth	S1	C1	R3	Et joints. Patch. Light wash as required.	
inserts	S1	C1	R3	Et joints. Patch. Light wash if required.	
BRICKWORK					
parapet	S1	C2	R3	Re-point parapet. Light wash as required.	
body	S1	C2	R3	Re-point fully. Light wash as required.	HP
down pipes	N/A				
inserts	N/A				
BND PLASTER					
STONEWORK					
caping	S1	C1	R3	[Western plaster] Re-point fully. Et joints. Light wash.	HP
cornice	S1	C2	R3	Et joints. Light wash as required.	
plinth	S1	C1	R3	Et joints. Patch. Light wash as required.	
inserts	N/A			Et joints. Patch. Light wash if required.	
BRICKWORK					
parapet	S1	C2	R3	Re-point parapet. Light wash as required.	
body	S1	C2	R3	Repair cracks. Re-point 80% of body. Light wash as required.	HP
pipes	N/A				
inserts	N/A				
OTHER 1					
OTHER 2	S1	C2	R3	Unreal - strip silver paint. Treat corrosion. consult paint specialist.	
OTHER 3	S3	C3	R1	New downpipes installed east/west walls in 1955. No work	

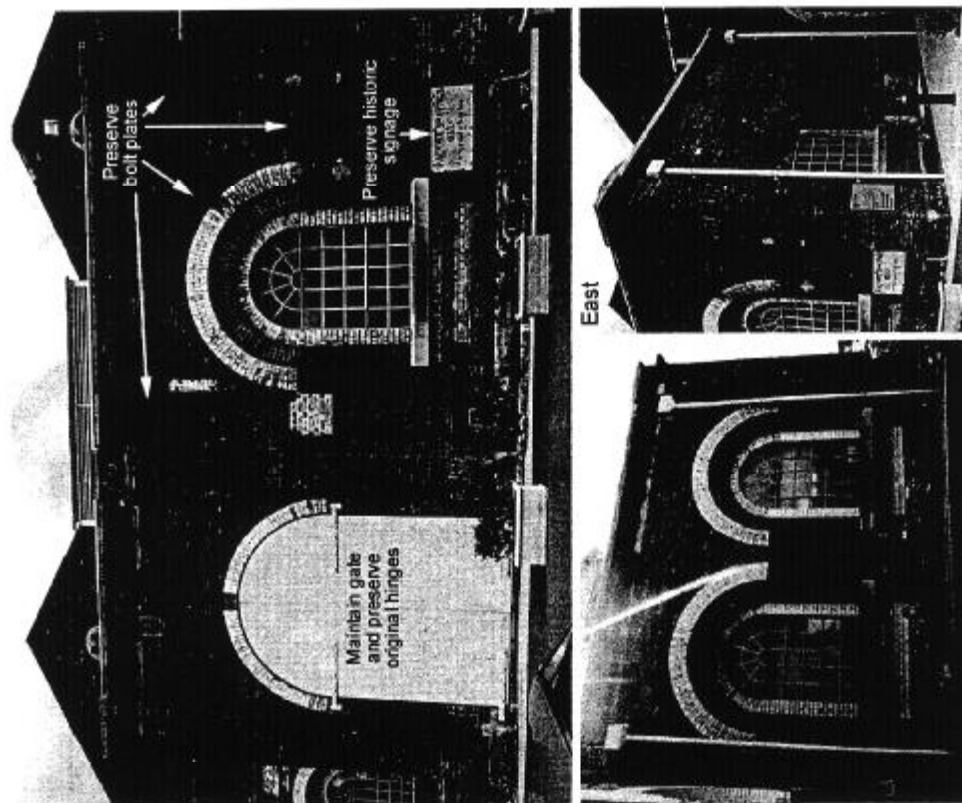
COMMENTS

Annexe 12 / South

Record # 3





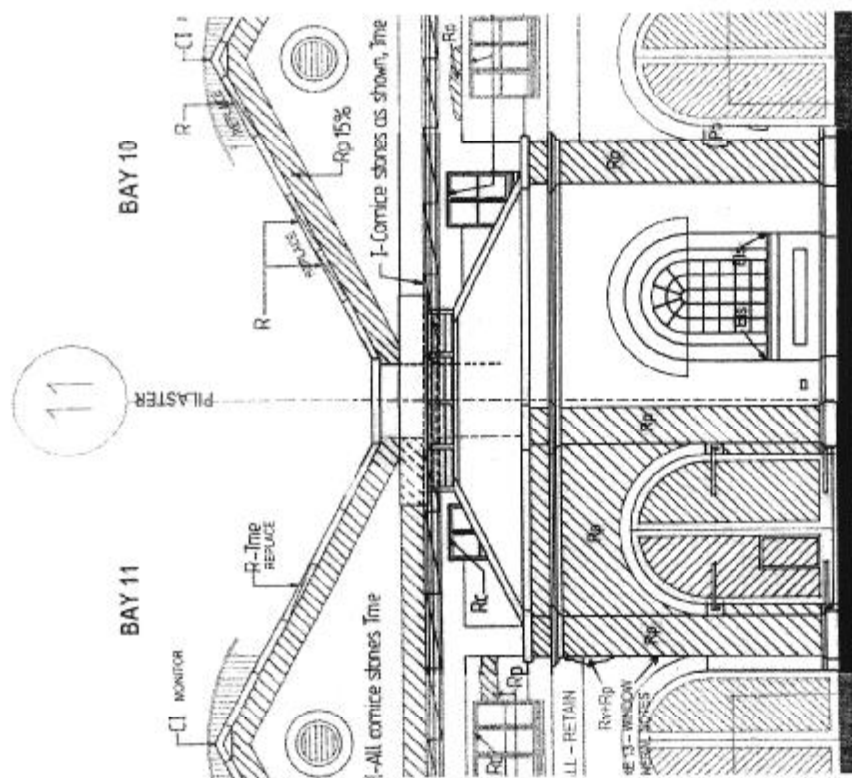


LOCATION Annexe 13 / South

RECORD # 4

- ☐ BAY  
☐ ROW  
☒ ANNEXE
- ☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

- ☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



## ANNEXE 13

ANNEXE 13: Rp 50%  
OF EASTERN WALL

OF EASTERN WALL  
WATERPROOF COATING TO  
EASTERN WINDOW SILLS

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

Record # 4

Annexe 13 /South

- |    |                                                       |
|----|-------------------------------------------------------|
| R  | Replice stone                                         |
| I  | Indent stone                                          |
| H  | Harling jointed stone insert                          |
| Ng | Re joint                                              |
| C  | Carved insert, remove and epoxy patch                 |
| Ps | Small epoxy patch                                     |
| Pt | Patch stone with reinforcement                        |
| Br | Insert: Brick                                         |
| IB | Insert: Block                                         |
| M  | Mortar fill joint, elastomeric sealant and backer rod |

- |     |                                                      |
|-----|------------------------------------------------------|
| In  | Inject crack with epoxy mixture                      |
| Itc | Apply rust-converter to corroded ferrous metal robot |
| Trn | Time to match existing                               |
| Zat | New Zinc/oxide topping to replace corroded topping   |
| Rv  | Remove vegetation and rake out joints 20mm deep      |
| M5  | Mix aggregate for removing loose stone               |
| Pg  | Patch bricks/bricks                                  |
| Re  | Reconstruction of brick surface of wall              |
| Ox  | Other, see "Notes"                                   |

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key  
 S1 - high S2 - moderate S3 - low S4 - intrusive  
 C1 - best C2 - poor C3 - good  
 R1 - maintain R2 - urgent work R3 - repair

Annexe 13 / South

Record # 4

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Light wash, repoint as required. Els joints.	
Stonework					
coping	S1	C3	R1	Els joints. Patch any cracks. Light wash as required.	
weathering	N/A				
rusts	N/A				
Brickwork					
rusts	N/A				
panels	S1	C2	R3	Repoint whole parapet as indicated. Light wash as required.	
rusts	N/A				
BALLISTE	N/A				
UPPER WALL	S1	C1	R3	Repair corners, repoint cracks. Treat corrosion.	HP
Stonework					
cornice	S1	C1	R3	Patch stone. Repoint cracks. Els joints. Light wash.	HP
Brickwork					
rusts	N/A				
panels	N/A				
rusts	N/A				
Windows	N/A				
LOURES	N/A				
LOWER WALL					
Brickwork					
rust	S1	C2	R3	[Central pilaster] Repoint. Light wash as required.	
arches	S1	C3	R1	Monitor arches for cracking. Light wash, repoint as required.	
panels	S1	C2	R3	Repoint brickwork. Light wash as required.	
panel under sill	S1	C2	R3	Insert brick (west wall). Light wash, repoint as required.	
rusts	S1	C3	R1	Monitor bolt plates for corrosion and water ingress.	
Stonework					
window sill	S1	C2	R3	Elts joints.	
plinth	S1	C1	R3	Elts joints. Repoint cracks. Monitor hole-base of central HP.	
corbel	N/A				
rusts	N/A				
Windows	S1	C2	R3	Apply rust converter to frames as required.	
Door(s)	S1	C3	R1	Front gate: preserve hinges. East wall: 1995 glazed door.	

Record # 4

Annexe 13/South

key  
 S1 - high, S2 - moderate, S3 - low, S4 - reserve  
 C1 - bad, C2 - poorer, C3 - good  
 R1 - minor, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	REPAIR/CAUTION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED WALL	S1	C3	R1		
THRESHOLD	S1	C2	R3	Et joints. Repair any cracks. Patch if required.	
THRESHOLD WALL	N/A				
SERVICE PITS	N/A				
STAIRWELLS	N/A				
PLASTER	S1	C2	R3	[East plaster] Et joints. Repair brickwork. Light wash, repaint.	
STONEWORK					
coping	S1	C3	R3	Et joints. Light wash, repaint as required.	
cornice	S1	C2	R3	Et joints. Light wash.	
frieze	S1	C2	R3	Et joints. Repoint cracks. Light wash.	
masonry	N/A				
BACIMONK					
parapet	S1	C2	R3	Repoint whole parapet. Light wash as required.	
body	S1	C2	R3	Repoint whole body. Insert missing bricks. Light wash as required.	
down pipes	N/A				
inserts	S1	C3	R3	Monitor bolt plate for corrosion and water ingress.	
END PLASTER	S1	C2	R3	[West plaster]	
STONEWORKS					
coping	S1	C2	R3	Mortar fill and et joints.	
cornice	S1	C2	R3	Et joints. Repoint cracks and patch if required.	
plinth	S1	C2	R3	Et joints. Repoint cracks. Light wash.	
inserts	N/A				
BACIMONK					
parapet	S1	C2	R3	Repoint. Light wash as required.	
body	S1	C2	R3	Repoint. Light wash as required.	
pipes	N/A				
inserts	N/A				
OTHER 1	S3	C3	R1	New downpipes installed 1995. No work required.	
OTHER 2	S1	C2	R3	Preserve historic signage (south wall) in consultation with a specialist.	
OTHER 3					

Annexe 13 / South

Record # 4

## COMMENTS

Arches generally in good condition. At the main gate, the brick keystone has been replaced with stone. This may indicate earlier problems and the arches should be monitored.

Plinth severely deteriorating. Repairs are noted above but in the long term replacement or indenting of the stone may be required.



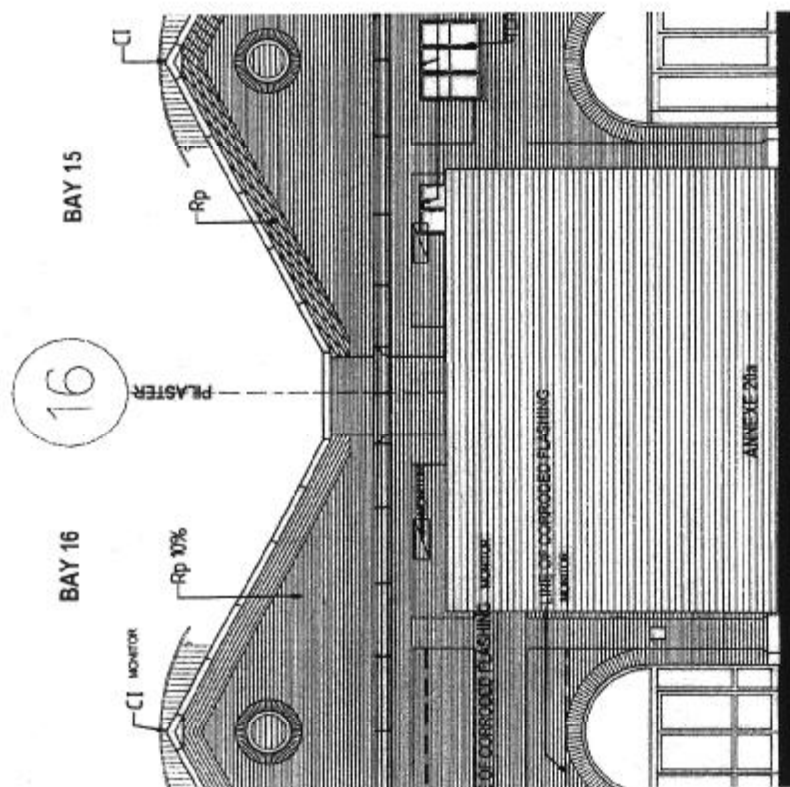


LOCATION

RECORD # 6

- ☐ BAY  
☐ ROW  
☒ ANNEXE  
☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK  
☐ HP [HIGH PRIORITY]  
☐ INTRUSIVE  
☐ INTERPRET



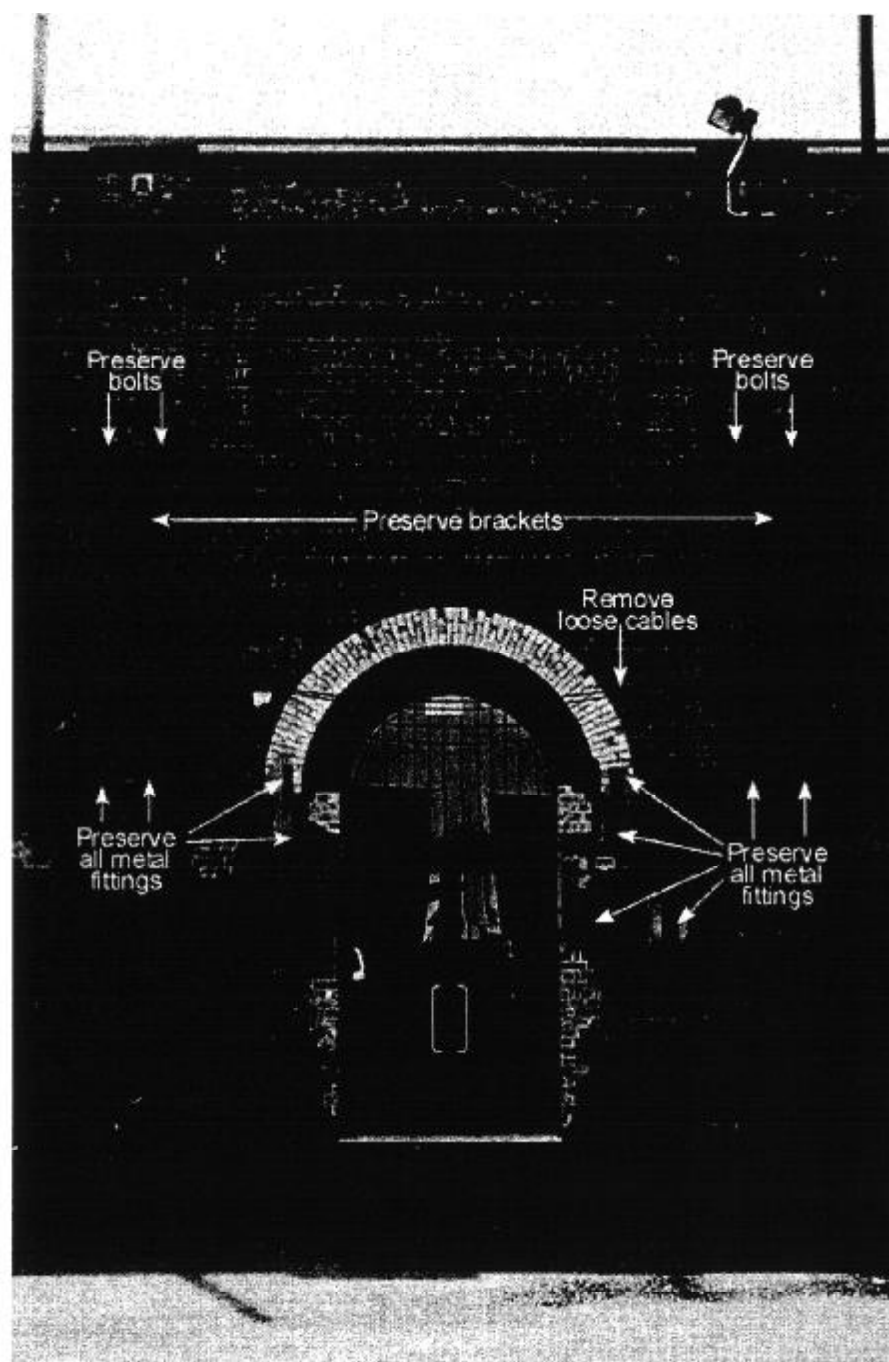
Record # 6

Annexe 20a / South

NOTE: FILL OPEN JOINTS IN STONE CORNING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R. Repair stone  
☐ I. Inset stone  
☐ H. Half the jointed stone insert  
☐ Rp. Re point  
☐ C. Cut out insert, remove and epoxy patch  
☐ A. Seal epoxy patch  
☐ R. Patch stone with reinforcement  
☐ B. Inset Brick  
☐ D. Mortar all joint, elastometric sealant and backing rod to top

- ☐ In. Inject crack with epoxy mixture  
☐ Itc. Apply nut-converter to corroded ferrous metal insert  
☐ T. True To match existing  
☐ Z. New Zinc/stone capping to replace corroded capping  
☐ R. Remove vegetation and rake out joint 20mm deep  
☐ MS. Make safe by removing loose stone  
☐ P. Patch brickwork  
☐ R. Reconstruction of brick surface of wall  
☐ O. Other, see "Notes"

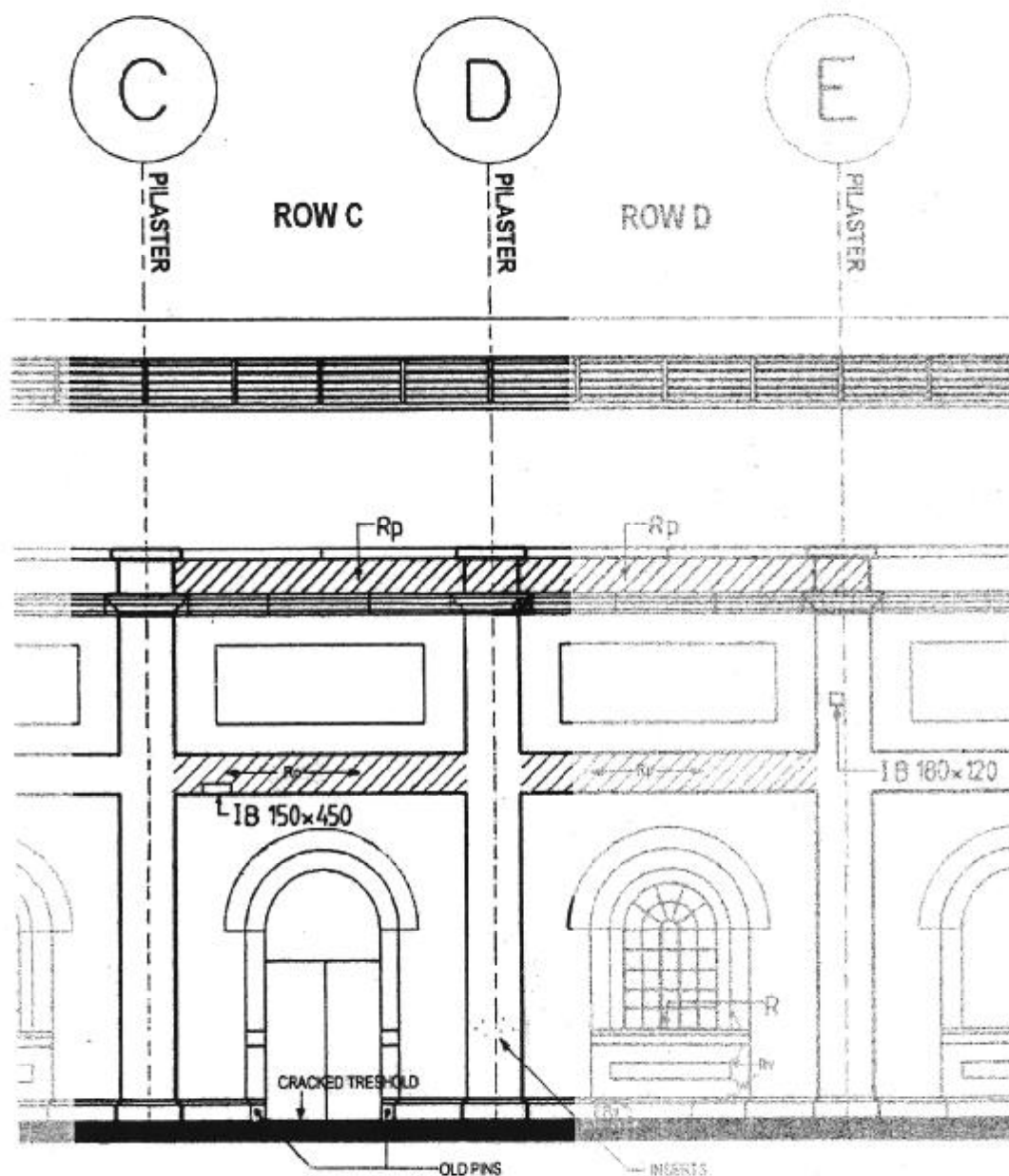
LOCATION 

RECORD # 3

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☐ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☒ INTRUSIVE   ☐ INTERPRET



Record # 3

Row C/13 west

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

## key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row C/13 west

Record # 3

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet brickwork. Els joints. Light wash as required.	
STONWORK					
coping	S1	C2	R3	Mortar fill and Els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONWORK					
cornice	S1	C3	R1	Mortar fill and els stone joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint rim and insert brick as shown.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	N/A				
inserts	N/A				
STONWORK					
window sills	N/A				
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
DOOR(S)	S3	C3	R1	New glazed door installed 1995.	Done

Record # 3

Row C/13 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
<i>lower wall continued</i>					
GLAZED INFILL	S3	C3	R1	New glazed door added 1995.	Done
THRESHOLD	S1	C1	R3	Repair cracked threshold. Els joints. Light wash as required.	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R1	Preserve steel brackets. Rust proof as required.	Interpret
PILASTER					
STONWORK					
coping	S1	C2	R3	Els joints. Light wash as required.	
comice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet. Light wash as required.	
body	S1	C3	R1	Light wash and repoint as required.	
down pipes	N/A				
inserts	S2	C2	R1	Monitor inserts and brickwork. Repair as necessary	Comment
END PILASTER	N/A				
STONWORKS					
coping	N/A				
comice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C2	R3	Remove loose cables stretched between steel brackets.	Intrusive.
OTHER 2	S1	C2	R1	Monitor historic metal fittings for corrosion and cracked brickwork.	
OTHER 3					

## COMMENTS

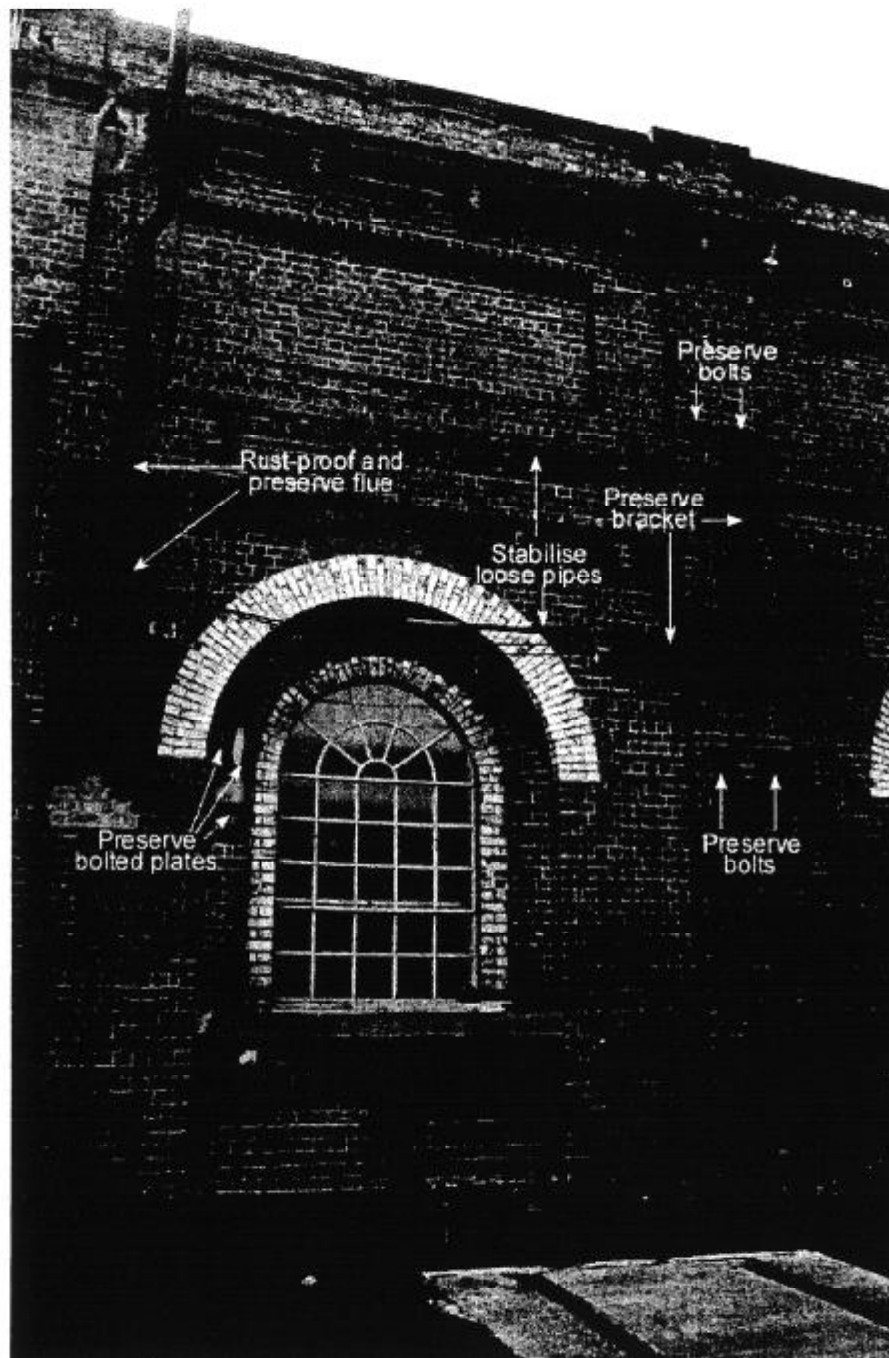
Row C/13 west

Record # 3

Consider a more sympathetic lighting solution for the west wall.

In the pilaster and lower panel ferrous metal inserts have some heritage value. Monitor inserts for corrosion and surrounding brickwork for cracks. Do not remove unless insert is rusting and expanding and causing significant damage to structure or fabric. Consider application of rust convertor or other treatment to stabilise.





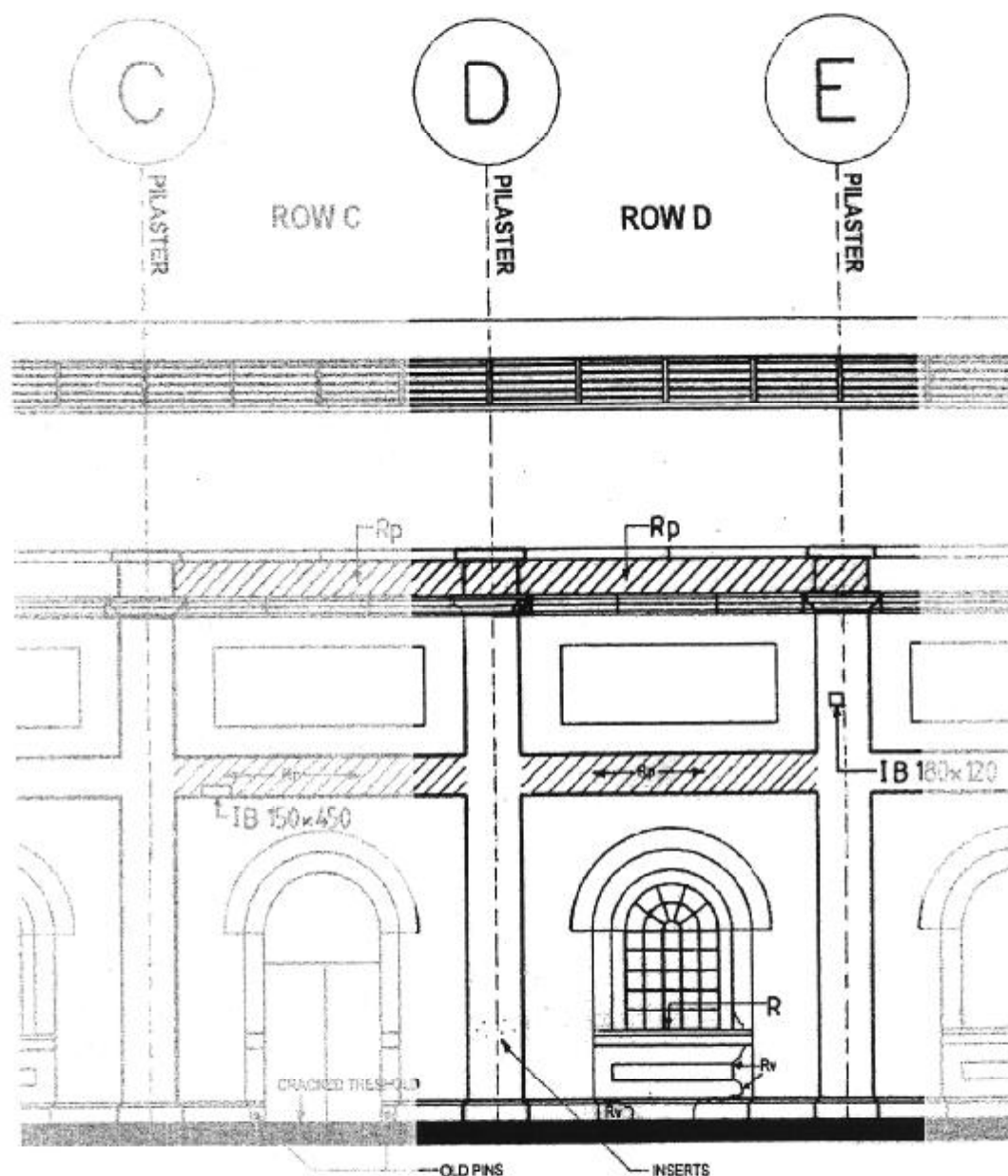
LOCATION Row D/12 west

RECORD # 4

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 4

Row D/12 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                        |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input type="checkbox"/> In Inject crack with epoxy mixture                            |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert      |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                         |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zinalume capping to replace corroded capping          |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input checked="" type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                          |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                            |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                    |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other: see "Notes"                                         |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row D/12 west

Record # 4

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet brickwork. Els joints. Light wash as required.	
STONEWORK					
coping	S1	C2	R3	Mortar fill and Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Repair cornice. Light wash and repoint as required.	
STONEWORK					
cornice	S1	C2	R3	Patch cornice. See drawing.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint brickwork as shown in drawing.	
arches	S1	C3	R2	Repair minor crack in arch. Light wash as required.	
panels	S1	C2	R3	Light wash and repoint as required.	
panel under sill	S1	C2	R3	Remove vegetation and repoint brickwork as required.	
inserts	S1	C2	R1	Monitor steel plates in arch for corrosion & cracked	
STONEWORK					
window sills	S1	C1	R3	Replace window sill to match existing. Light wash as required.	
plinth	S1	C2	R3	Remove vegetation. Patch if required. Light wash.	
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	N/A				

Record # 4

Row D/12 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

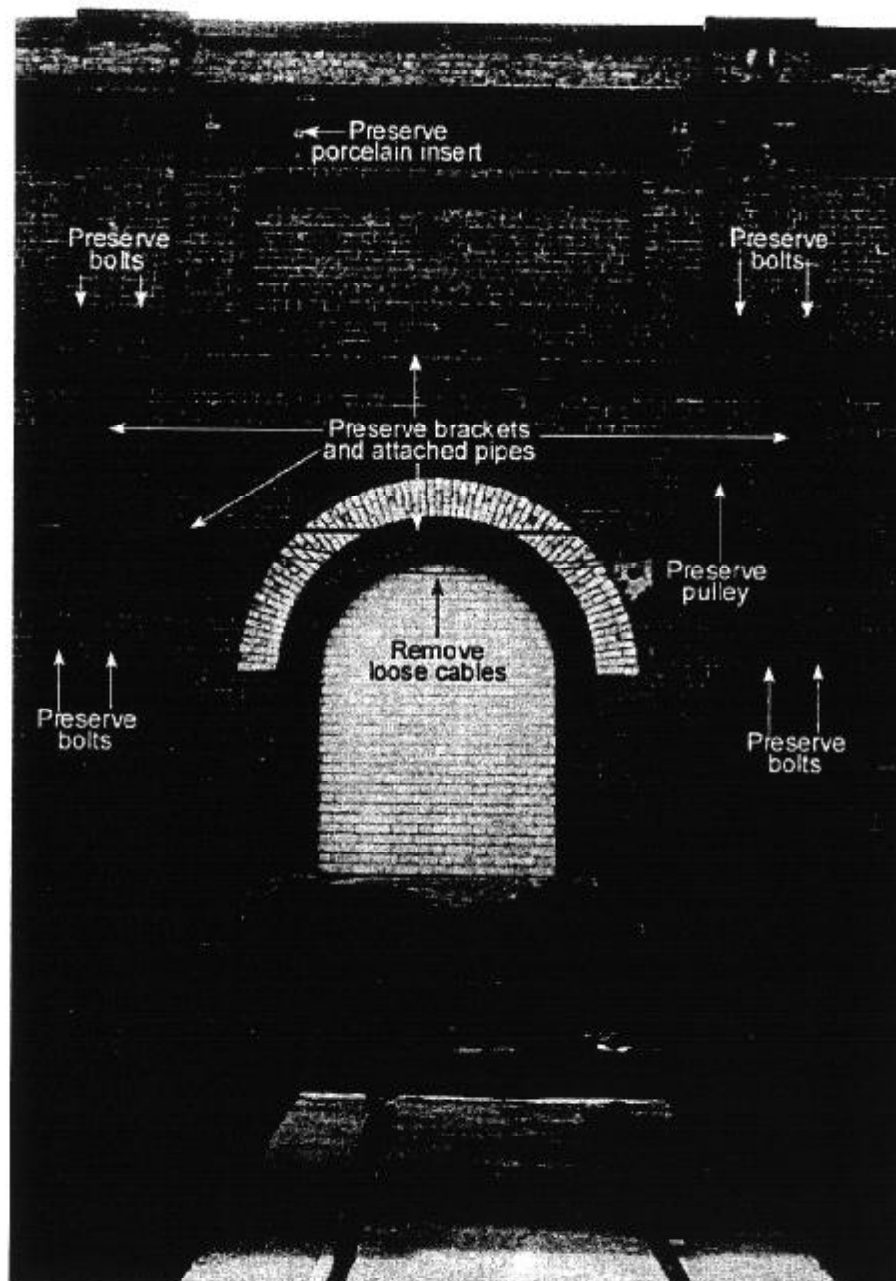
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R1	Preserve brackets for length of building. Rust proof if	Interpret
PILASTER					
STONWORK					
coping	S1	C3	R1	Mortar fill and Els stone joints	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet.	
body	S1	C2	R3	Insert brick as indicated. Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER					
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C2	R1	Rust proof and preserve flue.	
OTHER 2	S2	C2	R3	Stabilise loose pipes extending from bracket.	
OTHER 3					

## COMMENTS

Row D/I2 west

Record # 4



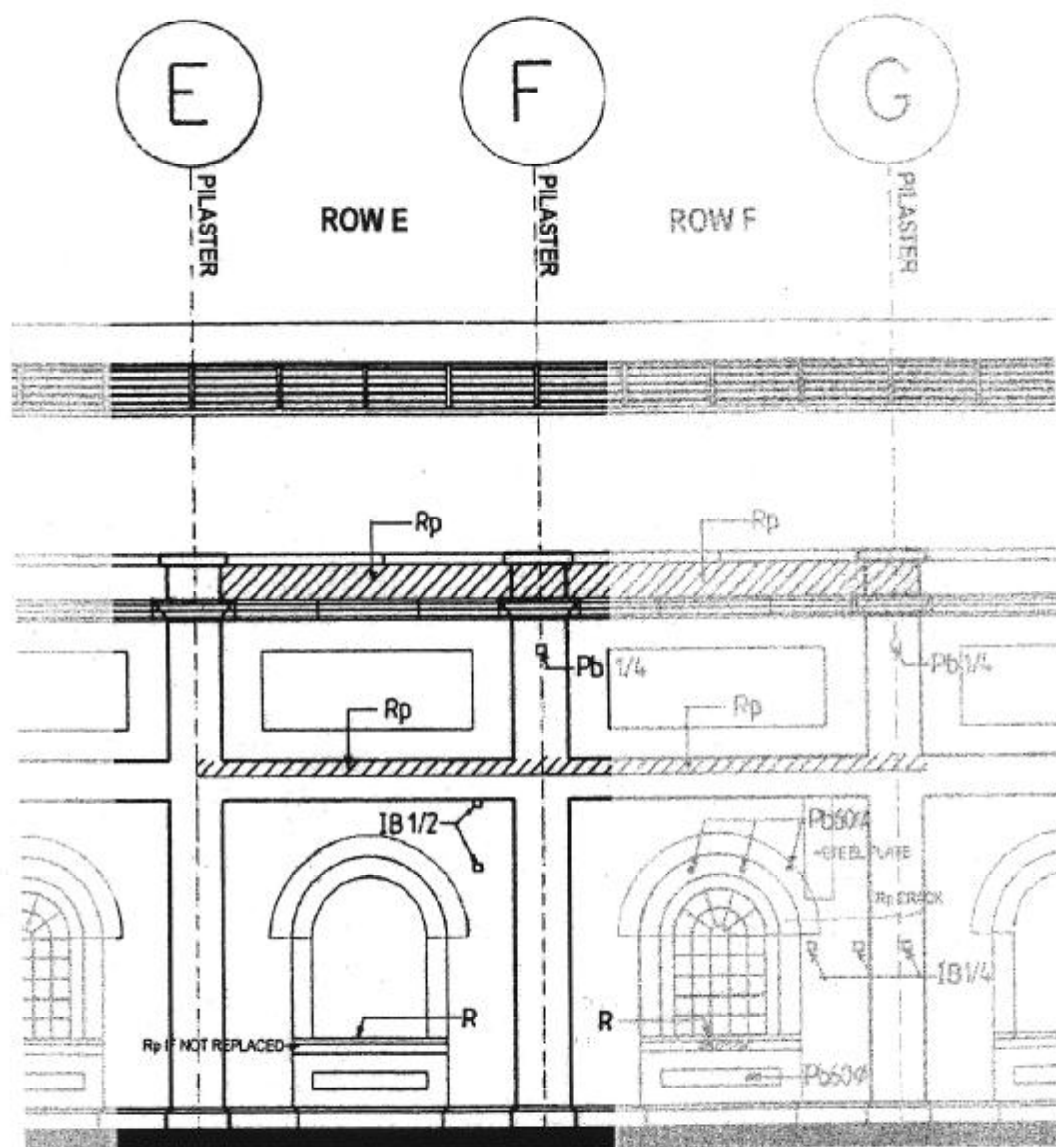


LOCATION Row E/I I west

RECORD # 5

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☒ INTRUSIVE   ☐ INTERPRET



Record # 5

Row E/11 west

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                        |                                                               |                              |                                                       |
|----------------------------------------|---------------------------------------------------------------|------------------------------|-------------------------------------------------------|
| <input checked="" type="checkbox"/> R  | replace stone                                                 | <input type="checkbox"/> In  | Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I             | Indent stone                                                  | <input type="checkbox"/> Rc  | Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H             | Hairline jointed stone insert                                 | <input type="checkbox"/> Tme | To match existing                                     |
| <input checked="" type="checkbox"/> Rp | Re point                                                      | <input type="checkbox"/> Zac | New Zincalume capping to replace corroded capping     |
| <input type="checkbox"/> Ci            | Corroded insert, remove and epoxy patch                       | <input type="checkbox"/> Rv  | Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps            | Small epoxy patch                                             | <input type="checkbox"/> MS  | Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr            | Patch stone with reinforcement                                | <input type="checkbox"/> Pb  | Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB | Insert Brick                                                  | <input type="checkbox"/> Rb  | Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els           | Mortar fill joint, elastomeric sealant and backing rod to top | <input type="checkbox"/> Ot  | Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row E11 west

Record # 5

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONWORK					
coping	S1	C2	R3	Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint as required. Monitor inserts.	
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required. Preserve porcelain insert.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve porcelain insert. Monitor ferrous inserts for	
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint brickwork as shown.	
arches	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C2	R3	Insert brick as indicated. Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve pulley.	
STONWORK					
window sills	S1	C1	R3	Replace sill. [Repoint cracks. Els joints if unable to replace]	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Light wash and repoint blind window as required.	
DOOR(S)	N/A				

Record # 5

Row E/I I west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

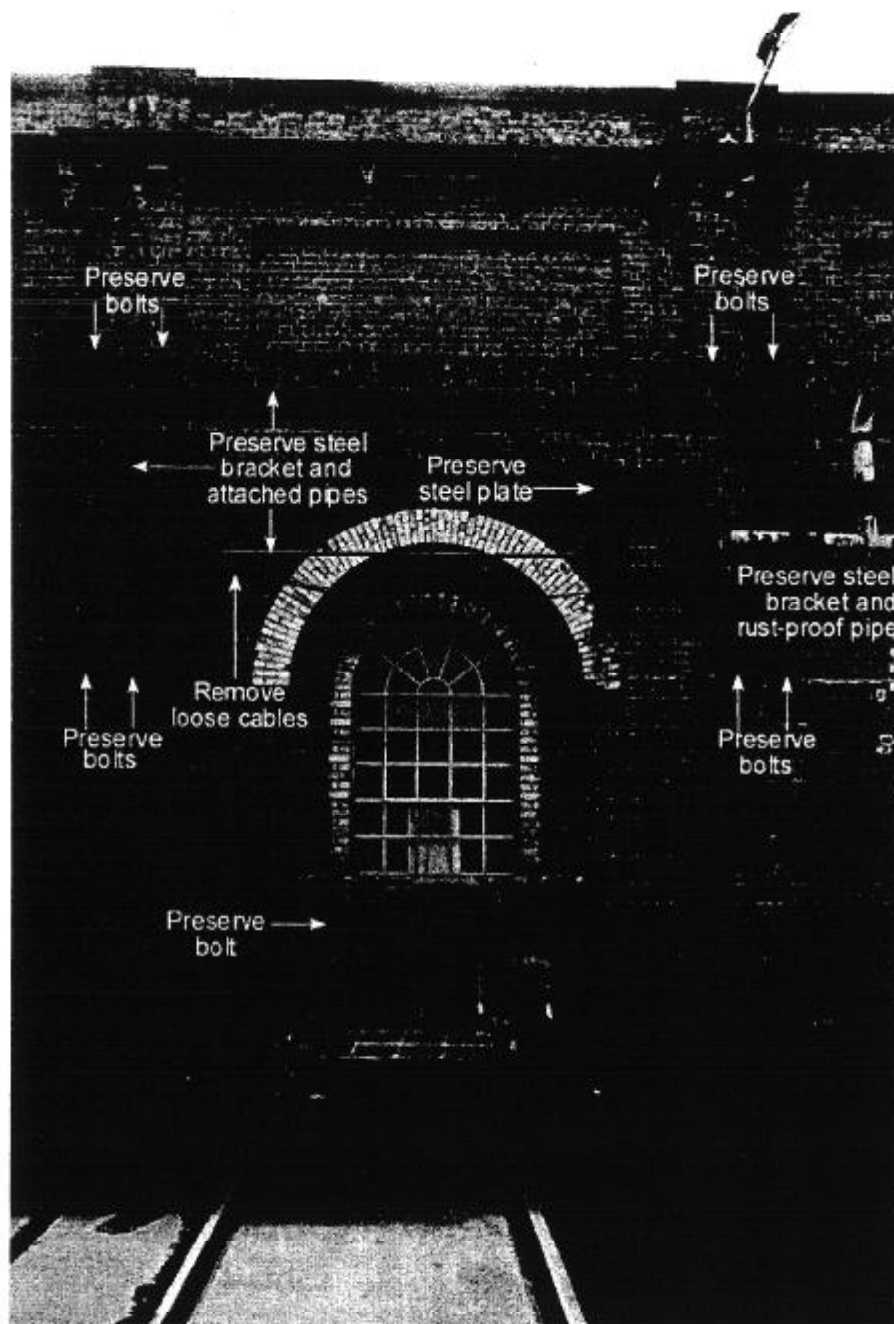
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S2	C2	R1	Preserve pipes and rust proof as required.	
STEELWORK	S1	C2	R1	Preserve brackets and attached pipe. Rust proof as required.	Interpret
PILASTER	S1	C2	R3	Repoint parapet. Patch brick. Els joints. Light wash as	
STONEMWORK					
coping	S1	C2	R3	Mortar fill and Els joints in coping.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet. Light wash as required.	
body	S1	C2	R3	Patch brick and repoint as shown. Light wash as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORK					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C2	R3	Remove loose wires from historic bracket.	Intrusive
OTHER 2					
OTHER 3					

COMMENTS

Row E/I I west

Record # 5



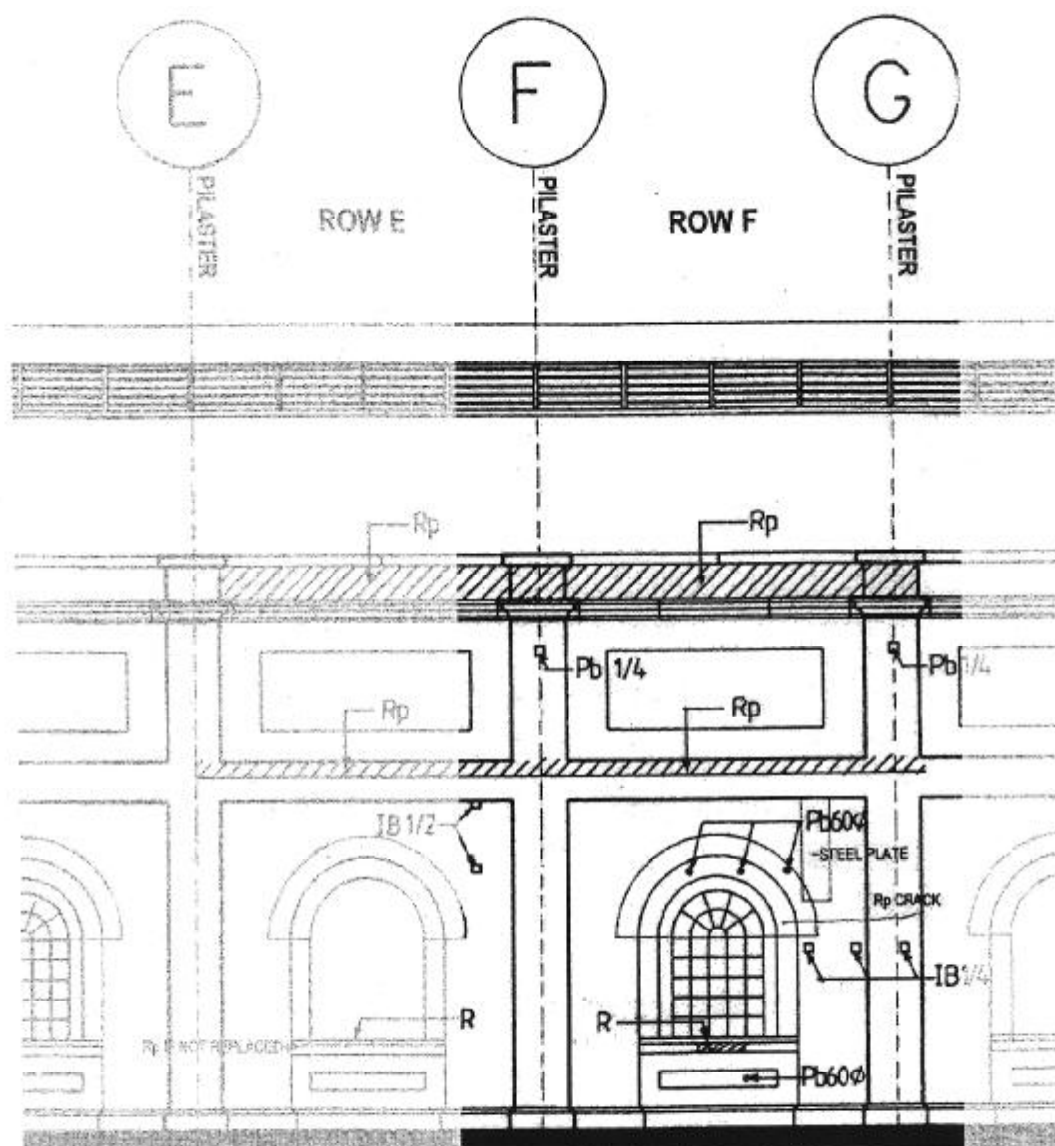


LOCATION Row F/10 west

RECORD # 6

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☒ INTRUSIVE ☐ INTERPRET



Record # 6

Row F/10 west

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                        |                                                               |                                        |                                                       |
|----------------------------------------|---------------------------------------------------------------|----------------------------------------|-------------------------------------------------------|
| <input checked="" type="checkbox"/> R  | replace stone                                                 | <input type="checkbox"/> In            | Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I             | Indent stone                                                  | <input type="checkbox"/> Rc            | Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H             | Hairline jointed stone insert                                 | <input type="checkbox"/> Tme           | To match existing                                     |
| <input checked="" type="checkbox"/> Rp | Re point                                                      | <input type="checkbox"/> Zac           | New Zincalume capping to replace corroded capping     |
| <input type="checkbox"/> C             | Corroded insert, remove and epoxy patch                       | <input type="checkbox"/> Rv            | Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps            | Small epoxy patch                                             | <input type="checkbox"/> MS            | Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr            | Patch stone with reinforcement                                | <input checked="" type="checkbox"/> Pb | Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB | Insert Brick                                                  | <input type="checkbox"/> Rb            | Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els           | Mortar fill joint, elastomeric sealant and backing rod to top | <input type="checkbox"/> Ot            | Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row F/10 west

Record # 6

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONWORK					
coping	S1	C2	R3	Mortar fill and Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint where shown. Light wash as required.	
arches	S1	C2	R3	Patch brickwork and repoint crack as shown.	
panels	S1	C3	R1	Repoint crack. Insert bricks. Light wash, repoint as required.	
panel under sill	S1	C2	R3	Repoint and patch brick as shown. Light wash as required.	
inserts	S1	C3	R1	Preserve bolt.	
STONWORK					
window sills	S1	C1	R3	Replace sill.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	N/A				

Record # 6

Row F/10 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C2	R3	Rust proof pipe.	
STEELWORK	S1	C3	R1	Preserve steel brackets for length of building. Preserve plate.	Interpret
PILASTER	S1	C2	R3	Repoint parapet and body. Patch, insert bricks. Els joints.	
STONEWORK					
coping	S1	C2	R3	Mortar fill and apply Els to joints.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint parapet. Light wash as required.	
body	S1	C1	R3	Patch brickwork. Insert brick. Repoint cracks (see row	HP
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C2	R3	Remove loose wires from historic bracket.	Intrusive
OTHER 2					
OTHER 3					

## COMMENTS

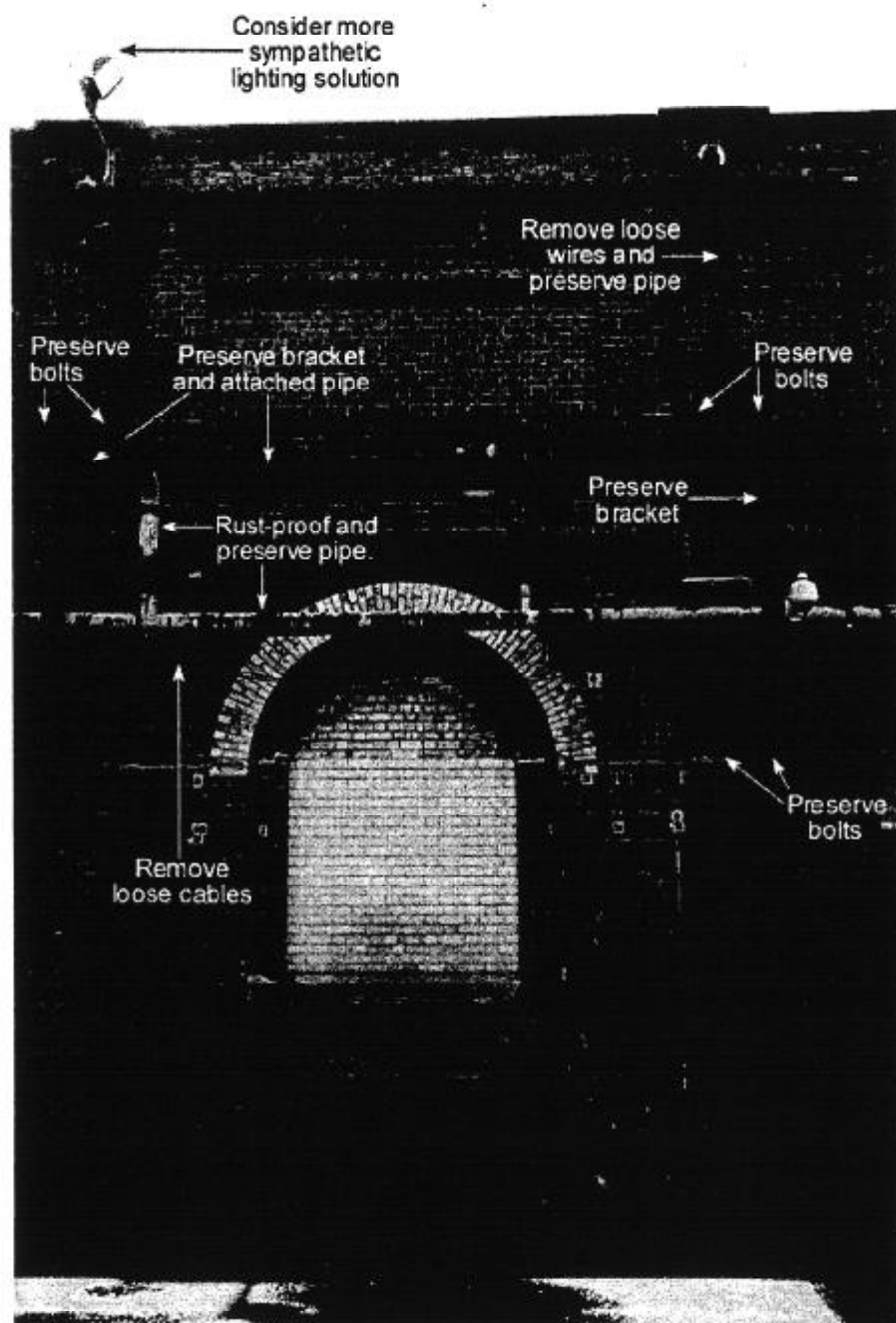
Row F/10 west

Record # 6

PVC pipe inserted into panel under window sill. Monitor for cracks and water ingress then reassess.

See drawing for Row G / West for further information regarding vertical crack in pilaster F.





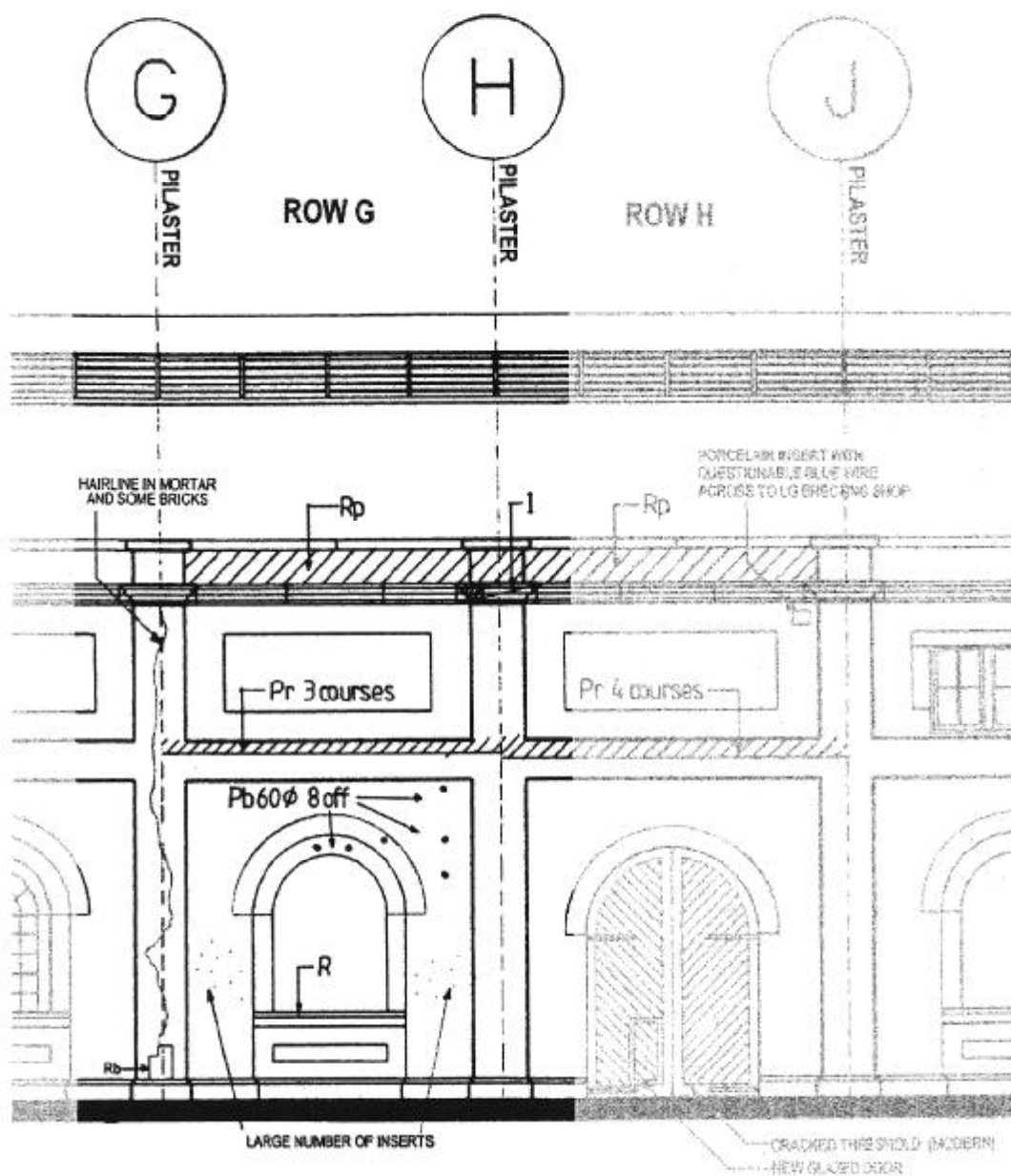
LOCATION Row G/9 west

RECORD # 7

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☒ INTRUSIVE ☐ INTERPRET



Record # 7

Row G/9 west

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tm To match existing                                     |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input checked="" type="checkbox"/> Pb Patch brickwork                            |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row G/9 west

Record # 7

DESCRIPTION	SIGNIFICANCE	CONDITION	RECOMMENDATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet and Els joints.	
STONEMWORK					
coping	S1	C2	R3	Mortar fill and Els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONEMWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S2	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint 3 brick courses as shown.	
arches	S1	C2	R3	Patch brick as indicated.	
panels	S1	C2	R3	Patch brickwork as shown. Light wash as required.	
panel under sill	S1	C3	R2	Light wash and repoint as required.	
inserts	S2	C3	R1	Monitor inserts. Only remove if causing instability or damage	
STONEMWORK					
window sills	S1	C1	R3	Replace sill.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Light wash and repoint blind window as required.	
DOOR(S)	N/A				

Record # 7

Row G/9 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INRILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C2	R3	Rust proof pipe.	
STEELWORK	S1	C2	R1	Preserve brackets for length of building. Rust proof as	Interpret
PILASTER					
STONEMWORK					
coping	S1	C2	R3	Mortar fill and else joints.	
cornice	S1	C1	R3	Repair cornice - inject crack and patch stone as required.	
plinth	S1	C3	R1		
inserts	S1	C3	R1	Preserve significant historic bolts.	
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet. Light wash as required.	
body	S1	C2	R3	Repoint as shown. Light wash as required.	
down pipes	N/A				
inserts					
END PILASTER					
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C2	R3	Remove all loose wires	Intrusive
OTHER 2					
OTHER 3					

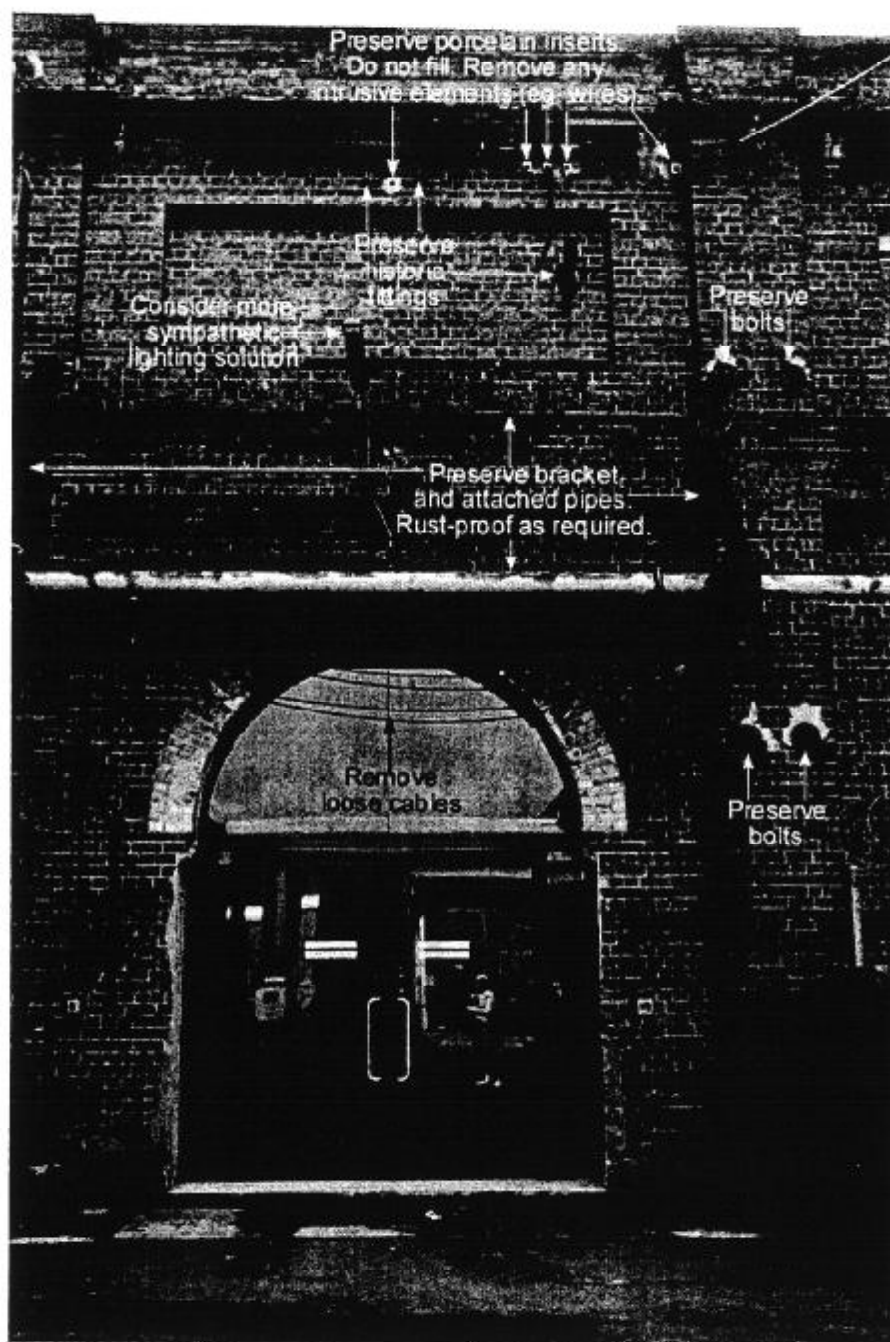
COMMENTS

Row G/9 west

Record # 7

Consider a more sympathetic lighting solution for the west wall.



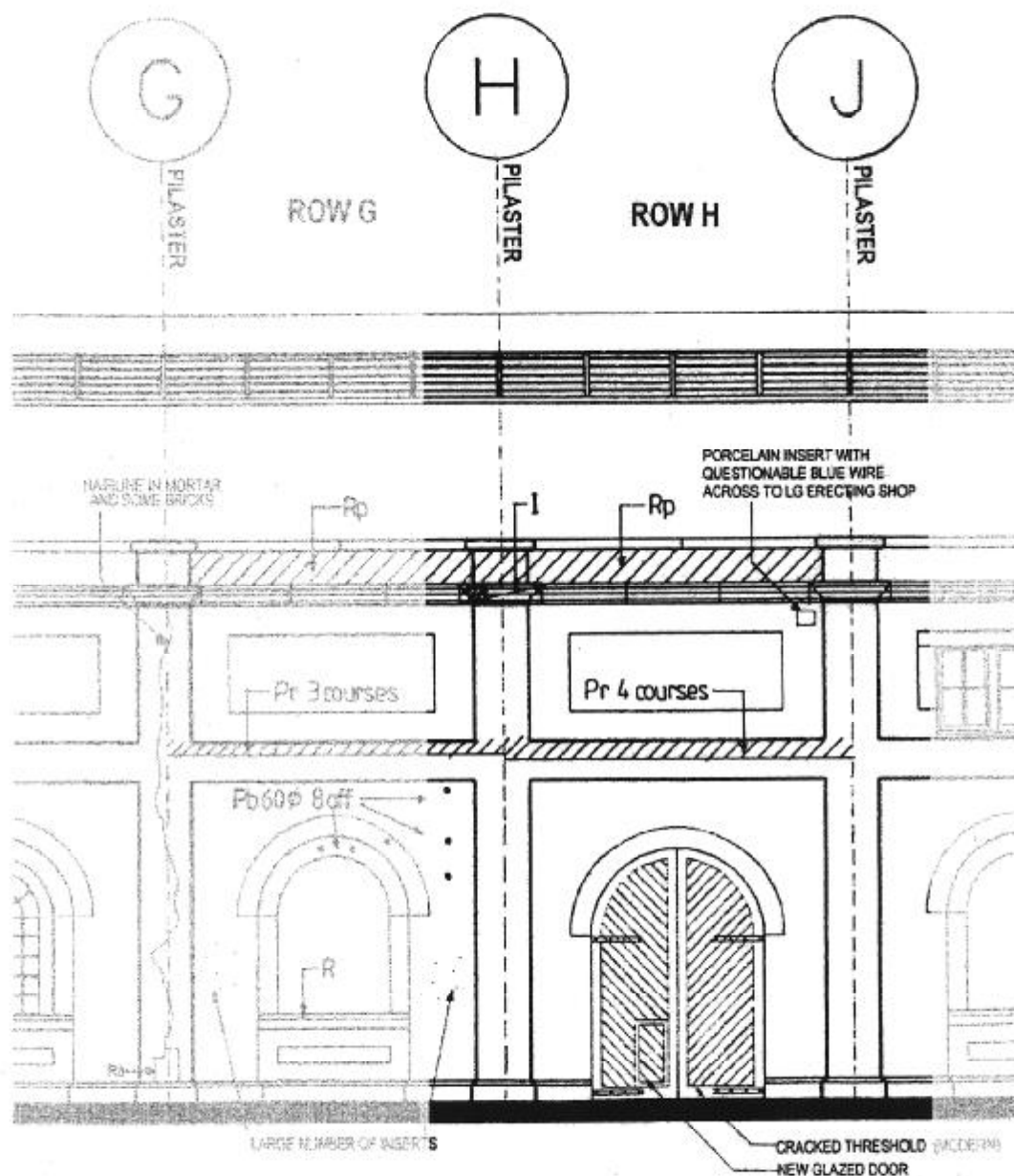


LOCATION Row H/8 west

RECORD # 8

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK   ☐ HP [HIGH PRIORITY]   ☒ INTRUSIVE   ☐ INTERPRET



Record # 8

Row H/8 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                 |
|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                     |
| <input checked="" type="checkbox"/> I Indent stone                                          | <input type="checkbox"/> Rc Apply rust-convert to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                  |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping  |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep     |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                   |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                     |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall             |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                  |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row H/B west

Record # 8

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet and Els joints. Light wash as required.	
STONWORK					
coping	S1	C2	R3	Mortar fill & Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint parapet.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Remove intrusive cables from porcelain inserts.	Intrusive.
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	S4	C2	R3	Remove intrusive cables from porcelain ferrules. Do not fill.	Intrusive.
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint 4 courses as shown. Light wash as required.	
arches	S1	C3	R1		
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	N/A				
inserts	N/A				
STONWORK					
window sills	N/A				
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	N/A				
DOOR(S)	S3	C3	R1	New glazed door installed 1995.	Done

Record # 8

Row H/B west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S3	C3	R1	New glazed door.	Done
THRESHOLD	S3	C1	R3	Repair cracked threshold (modern).	
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C1	R3	Rust proof corroded pipe.	
STEELWORK	S1	C2	R1	Preserve steel brackets and rust-proof as required.	Interpret
PILASTER	S1	C2	R3	Els joints. Light wash and repoint brickwork as required.	
STONEMWORK					
coping	S1	C2	R3	Mortar fill and Els joints	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C3	R1	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C2	R3	Remove loose cables from steel bracket.	
OTHER 2					
OTHER 3					

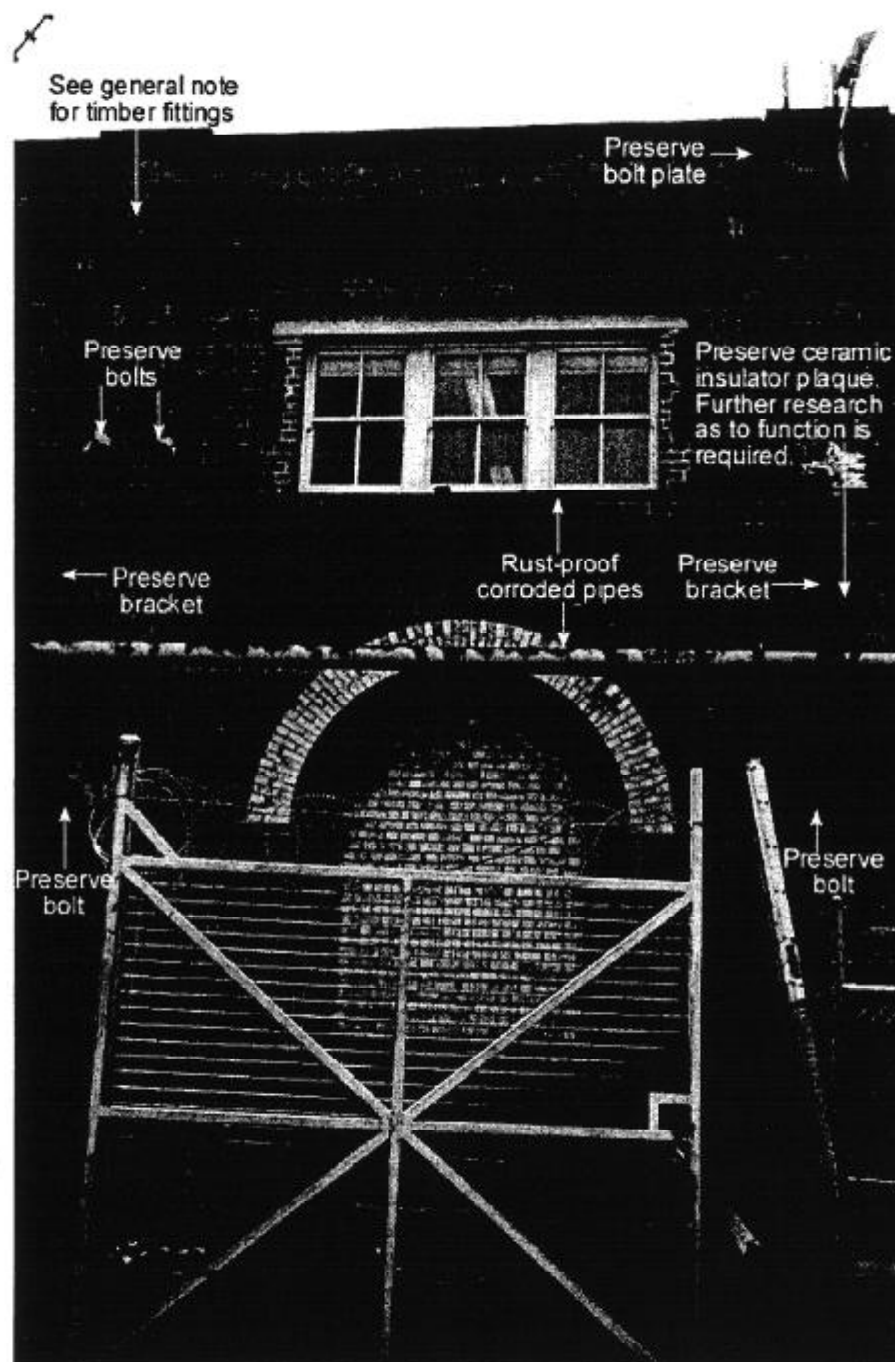
Row H/8 west

Record # 8

## COMMENTS

Consider a more sympathetic lighting solution for the west wall.





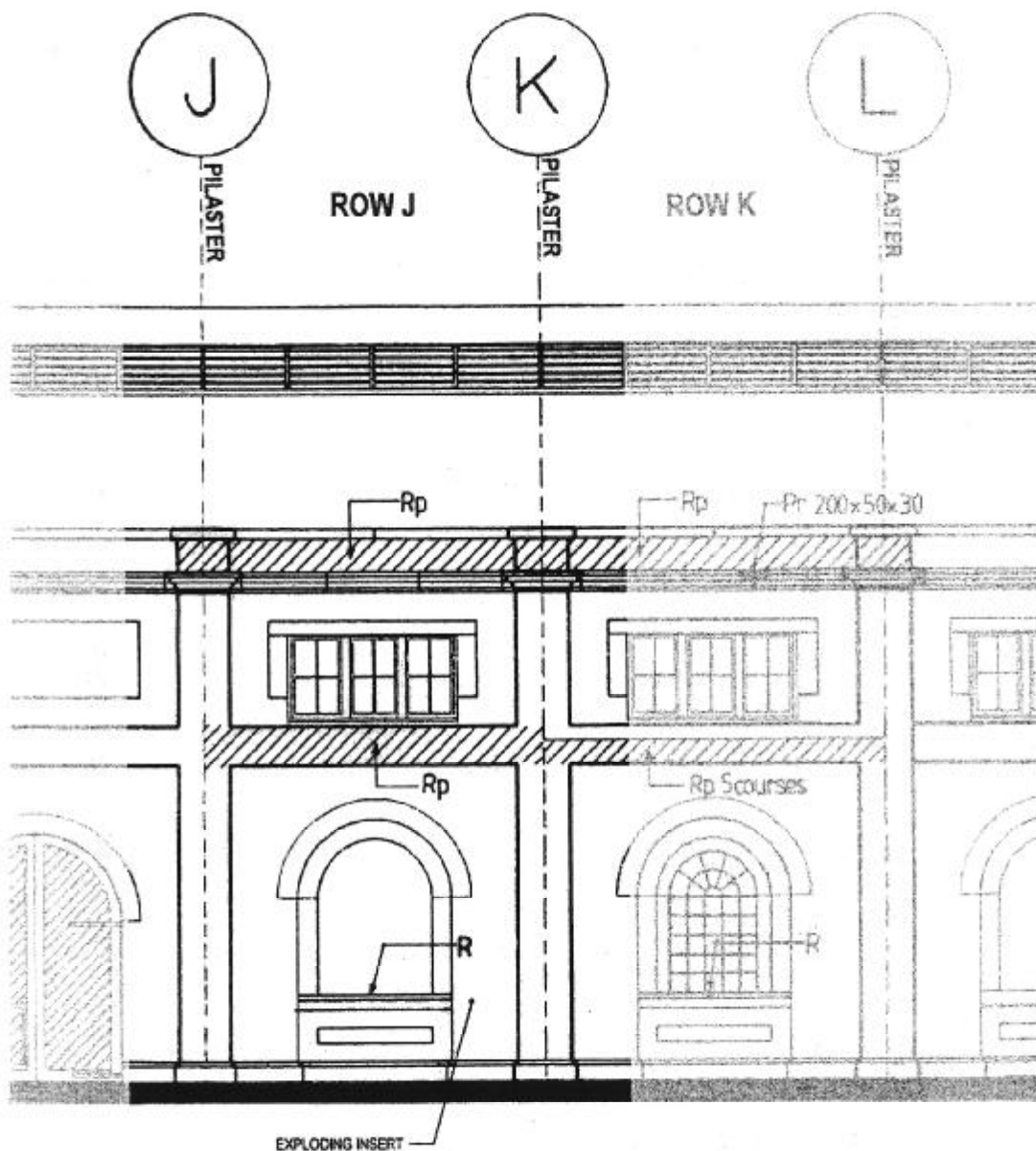
LOCATION Row J/7 west

RECORD # 9

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 9

Row J/7 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> C Corroded insert, remove and epoxy patch                          | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row J/7 west

Record # 9

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONWORK					
coping	S1	C2	R3	Mortar fill and Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	S1	C2	R1	Preserve bolt plate.	
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Repoint and light wash as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C3	R1		
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint rim as indicated.	
arches	S1	C3	R1		
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONWORK					
window sills	S1	C1	R3	Replace sill.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Light wash and repoint blind window as required.	
DOOR(S)	N/A				

Record # 9

Row J7 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

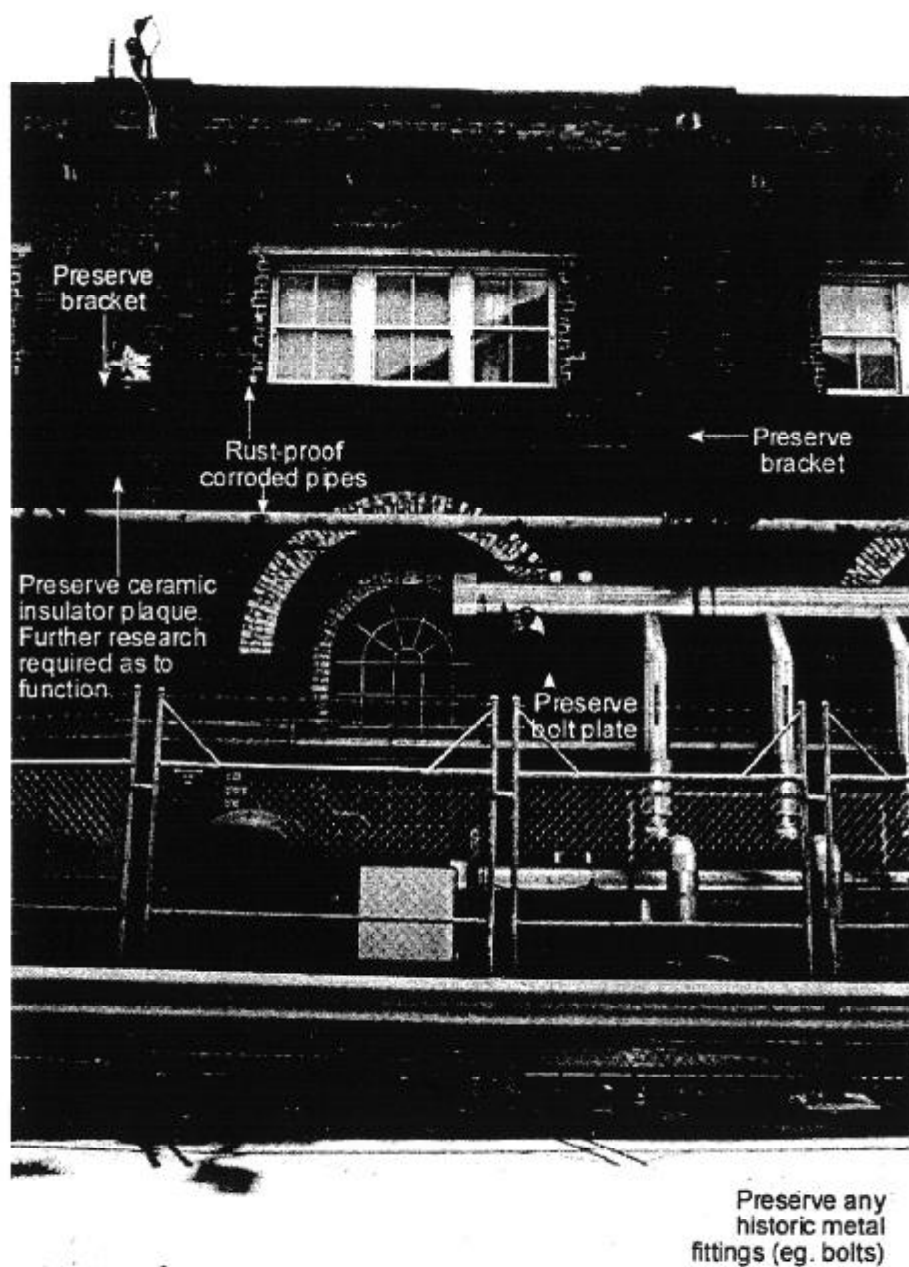
DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C2	R3	Rust proof corroded pipes.	
STEELWORK	S1	C2	R3	Preserve steel brackets. Rust proof if required.	Interpret
PILASTER	S1	C2	R3	Repoint parapet and body as shown. Els joints.	
STONEMWORK					
coping	S1	C2	R3	Mortar fill and Els joints on horizontal surfaces.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet.	
body	S1	C2	R3	Repoint brickwork as shown.	
down pipes	N/A				
inserts	S1	C3	R1	Preserve ceramic insulator plaque. Research function.	
END PILASTER	N/A				
STONEMWORK					
coping	N/A				
cornice	S4				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Ni				
OTHER 1					
OTHER 2					
OTHER 3					

COMMENTS

Row J/7 west

Record # 9



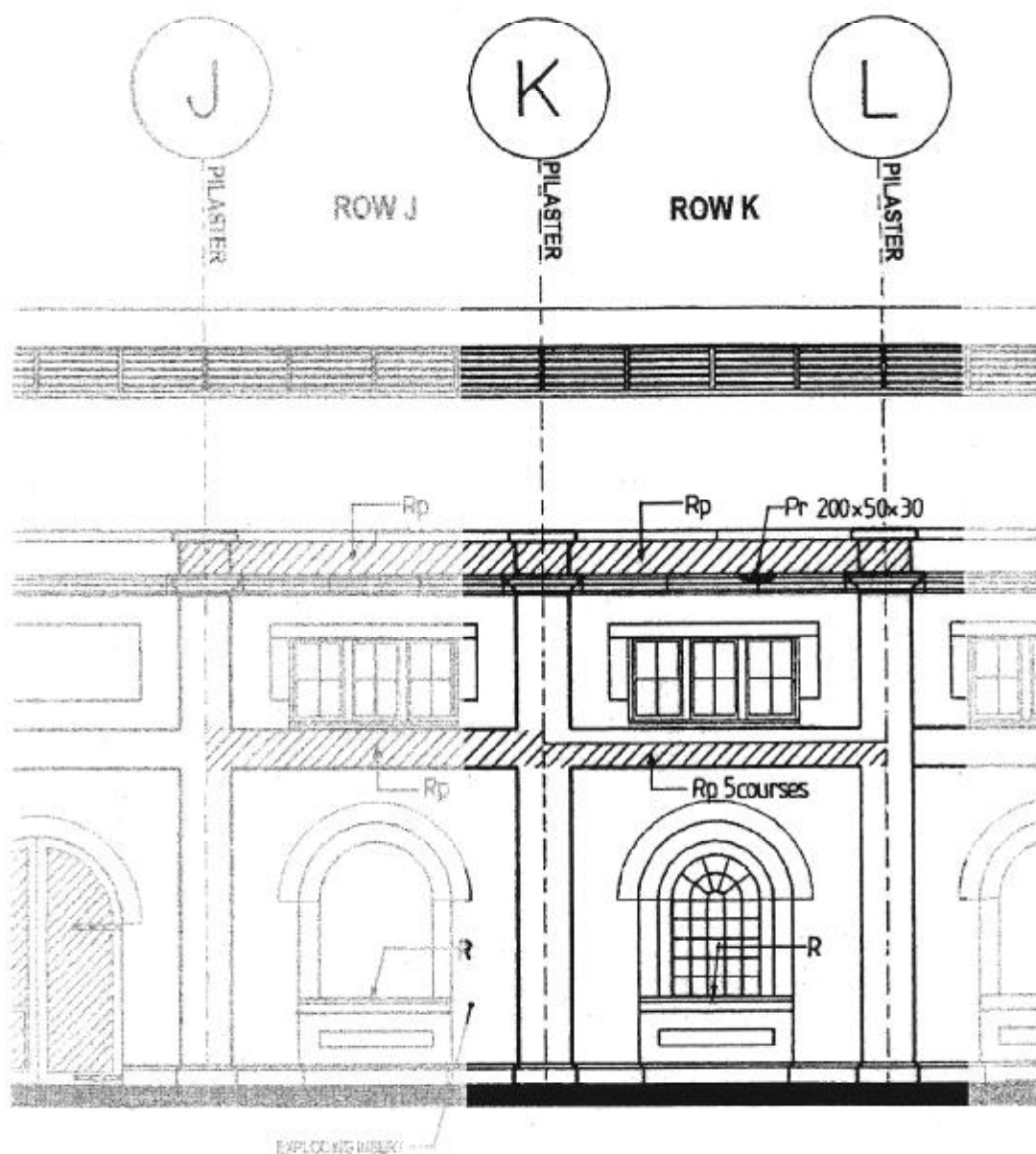


LOCATION Row K/6 west

RECORD # 10

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 10

Row K/6 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row K/6 west

Record # 10

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints.	
STONWORK					
coping	S1	C2	R3	Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet as shown. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Repair cornice.	
STONWORK					
cornice	S1	C2	R3	Patch stone with reinforcement as indicated in drawing.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C3	R1		
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C3	R1	Repoint as indicated in drawing. Light wash as required.	
arches	S1	C3	R1		
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	S1	C3	R1	Preserve bolt plate.	
STONWORK					
window sills	S1	C1	R3	Replace stone.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	S1				
WINDOWS	S1	C3	R1		
DOOR(S)	N/A				

Record # 10

Row K/6 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C2	R3	Rust proof corroded pipes.	
STEELWORK	S1	C3	R1	Preserve steel brackets.	Interpret
PILASTER	S1	C2	R3	Els joints repoint brickwork as shown, light wash is required.	
STONEMWORK					
coping	S1	C2	R3	Mortar fill and els joints.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint parapet.	
body	S1	C2	R3	Repoint as shown.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK:					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER1					
OTHER 2					
OTHER 3					

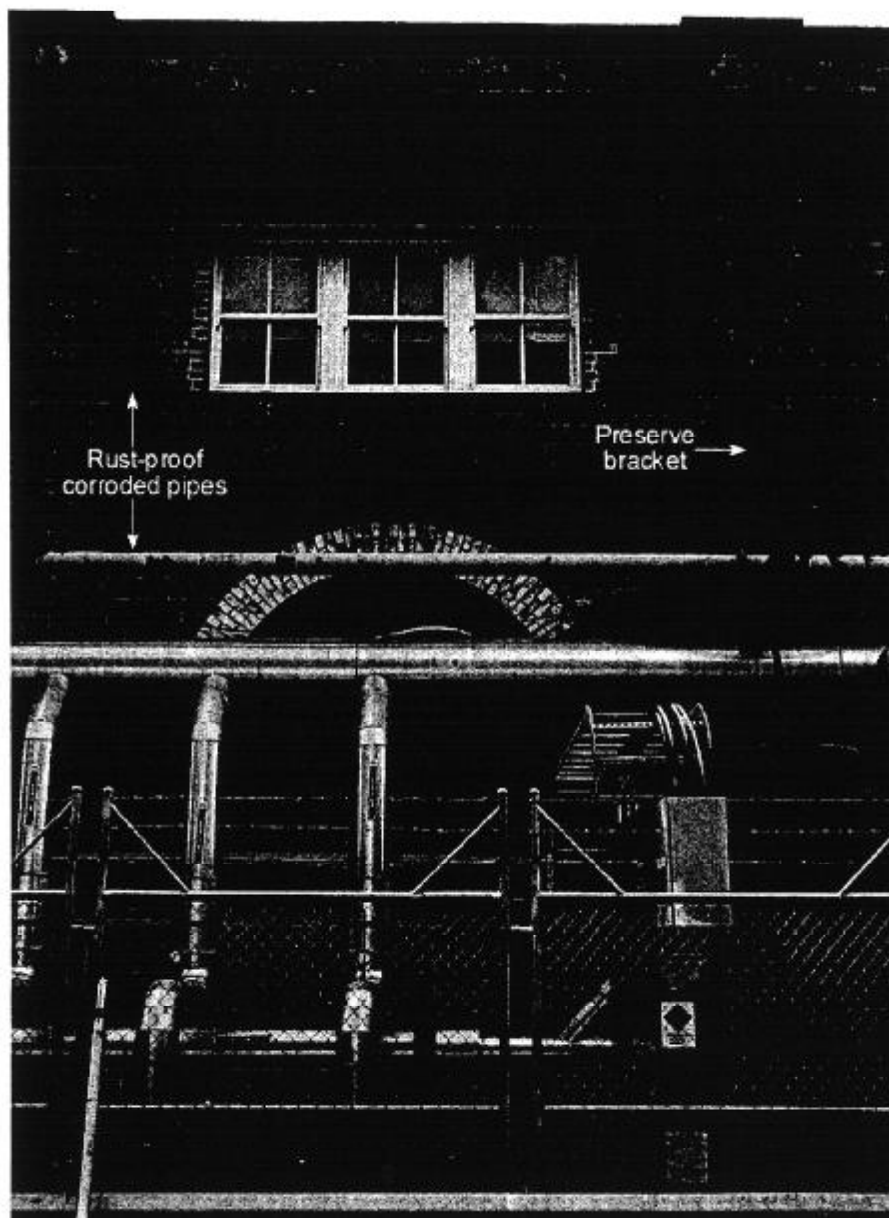
## COMMENTS

Row K/6 west

Record # 10



Preserve any  
historic fittings  
(eg. steel bolts)

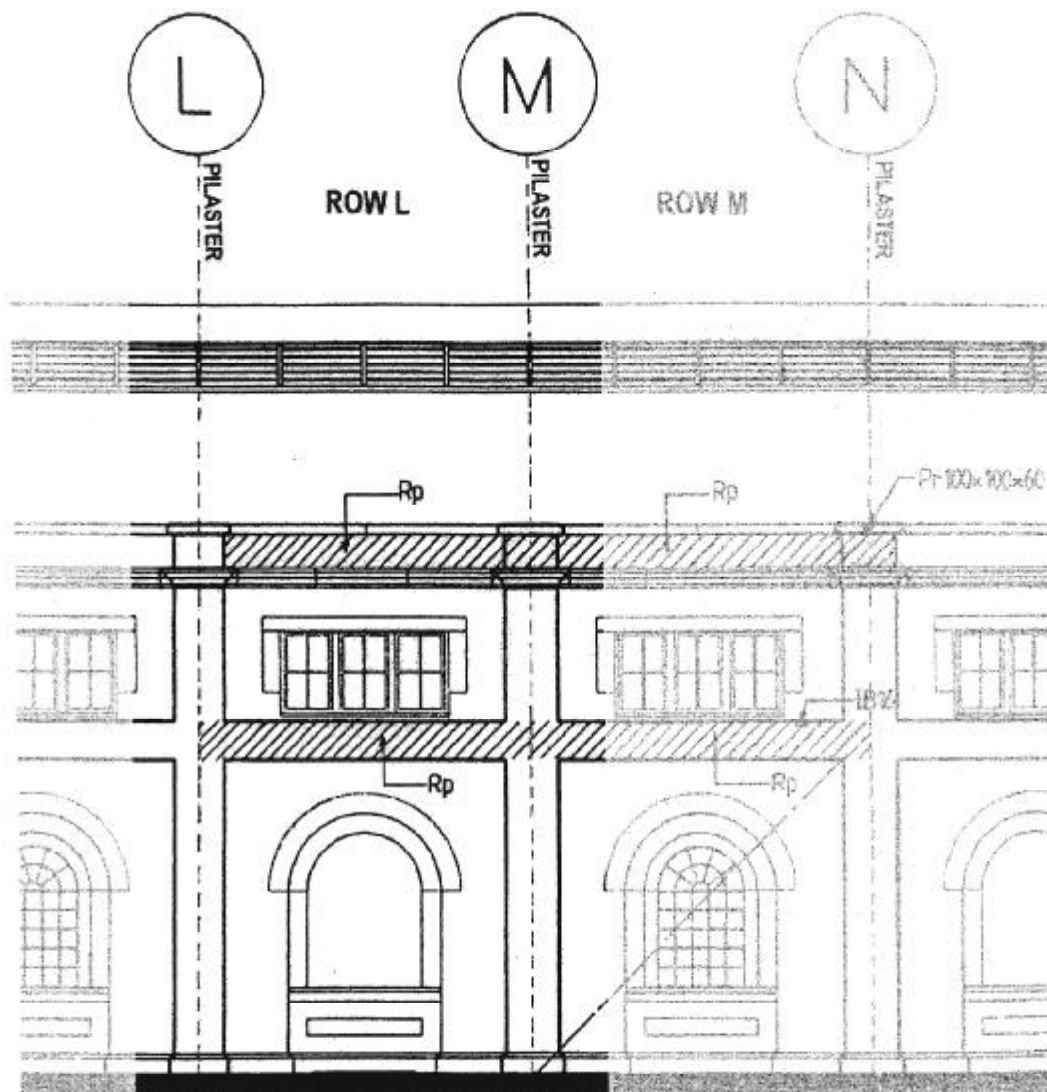


LOCATION Row L/5 west

RECORD # 11

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Area shown crossed out not surveyable

Record # 11

Row L/5 west

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                            |                                                                                   |
|--------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                   | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                    | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                   | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                            | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                        | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                              | <input type="checkbox"/> M5 Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                 | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input type="checkbox"/> IB Insert Brick                                                   | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastomeric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row L/5 west

Record # 11

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONEWORK					
coping	S1	C2	R3	Mortar fill & Els horizontal joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rim	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint as required.	
STONEWORK					
cornice	S1	C3	R2		
BRICKWORK					
rim	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C3	R1		
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint rim as shown.	
arches	S1	C3	R1		
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	N/A				
inserts	N/A				
STONEWORK					
window sills	S1	C2	R3	Els horizontal joints.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1	Light wash and repoint blind window as required.	
DOOR(S)	N/A				

Record # 11

Row L/5 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C2	R3	Rust proof corroded pipes.	
STEELWORK	S1	C3	R1	Preserve steel brackets for length of building.	Interpret
PILASTER	S1	C2	R3	Repoint parapet and body as shown. Light wash as required.	
STONEMWORK					
coping	S1	C3	R3	Mortar fill and els joints.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet.	
body	S1	C2	R3	Repoint brickwork as shown. Light wash as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER1					
OTHER 2					
OTHER 3					

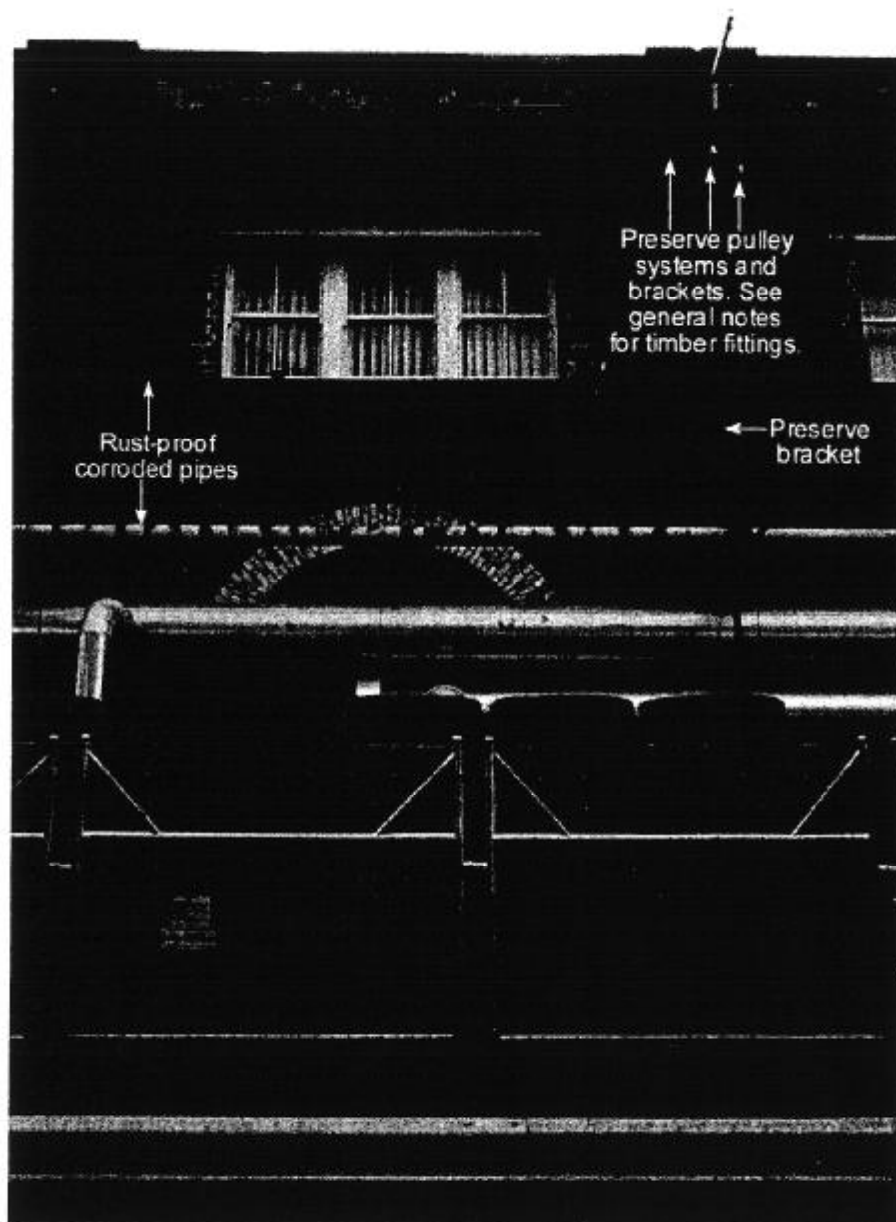
## COMMENTS

Row L/5 west

Record # 11



Preserve any  
historic fittings  
(eg. steel bolts)

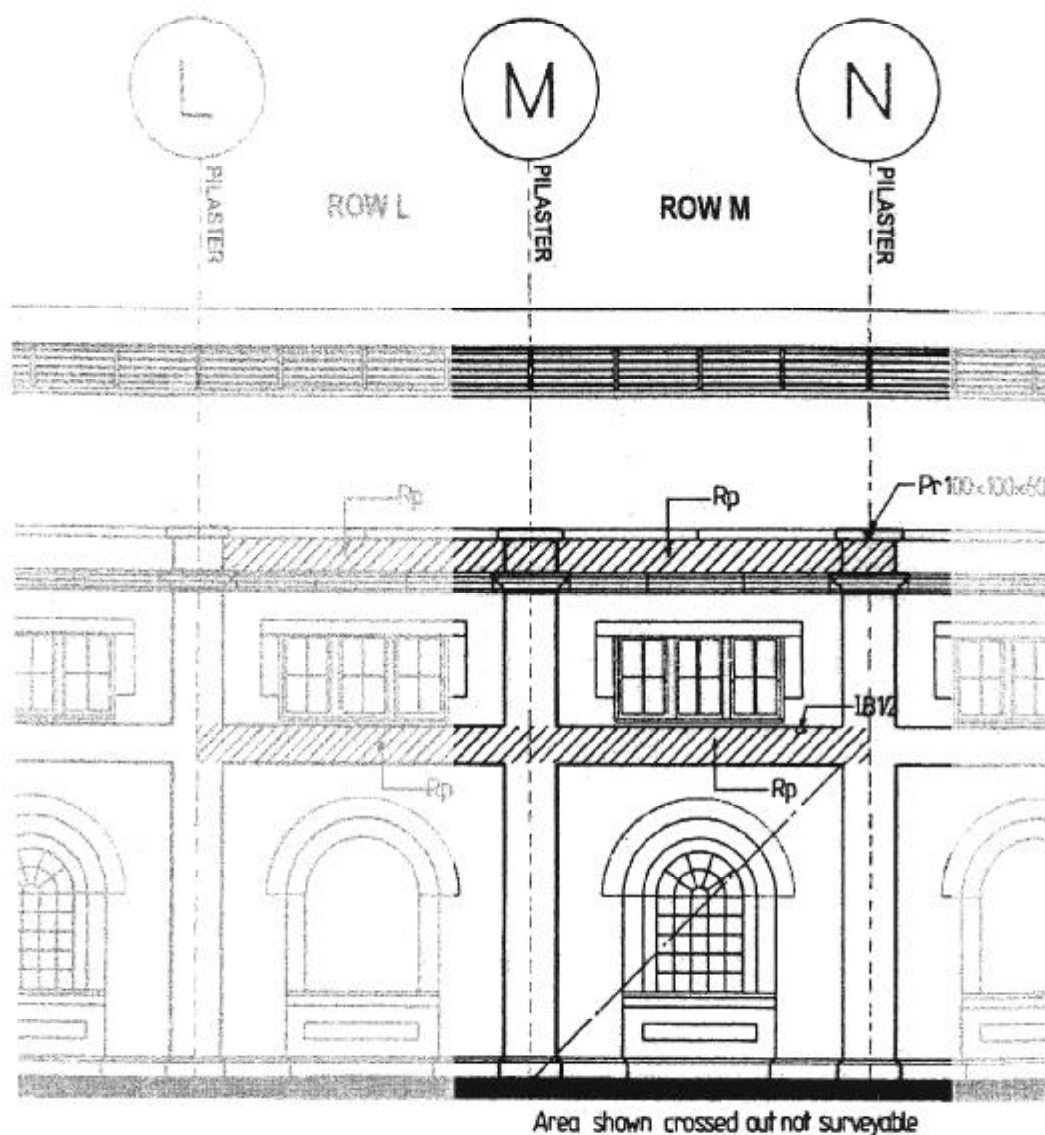


LOCATION Row M/4 west

RECORD # 12

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 12

Row M/4 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> C Corroded insert, remove and epoxy patch                          | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input checked="" type="checkbox"/> Pr Patch stone with reinforcement                       | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row M/4 west

Record # 12

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONWORK					
coping	S1	C2	R3	Mortar fill and Els horizontal joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL					
STONWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C2	R3	Insert brick. Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C3	R1		
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint rim.	
arches				Not surveyable	
panels				Not surveyable	
panel under sill				Not surveyable	
inserts	N/A				
STONWORK					
window sills				Not surveyable	
plinth				Not surveyable	
corbel	N/A				
inserts	N/A				
WINDOWS				Not surveyable.	
DOOR(S)	N/A				

Record # 12

Row M/4 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL				Not surveyable	
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S1	C2	R3	Rust proof corroded pipes.	
STEELWORK	S1	C3	R1	Preserve steel brackets for length of building.	Interpret
PILASTER	S1	C2	R3	Repoint brickwork and patch stone as shown in drawing.	
STONEWORK					
coping	S1	C2	R3	Patch stone with reinforcement as shown.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet.	
body	S1	C2	R3	Repoint parapet as shown. Light wash as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C2	R3	Preserve timber pulley system. (electrical insulators). See note.	
OTHER 2					
OTHER 3					

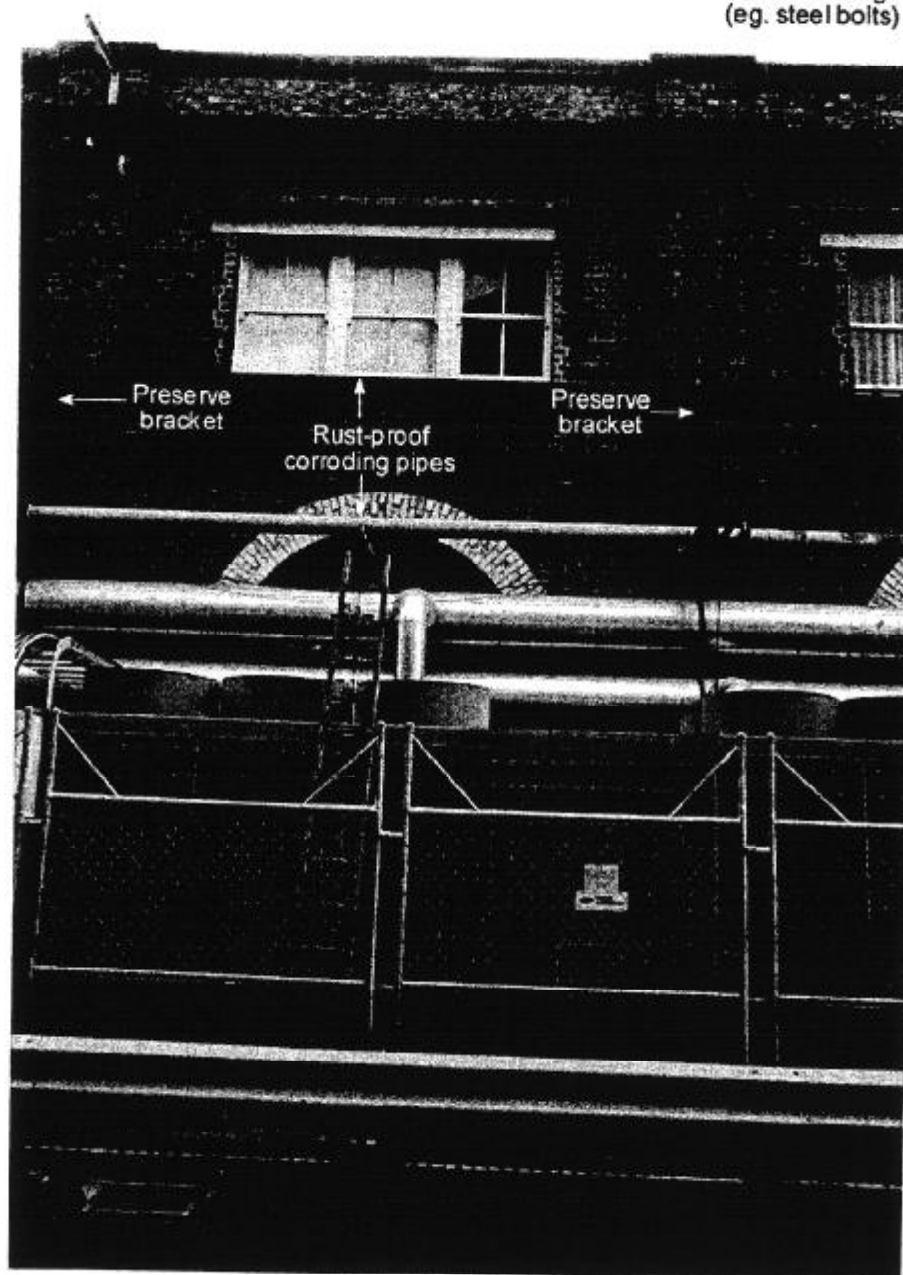
## COMMENTS

Row M/4 west

Record # 12



Preserve any  
historic fittings  
(eg. steel bolts)



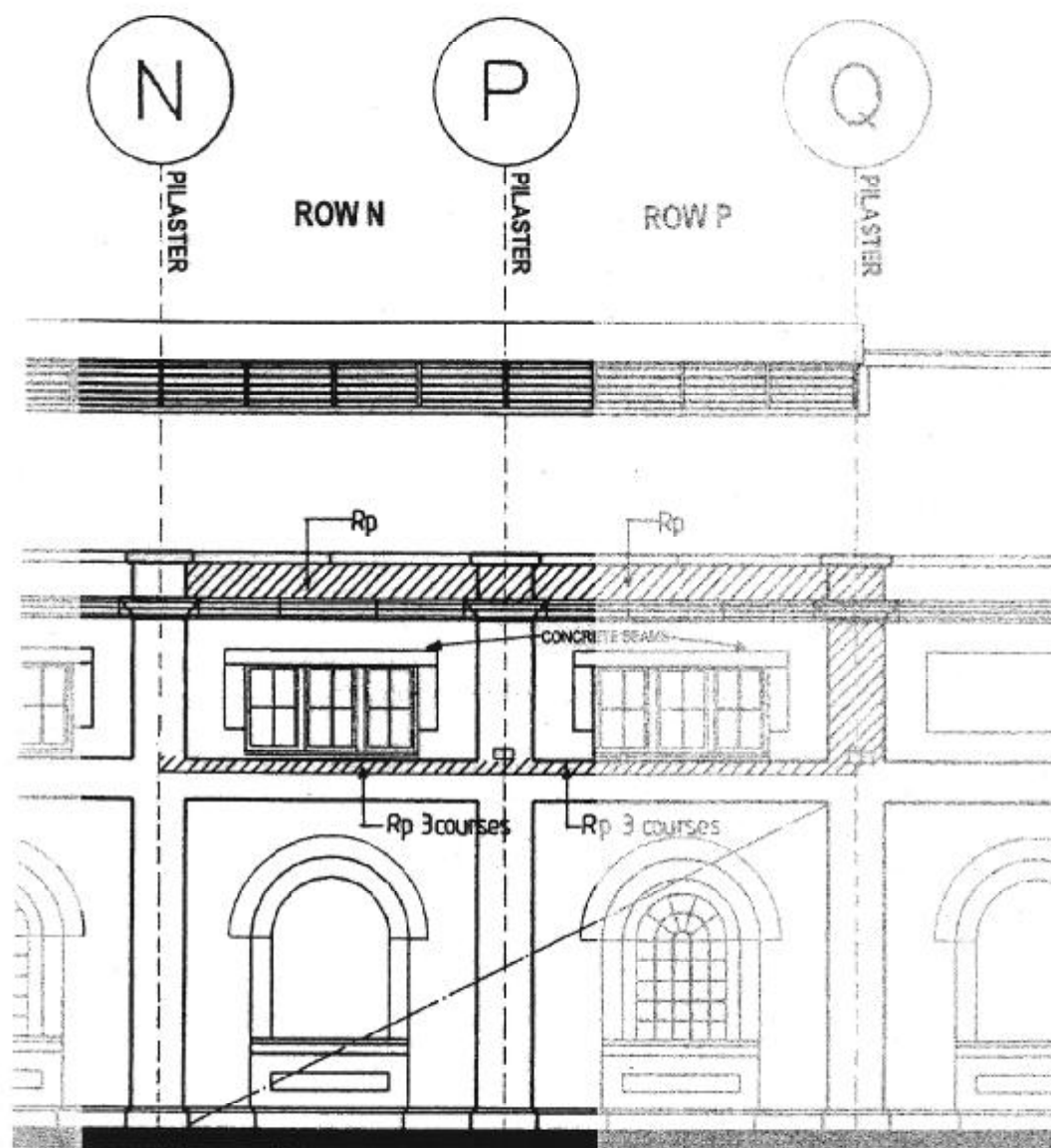
LOCATION Row N/3 west

RECORD # 13

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Area shown crossed out not surveyable

Record # 13

Row N/3 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                            |                                                                                   |
|--------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                   | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                    | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                   | <input type="checkbox"/> Tme To match existing                                    |
| <input checked="" type="checkbox"/> Rp Re point                                            | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                        | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                              | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                 | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input type="checkbox"/> IB Insert Brick                                                   | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Es Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row N/3 west

Record # 13

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet. Els joints. Light wash as required.	
STONEWORK					
coping	S1	C2	R3	Mortar fill and Els horizontal joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C3	R1	Light wash and repoint brickwork as required.	
STONEWORK					
cornice	S1	C3	R1		
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	S1	C3	R1		
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint 3 courses as shown. Light wash as required.	
arches				Not surveyable	
panels				Not surveyable	
panel under sill				Not surveyable	
inserts	N/A				
STONEWORK					
window sills				Not surveyable	
plinth				Not surveyable	
corbel	N/A				
inserts	N/A				
WINDOWS				Blind window not surveyable	
DOOR(S)	N/A				

Record # 13

Row N/3 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL				Not surveyable	
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES				Rust proof corroded pipes.	
STEELWORK				Preserve steel brackets for length of building.	Interpret
PILASTER	S1	C2	R3	Repoint parapet and body. Els joints. Light wash as required.	
STONEMWORK					
coping	S1	C2	R3	Mortar fill and els joints.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint entire parapet.	
body	S1	C2	R3	Repoint brickwork as indicated.	
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEMWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1					
OTHER 2					
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Annexe 20a /South

Record # 6

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET					
STONEWORK					
coping					
weathering					
inserts					
BRICKWORK					
rims					
panels					
inserts					
BULLSEYE					
UPPER WALL					
STONEWORK					
cornice					
BRICKWORK					
rims					
panels					
inserts					
WINDOWS					
LOUVRES					
LOWER WALL					
BRICKWORK					
rim					
arches					
panels					
panel under sill					
inserts					
STONEWORK					
window sills					
plinth					
corbel					
inserts					
WINDOWS					
DOOR(S)					

Record # 6

Annexe 20a /South

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL					
THRESHOLD					
TIMBER FRAMED WALL					
SERVICE PIPES					
STEELWORK					
PILASTER					
STONEMWORK					
coping					
cornice					
plinth					
inserts					
BRICKWORK					
parapet					
body					
down pipes					
inserts					
END PILASTER					
STONEMWORKS					
coping					
cornice					
plinth					
inserts					
BRICKWORK					
parapet					
body					
pipes					
inserts					
OTHER 1					
OTHER 2					
OTHER 3					

## COMMENTS

Annexe 20a /South

Record # 6

New addition is of neutral significance. No data entered for this annexe.



## SOUTH WALL ANNEXES INVENTORY SHEETS

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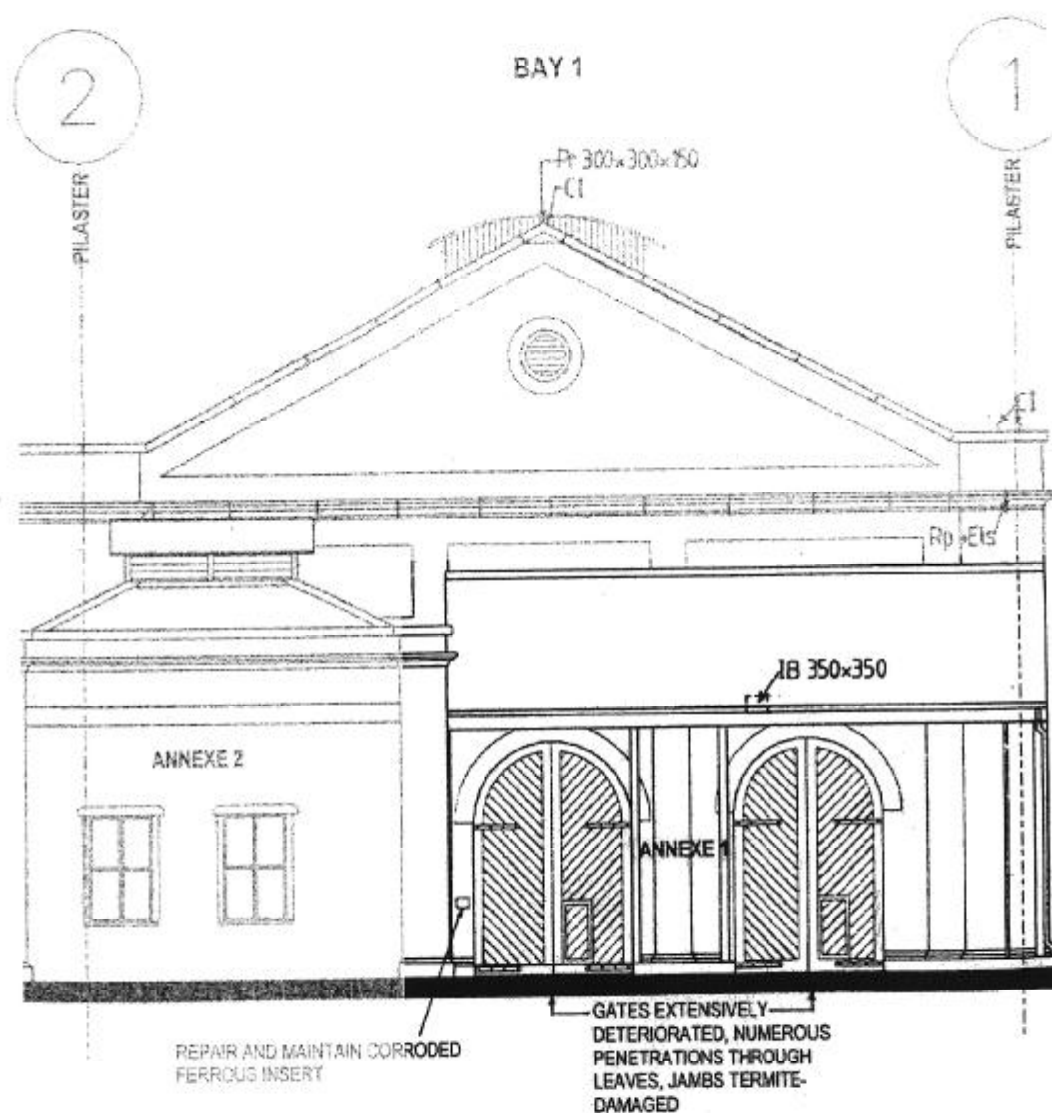
LOCATION 

RECORD # 1

☐ BAY  
☐ ROW  
☒ ANNEXE

☐ NORTH  
☒ SOUTH  
☐ EAST  
☐ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



Record # 1

Annexe 1/ South

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                            |                                                                                   |
|--------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                   | <input type="checkbox"/> In Inject crack with epoxy mixture                       |
| <input type="checkbox"/> I Indent stone                                                    | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                   | <input type="checkbox"/> Time To match existing                                   |
| <input checked="" type="checkbox"/> Rp Re point                                            | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Cl Corroded insert, remove and epoxy patch                        | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                              | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                 | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB Insert Brick                                        | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastomeric sealant and backing rod to top | <input type="checkbox"/> Ot Other: see "Notes"                                    |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive,

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Annexe 1/ South

Record # 1

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	N/A				
STONEMWORK					
coping	N/A				
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	N/A				
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	N/A				
STONEMWORK					
cornice	N/A				
BRICKWORK					
rims	N/A				
panels	N/A				
inserts	N/A				
Windows	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	N/A				
arches	N/A				
panels	N/A				
panel under sill	N/A				
inserts	N/A				
STONEMWORK					
window sills	N/A				
plinth	N/A				
corbel	N/A				
inserts	N/A				
Windows	N/A				
Door(s)					

Record # 1

Annexe 1/ South

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES					
STEELWORK	N/A				
PILASTER	N/A				
STONWORK					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1					
OTHER 2					
OTHER 3					

## COMMENTS

Annexe 1/ South

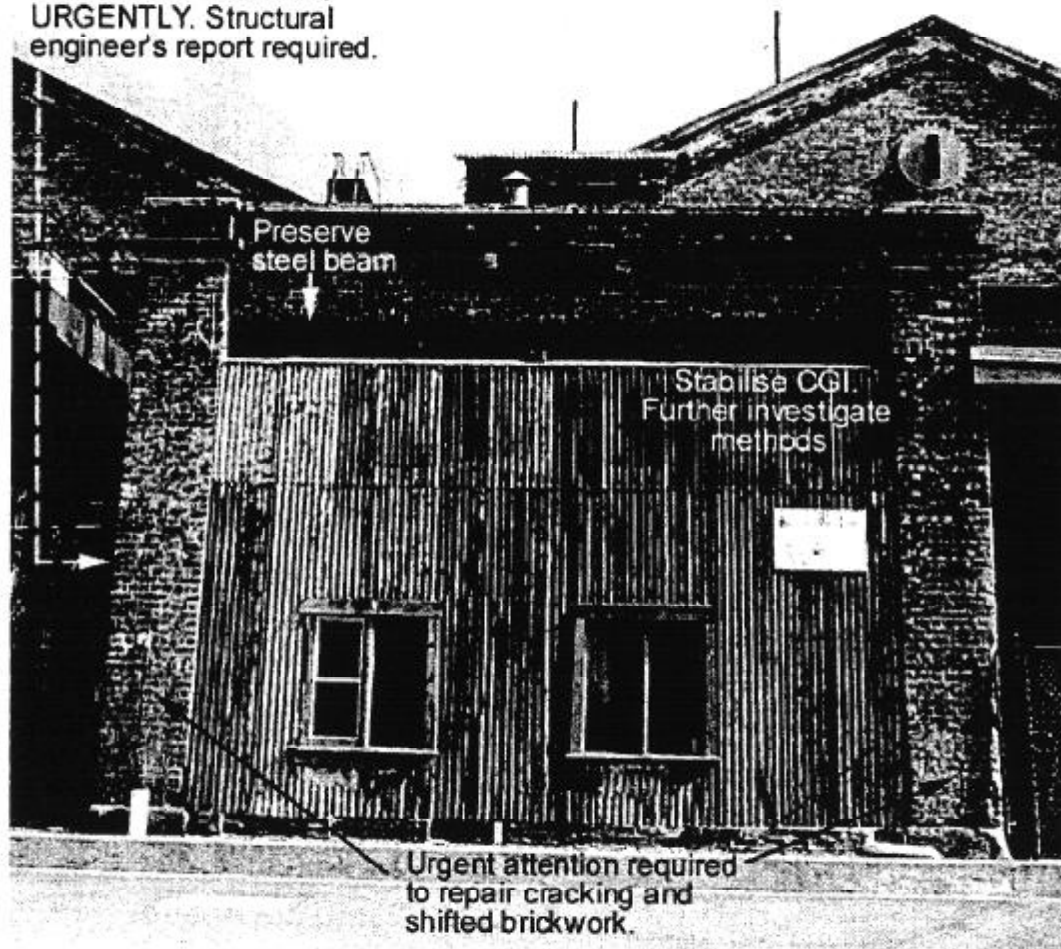
Record # 1

Annexe 1 is a simple lean-to addition with railway steel columns of railway tracks and a corrugated steel roof. It should be maintained as an open sided under cover space as far as possible. However, this annexe is currently operating as a workshop for Wrought Artworks. The De Burge shears are immediately inside the east wall and when operating could constitute a public risk.

The existing fabric is not of particular significance but the annex form and materials should be retained. The structure should be generally maintained. New elements may be necessary for continued operational safety.



Repair major cracking  
on west wall of annexe  
**URGENTLY.** Structural  
engineer's report required.

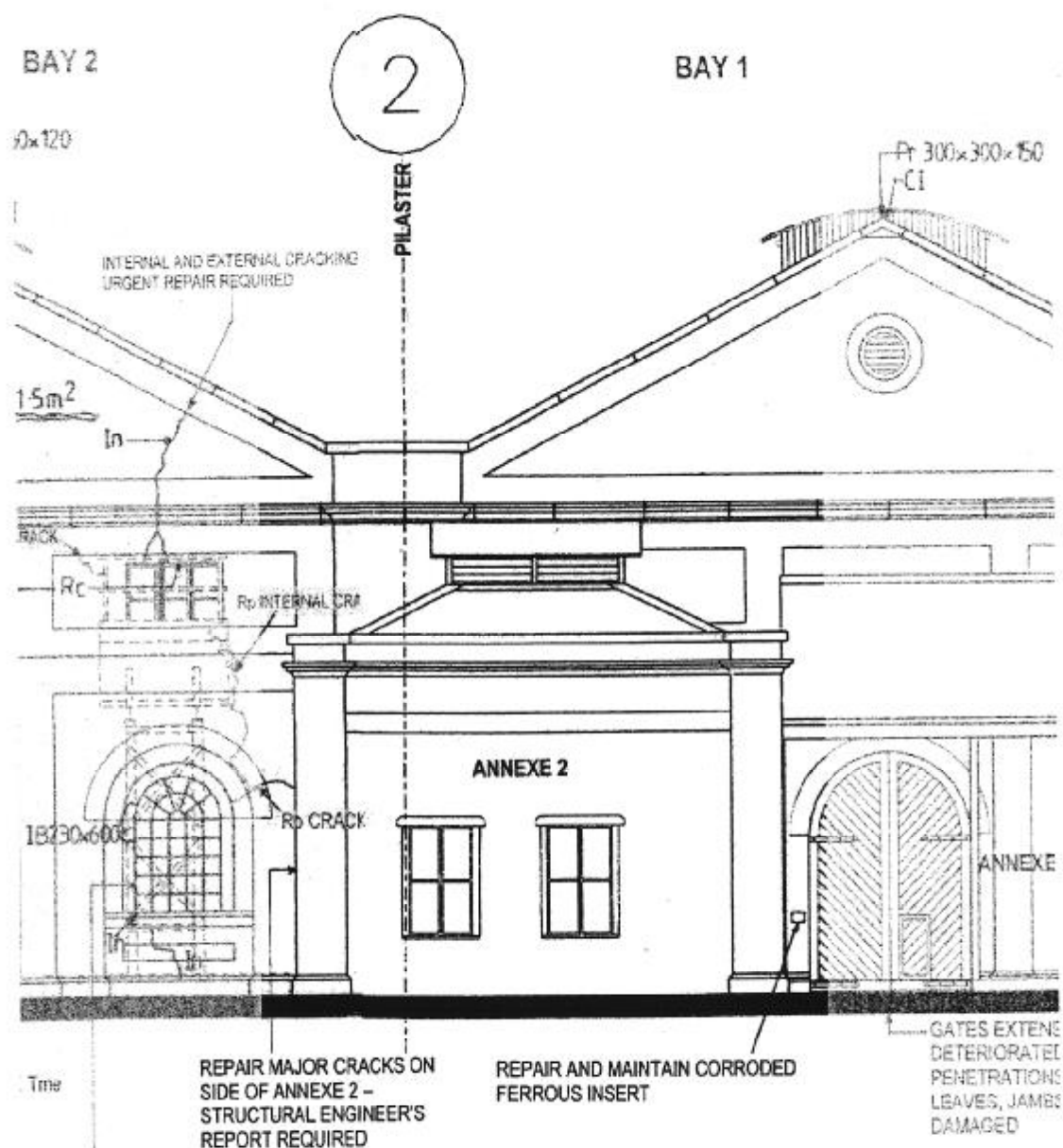


LOCATION

RECORD # 5

- |                                            |                                           |
|--------------------------------------------|-------------------------------------------|
| <input type="checkbox"/> BAY               | <input type="checkbox"/> NORTH            |
| <input type="checkbox"/> ROW               | <input checked="" type="checkbox"/> SOUTH |
| <input checked="" type="checkbox"/> ANNEXE | <input type="checkbox"/> EAST             |
|                                            | <input type="checkbox"/> WEST             |

☒ URGENT WORK   ☒ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 5

Annexe 2 /South

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- |                                                                                             |                                                                                              |
|---------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------|
| <input type="checkbox"/> R replace stone                                                    | <input type="checkbox"/> In Inject crack with epoxy mixture                                  |
| <input type="checkbox"/> I Indent stone                                                     | <input checked="" type="checkbox"/> Rc Apply rust converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tme To match existing                                               |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping               |
| <input type="checkbox"/> Ci Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep                  |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                                |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                                  |
| <input type="checkbox"/> IB Insert Brick                                                    | <input type="checkbox"/> Rb Reconstruction of brick surface of wall                          |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                               |

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Annexe 2 /South

Record # 5

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C3	R1	Good condition. Els joints. Light wash, repoint as required.	
STONWORK					
coping	S1	C3	R1	Mortar fill and els joints.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	N/A				
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Els stone joints. Light wash, repoint brickwork as required.	
STONWORK					
cornice	S1	C2	R3	Mortar fill and els joints.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	N/A				
inserts	N/A				
WINDOWS	N/A				
LOUNRES	N/A				
LOWER WALL					
BRICKWORK					
rim	N/A				
arches	N/A				
panels	N/A				
panel under sill	N/A				
inserts	N/A				
STONWORK					
window sills	N/A				
plinth	S1	C2	R3	Plinth exfoliating severely. Repair	HP
corbel	N/A				
inserts	N/A				
WINDOWS	S2	C2	R3	Apply rust converter to window heads as required.	
DOOR(s)	N/A				

Record # 5

Annexe 2 /South

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good.

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S2	C3	R1	Glass intact.	
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C3	R1	Monitor steel beam. Apply rust converter if required.	
PILASTER	S1	C2	R3	Stabilise pilaster, repair major cracks. Repoint.	URGENT
STONEMWORK					
coping	S1	C2	R3	Mortar fill and els joints.	
cornice	S1	C2	R3	Mortar fill and els joints.	
plinth	S1	C1	R3	Plinth exfoliating severely. Repair	HP
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C1	R2	Repair major cracks. Stabilise brickwork. Light wash, repoint.	URGENT
down pipes	N/A				
inserts	Nil				
END PILASTER	S1	C1	R2	Pilaster may be unstable. Repair cracks, remove vegetation.	URGENT
STONEMWORKS					
coping	S1	C3	R1	Mortar fill and els joints.	
cornice	S1	C3	R1	Mortar fill and els joints.	
plinth	S1	C1	R3	Plinth exfoliating severely. Repair	HP
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C1	R2	Remove vegetation. Repair major cracks. Stabilise brickwork.	HP
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R2	Repair major cracking on west wall of annexe immediately. Unstable.	URGENT
OTHER 2	S2	C2	R3	Stabilise corrugated iron. Investigate preservation techniques.	
OTHER 3					

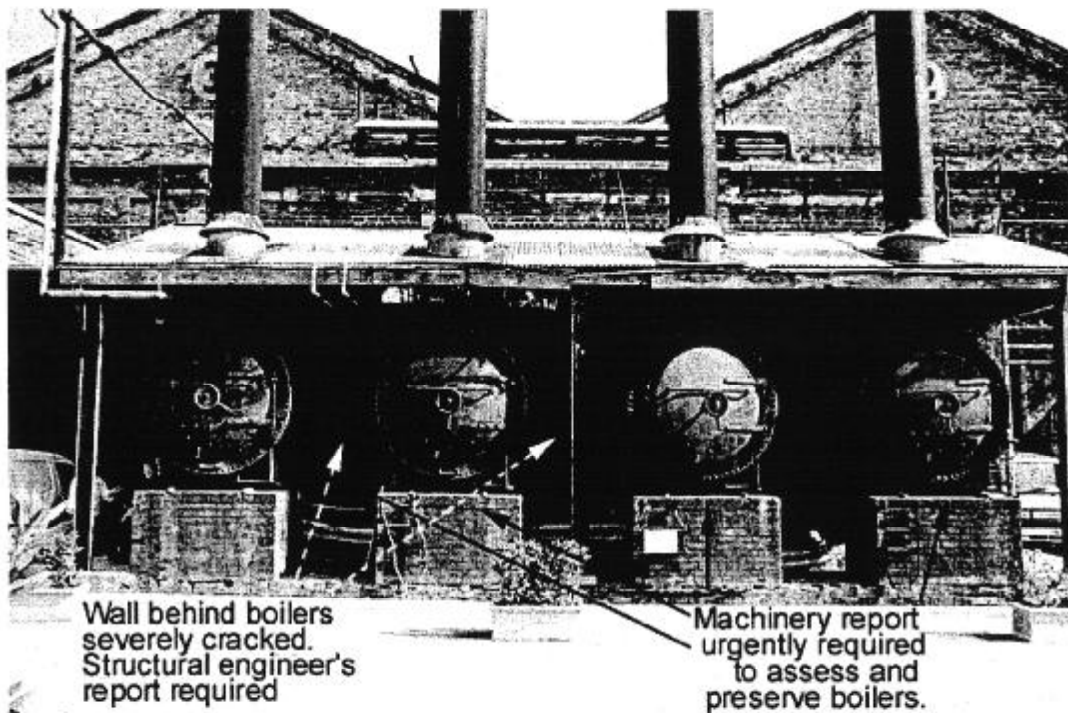
## COMMENTS

Annexe 2 /South

Record # 5

Large internal and external cracks indicate structural instability in Annexe 2. A structural engineer's report is required, particularly to assess the west wall. Stabilising and repairing Annexe 2 should be given highest priority. See also the Fabric Inventory report for a more detailed study of the interior fabric.



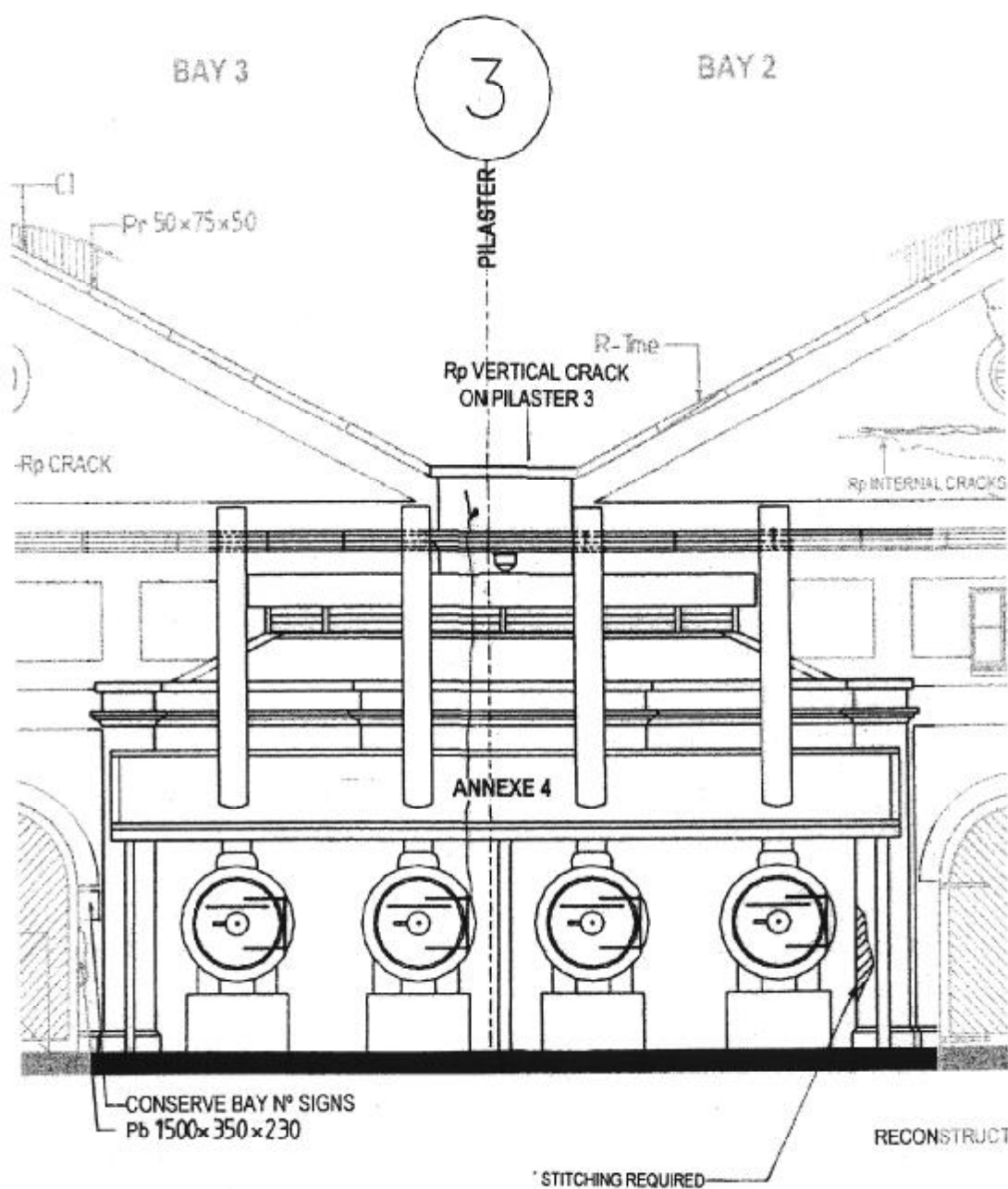


LOCATION

RECORD # 7

- |                                            |                                           |
|--------------------------------------------|-------------------------------------------|
| <input type="checkbox"/> BAY               | <input type="checkbox"/> NORTH            |
| <input type="checkbox"/> ROW               | <input checked="" type="checkbox"/> SOUTH |
| <input checked="" type="checkbox"/> ANNEXE | <input type="checkbox"/> EAST             |
|                                            | <input type="checkbox"/> WEST             |

☒ URGENT WORK   ☒ HP [HIGH PRIORITY]   ☐ INTRUSIVE   ☐ INTERPRET



Record # 7

Annexe 4 /South

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

<input type="checkbox"/> R replace stone	<input type="checkbox"/> In Inject crack with epoxy mixture
<input type="checkbox"/> I Indent stone	<input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert
<input type="checkbox"/> H Hairline jointed stone insert	<input type="checkbox"/> Tme To match existing
<input checked="" type="checkbox"/> Rp Re point	<input type="checkbox"/> Zac New Zincalume capping to replace corroded capping
<input type="checkbox"/> Cl Corroded insert, remove and epoxy patch	<input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep
<input type="checkbox"/> Ps Small epoxy patch	<input type="checkbox"/> MS Make safe by removing loose stone
<input checked="" type="checkbox"/> Pr Patch stone with reinforcement	<input type="checkbox"/> Pb Patch brickwork
<input type="checkbox"/> IB Insert Brick	<input type="checkbox"/> Rb Reconstruction of brick surface of wall
<input type="checkbox"/> Es Mortar fill joint, elastometric sealant and backing rod to top	<input type="checkbox"/> Ot Other, see "Notes"

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Annexe 4 /South

Record # 7

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	N/A				
STONEWORK					
coping	N/A				
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	N/A				
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	N/A				
STONEWORK					
cornice	N/A				
BRICKWORK					
rims	N/A				
panels	N/A				
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C1	R2	Severe cracking. Urgent attention - consult machinery report.	URGENT
arches	N/A				
panels	S1	C1	R2	Severe cracking. Urgent attention - consult machinery report.	URGENT
panel under sill	N/A				
inserts	N/A				
STONEWORK					
window sills	N/A				
plinth	N/A			Not surveyable	
corbel	N/A				
inserts	N/A				
WINDOWS					
DOOR(S)					

Record # 7

Annexe 4 /South

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C1	R2	Urgently preserve boilers. Consult machinery report.	URGENT
PILASTER	S1	C1	R3	Repoint vertical crack in pilaster 3. Els joints.	
STONWORK					
coping	S1	C3	R3	Mortar fill and els joints	
cornice	S1	C3	R3	Mortar fill and els joints	
plinth	S1	C3	R3	Mortar fill and els joints	
inserts	Nil				
BRICKWORK					
parapet	S1	C3	R1	Light wash and repoint as required.	
body	S1	C1	R3	Repoint large vertical crack in pilaster.	HP
down pipes	S1	C1	R1	Internal downpipes caused cracking, now diverted but intact.	Done
inserts	Nil				
END PILASTER	S2	C1	R3	Urgently stitch eastern pillar. West pillar good condition.	URGENT
STONWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	S2	C1	R3	Stitch brickwork urgently in eastern pillar. Light wash, repoint.	Urgent
pipes	N/A				
inserts	Nil				
OTHER 1					
OTHER 2					
OTHER 3					

Annexe 4 /South

Record # 7

## COMMENTS

Annexe 4 is in very bad condition and is structurally unstable. It was originally a brick annex but when larger boilers were installed a large steel beam was inserted and a light weight leanto annex added. The two parts of the annex should be conserved in this form.

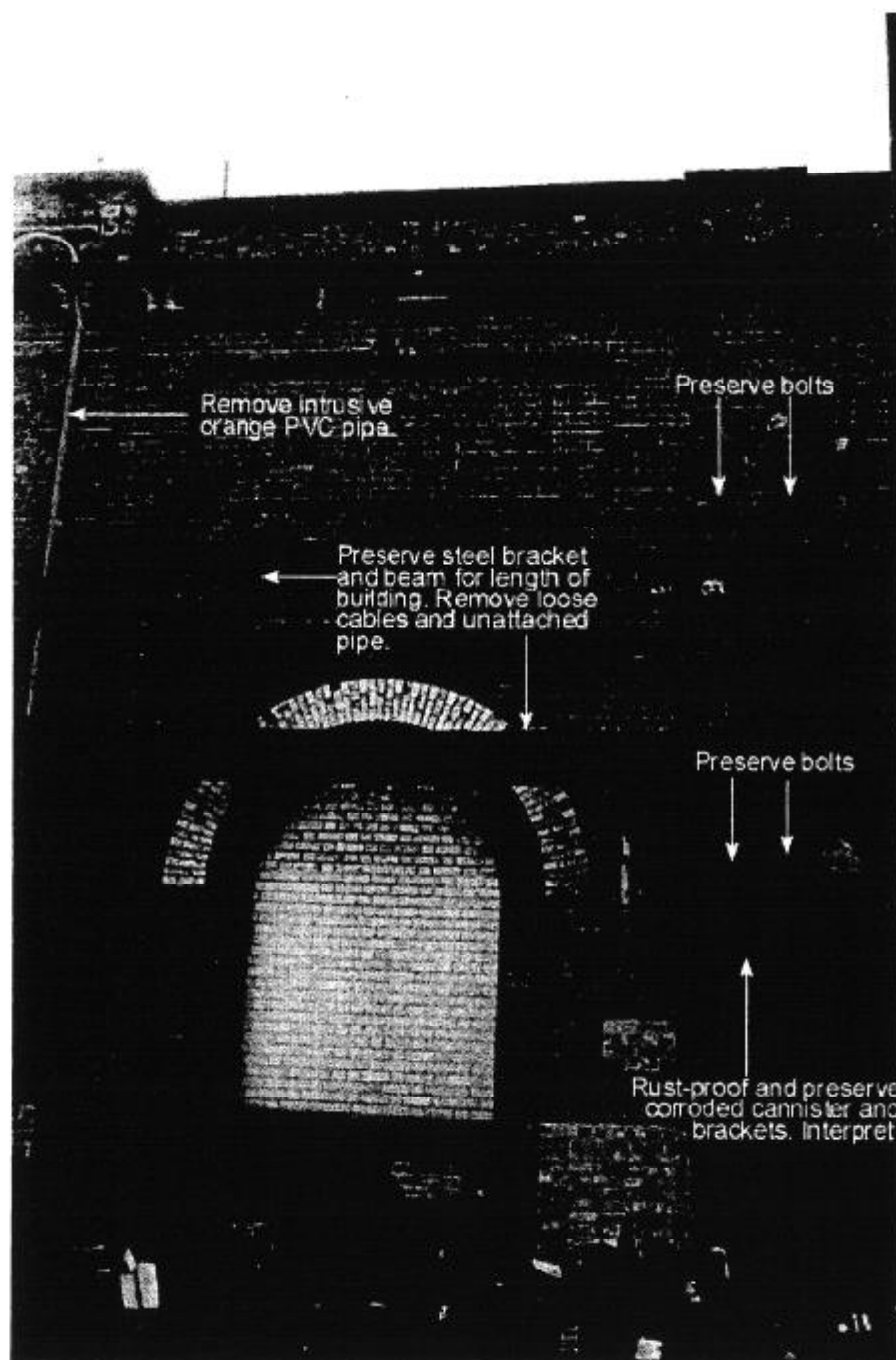
A structural engineer's report is required to assess severe cracking on the back wall and the overall condition of the annexe. Cracks should then be repaired as soon as possible in consultation with this report. The eastern pilaster brickwork needs to be stitched urgently. The four boilers are also severely deteriorating and the pit below them has blocked stormwater drains and fills with water. The boiler insulation is loose and should be assessed as it may be asbestos.

Recommendations for preservation of the boilers should be outlined in the machinery report. Interpretive signage could also be prepared.



## WEST WALL INVENTORY SHEETS

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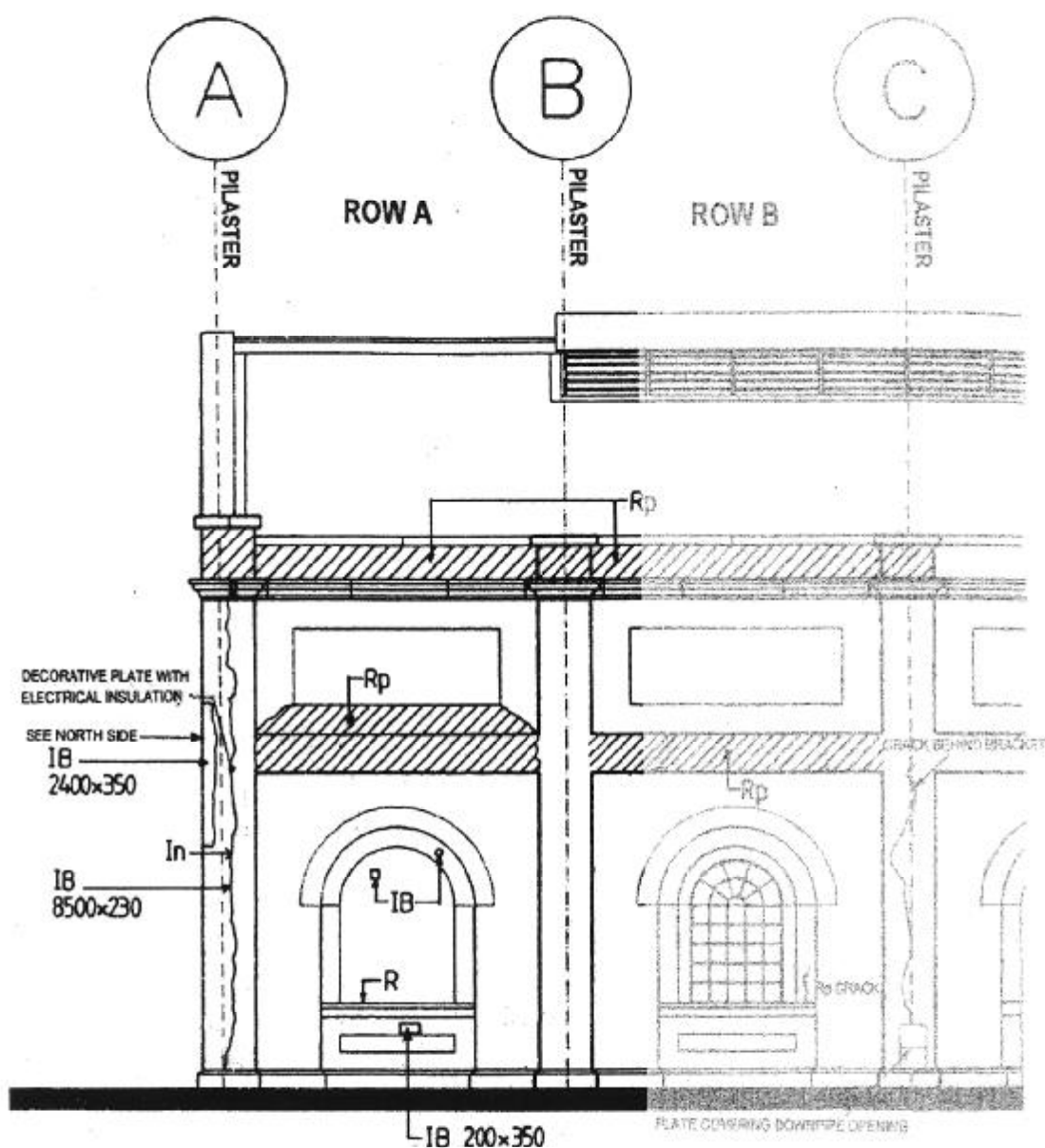
LOCATION Row A/15 west

RECORD # 1

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☒ URGENT WORK ☒ HP [HIGH PRIORITY] ☒ INTRUSIVE ☒ INTERPRET



Record # 1

Row A/15 west

**NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.**

- |                                                                                             |                                                                                   |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> R replace stone                                         | <input checked="" type="checkbox"/> In Inject crack with epoxy mixture            |
| <input type="checkbox"/> I Indent stone                                                     | <input type="checkbox"/> Rc Apply rust-converter to corroded ferrous metal insert |
| <input type="checkbox"/> H Hairline jointed stone insert                                    | <input type="checkbox"/> Tm To match existing                                     |
| <input checked="" type="checkbox"/> Rp Re point                                             | <input type="checkbox"/> Zac New Zincalume capping to replace corroded capping    |
| <input type="checkbox"/> Cl Corroded insert, remove and epoxy patch                         | <input type="checkbox"/> Rv Remove vegetation and rake out joints 20mm deep       |
| <input type="checkbox"/> Ps Small epoxy patch                                               | <input type="checkbox"/> MS Make safe by removing loose stone                     |
| <input type="checkbox"/> Pr Patch stone with reinforcement                                  | <input type="checkbox"/> Pb Patch brickwork                                       |
| <input checked="" type="checkbox"/> IB Insert Brick                                         | <input type="checkbox"/> Rb Reconstruction of brick surface of wall               |
| <input type="checkbox"/> Els Mortar fill joint, elastometric sealant and backing rod to top | <input type="checkbox"/> Ot Other, see "Notes"                                    |

key  
 S1 - high, S2 - moderate, S3 - low, S4 - intrusive.  
 C1 - bad, C2 - poor, C3 - good  
 R1 - maintain, R2 - urgent work, R3 - repair

Row A/15 west

Record # 1

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint parapet brickwork. Els joints. Light wash.	
STONework					
coping	S1	C2	R3	Mortar fill & Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Repoint rim brickwork and Els cornice joints.	
STONework					
cornice	S1	C2	R3	Mortar fill and Els joints.	
BRICKWORK					
rims	S1	C2	R3	Repoint brickwork as shown. Light wash as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint brickwork as shown. Light wash as required.	
arches	S1	C2	R3	Insert brick as shown. Light wash, repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C2	R3	Insert brick.	
inserts	N/A				
STONework					
window sills	S1	C1	R3	Replace sill. Mortar fill and Els new joints.	
plinth	S1	C2	R3	Mortar fill and Els joints.	
corbel	N/A				
inserts	N/A				
Windows	S1	C2	R3	Insert brick in blind window. Light wash as required.	
Door(s)	N/A				

Record # 1

Row A/15 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	N/A				
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	S4	C1	R3	Remove intrusive unattached pipes and loose cables,	Intrusive
STEELWORK	S1	C2	R3	Preserve steel bracket for length of wall. Rust proof as	
PILASTER					
STONEMWORK					
coping	S1	C2	R3	Mortar fill and Els joints. Light wash as required.	
cornice	S1	C2	R3	Els joints. Light wash as required.	
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint parapet. Light wash as required.	
body	S1	C3	R1	Light wash and repoint as required.	
down pipes	N/A				
inserts	Nil				
END PILASTER	S1	C1	R2	Urgently repair major crack, insert bricks and patch cornice.	URGENT
STONEMWORKS					
coping	S1	C2	R3	Els joints. Light wash as required.	
cornice	S1	C1	R2	Patch stone and repair crack in cornice.	HP
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint parapet.	
body	S1	C1	R2	Repair large vertical crack urgently. Insert bricks as indicated.	URGENT
pipes	N/A				
inserts	Nil				
OTHER 1	S4	C1	R3	Remove unattached steel pipe and loose cables from steel bracket.	Intrusive
OTHER 2	S4	C2	R3	Remove intrusive orange cables and associated aluminium brackets.	Intrusive
OTHER 3	S1	C1	R3	Rust proof corroded cannister at pilaster B. Consider interpretation.	Interpret

## SUMMARY OF COST ESTIMATIONS

LOCATION	0-2 years	3-5 years	6-10 years	10 + years	Sub Total	Scaffold	Travel Tower	Scissor Lift	Final Total
NORTH	13154	36872	9438	60000	119464	160000			279464
WEST	2278	21691	8079	32000	64048		19500		83548
SOUTH	8729	38086	348981	4000	399796		41600		441396
EAST	2228	6053	-	-	8281			7500	15781
TOTALS:	26389	102702	368498	96000	591589	160000	61100	7500	820189

# COST ESTIMATION: EAST

Location	TYPE OF WORK AS IN LEGEND											STAGE (YEARS)							
	R	I	H	Rp (Rv+Rp)	Cl	Ps	Pr	IB	Els	In	Rc	Zac	Ms	Pb	Rb	0-2	3-5	6-10	10 +
Row Q				100					91	100			45			136	200		
Rows N&P				100	20		165		212				90	10		302	295		
Rows L&M				415	40		230		212	100			90			302	785		
Rows J&K				1211	60		250		212	100			90			302	1621		
Rows G&H				100	60			20	212				90			302	180		
Rows E&F				140	20		120		212				90			302	260		
Rows C&D				140	80		150	1527	212	335			90			302	2232		
Rows A&B				200			230	20	190				90	10		280	460		
Totals:				2406	280		1145	1567	1653	635			675	20		2228	6063		

# COST ESTIMATION: SOUTH

Location	TYPE OF WORK AS IN LEGEND															STAGE (YEARS)			
	R	I	H	Rp (Rv+Rp)	Cl	Ps	Pr	IB	Els	In	Rc	Zac	Ms	Pb	Rb	0-2	3-5	6-10	10 +
Bay 16	12852			1176	20			56	379	100						379	1352	12852	
Bay 15				4857	40		120	175	394	140	50			10	394	394	5392		
Bay 14		7008		2710	40			35	394							394	2785	7008	
Bay 13		14553		4809	20			91	394		30			8	1043	394	6001	14553	
Bay 12	3551	64377	1942	2950	20			706	394	1248	30					394	4954	69870	
Bay 11	11390	64377		1370	20			8	394		30					394	1428	75767	
Bay 10	8441	42267		277	20				394		42					394	339	50708	
Bay 9	4000	57816		2193	20			15	394		42			8		394	2224	57816	4000
Bay 8	21052		1454	5952	20				394							394	5972	22506	
Bay 7	23086			788	20			98	394					32	1736	394	2674	23086	
Bay 6	11390	1314		1654	80			320	379				360			739	2054	12704	
Bay 5			2111		20			56	434				360			794	76	2111	
Bay 4					20			20	444	476			360			804	516		
Bay 3					40		45	450	424				360			784	535		
Bay 2				300	40		160	35	484	909	40		360			844	1484		
Bay 1					60		180	60	479				360			839	300		
Totals:	95762	251712	5507	29036	600		505	2125	6569	2873	264		2160	58	2779	8729	38086	348981	4000

# COST ESTIMATION: WEST

Location	TYPE OF WORK AS IN LEGEND															STAGE (YEARS)				
	R	I	H	Rp (Rv+Rp)	Cl	Ps	Pr	IB	Els	In	Rc	Zac	Ms	Pb	Rb	0-2	3-5	6-10	10 +	
Rows A&B	4000			3528	20			841	240				90			330	4359		4000	
Rows C&D	4000			1498				150	212				90			302	1648		4000	
Rows E&F	8000			2132				40	212				90	48		302	2220	8000	8000	
Rows G&H		8079		2218					212				90	64		302	2282	8079	4000	
Rows J&K	8000			2990			40		212		60		90			302	3090		8000	
Rows L&M	4000			3207			45	8	212		60		90			302	3320		4000	
Rows N&P				2924					212		60		90			302	2984			
Row Q				1778					91				45			136	1778			
Totals:	32000	8079		20276			85	1039	1603		180		675	112		2278	21691	8079	32000	

# COST ESTIMATION: NORTH

Location	TYPE OF WORK AS IN LEGEND											STAGE (YEARS)							
	R	I	H	Rp (Rv+Rp)	Cl	Ps	Pr	IB	Els	In	Rc	Zac	Ms	Pb	Rb	0-2	3-5	6-10	10 +
Bay 1				800	105			70	456	1310			360	8		816	2239		
Bay 2	4000			520			550	600	473	2010			360	22		833	3702		4000
Bay 3	4000		1200	1000			565		473				360	8		833	1573	1200	4000
Bay 4							45	30	473			400	360	8		1268	273		
Bay 5					20		230	15	473			435	360	8		1268	273		
Bay 6	4000			2140		10	550	120	431	170	40		360	30		791	3060		4000
Bay 7	8000			3140			100		395		60		360			755	3300		8000
Bay 8			2190	1500	40		100	60	395				360			755	1700	2190	
Bay 9	8000			4662				60	395		42		360			755	4764		8000
Bay 10	4000			1600			440		395		15		360			755	2055		4000
Bay 11	4000			1960			400	30	395		20		360	8		755	2418		4000
Bay 12	8000		3465	2500			950	30	361		40		360			721	3520	3465	8000
Bay 13	8000			2040			800	20	361		40		360			721	2900		8000
Bay 14	8000			1500			500		361		50		360	20		721	2070		8000
Bay 15				1600				60	361	100	50		360	24		721	1834		
Bay 16			2628	750			120	350	361	70	54		360	15		721	1359	2628	
Totals:	60000		9438	26712	165	10	5360	1445	6559	3660	411	836	5760	173		13164	36872	9438	60000

- All re-pointing work including injection of epoxy mixture into cracks.
  - Epoxy-patch works including removal of corroded inserts which are likely to cause damage to stones.
  - Brick inserts and patchings.
- *Stage 3 (6-10 years)* - works indicated in the Legend as I, H, R:
- Stone replacement works including indents, hairline jointed inserts and replacements.
10. For remedial works in relation to existing annexes, refer to previous issued document:  
"Masonry And Roof Remedial Works - Annexes Nos 2, 4, 6, 12 & 13" - 97011 W1 by Otto Cserhalmi & Partners Pty Ltd.
  11. Existing cracks to be regularly monitored in accordance with the Structural Engineer's Report (prepared by Hughes Trueman & Reinhold Pty Ltd).
  12. Investigation to be carried out in relation to existing conduits, cables, etc which may interfere with the brick/stone repair work.  
If live cables are found, allow to disconnect for duration of the work. Alternatively, safety measures are to be taken complying with all the relevant regulations and standards.
  13. All inserts on the top of coping stone course to be removed even if not all of them are shown on the drawings.
  14. All extensively deteriorated or damaged stone window sills to be replaced in the long term (post ten-year period).
  15. Allow \$10,000 for scaffolding on North side of building for each bay (ie 16 bays x \$10,000 = \$160,000).
  16. Allow \$2,600 for hiring travel tower (cherry picker) on South side for each bay, \$1,300 on West side for each row and \$500 on East side for each row for hiring scissor lift.

## GENERAL NOTES

1. This report is based on a site survey undertaken by Otto Cserhalmi & Partners Pty Ltd in July 1998.
2. The inspection has been carried out from the ground level using binoculars and photographic records.  
The visual accessibility of some bays is limited due to attached roofs, annexes, large number of pipe works and the like.
3. The aim of this survey is to establish the nature and the approximate extent of the repair/repointing of the external stone and brick works.
4. The quantities given in this report are indicative only for estimation purposes and are to be finalised on site at a later stage.
5. The report does not contain references to repair/reinstatement of such damaged stones that are affected by pipe, duct, conduit etc. penetrations. These are deemed to be historic evidence of the former activities pursued in the building complex.  
If, however, a closer, detailed inspection of these stones finds signs of potential hazard (i.e. loosened particles, cracks and the like), these have to be addressed.  
The report also does not address remedial works concerning the plinth stone course of the building. The apparent damage to these stones could be the result of natural ageing (wear and tear) and does not seem to be an immediate hazard.
6. All joints on horizontal surfaces to be re-pointed with elastomeric sealant and backing rod. These include all joints of the coping and cornice stones, regardless of whether any of them is to be replaced at a later stage (not shown on drawings).  
Where Els is shown on drawing, it indicates excessively opened joint (approximately 20-25 mm wide) and it is to be mortar filled joint with elastomeric topping, using backing rod.
7. All loose stone fragments to be removed to "make safe". All stones on North, West and East elevations to be included and also on South Elevation Bays 1-6 inclusive. (Not shown on drawings.)
8. Re-pointing work to be carried out by skilled tradespeople having demonstrated experience in conservation work. Test area of a minimum 1 m<sup>2</sup> to be prepared for the approval of the Conservation Consultant.
9. All repair works to be staged:
  - Stage 1 (0-2 years) - works indicated in the Legend as Els, MS, Zac:
    - "Make safe" works. (Removal of loose particles.)
    - Re-pointing of joints on horizontal surfaces.
  - Stage 2 (3-5 years) - works indicated in the Legend as IB, In, Cl, Pr, Ps, Rp, Rv Pb, Rb

## SUMMARY

This report is prepared for the Department of Public Works and Services to assist in planning a budget for the remedial work of the external masonry fabric of the Australian Technology Park Building (the former Eveleigh Locomotive Workshops).

The report is based on a site survey carried out by Otto Cserhalmi & Partners Pty Ltd.

The purpose of the survey was to establish a long-term strategy for the above job.

It is recommended that the work be carried out in three main stages:

- short-term (0-2 years) - includes works aimed at safety aspects
- medium-term (3-5 years) - includes preventative works
- long-term (6-10 years) - includes remedial works.

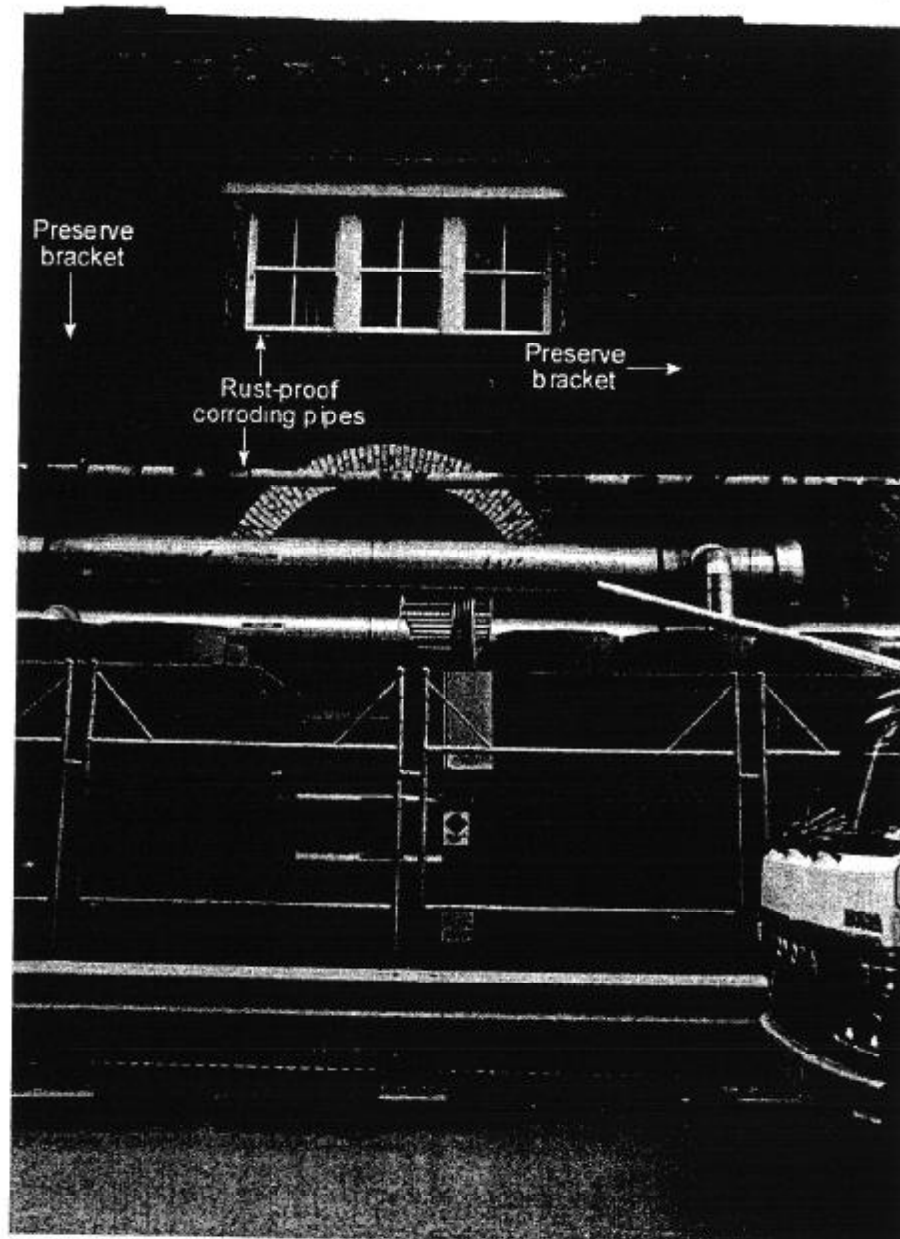
The report also contains recommendations relating to the amount of funds needed to execute the job. Note that the amounts shown are based purely on broad estimation only and updating and adjustments will have to be made as the work progresses.

The price for the stone has been obtained from the DPWS Heritage Stoneyard.

## **CONTENT**

- Summary
- General Notes
- Legend
- Cost Estimations (N,W,S,E)
- Summary of Cost Estimations
- Drawings No 97015-R1 to R48 inclusive

Preserve any  
historic fittings  
(eg. steel bolts)



LOCATION Row P/2 west

RECORD # 14

- |                                         |                                          |
|-----------------------------------------|------------------------------------------|
| <input type="checkbox"/> BAY            | <input type="checkbox"/> NORTH           |
| <input checked="" type="checkbox"/> ROW | <input type="checkbox"/> SOUTH           |
| <input type="checkbox"/> ANNEXE         | <input type="checkbox"/> EAST            |
|                                         | <input checked="" type="checkbox"/> WEST |

☐ URGENT WORK ☐ HP [HIGH PRIORITY] ☐ INTRUSIVE ☐ INTERPRET



## COMMENTS

Row N/3 west

Record # 13



COMMENTS

Row B/I 4 west

Record # 2

Record # 2

Row B/14 west

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive

C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
lower wall continued					
GLAZED INFILL	S1	C3	R1		
THRESHOLD	N/A				
TIMBER FRAMED WALL	N/A				
SERVICE PIPES	N/A				
STEELWORK	S1	C2	R3	Preserve steel brackets. Rust proof as required.	
PILASTER	S1	C2	R3	Repoint vertical crack. Els joints. Light wash, repoint as	HP
STONEWORK					
coping	S1	C2	R3	Mortar fill and Els joints.	
cornice	S1	C3	R1		
plinth	S1	C3	R1		
inserts	Nil				
BRICKWORK					
parapet	S1	C2	R3	Repoint parapet. Light wash as required.	
body	S1	C2	R3	Repoint long vertical crack. Light wash as required.	HP
down pipes	N/A				
inserts	Nil				
END PILASTER	N/A				
STONEWORKS					
coping	N/A				
cornice	N/A				
plinth	N/A				
inserts	Nil				
BRICKWORK					
parapet	N/A				
body	N/A				
pipes	N/A				
inserts	Nil				
OTHER 1	S1	C1	R3	Rust proof, preserve corroded metal cannisters & fixings. See photo	
OTHER 2	S1	C2	R1	Preserve flues. Rust proof as required. Consider interpretation.	Interpret
OTHER 3					

key

S1 - high, S2 - moderate, S3 - low, S4 - intrusive.

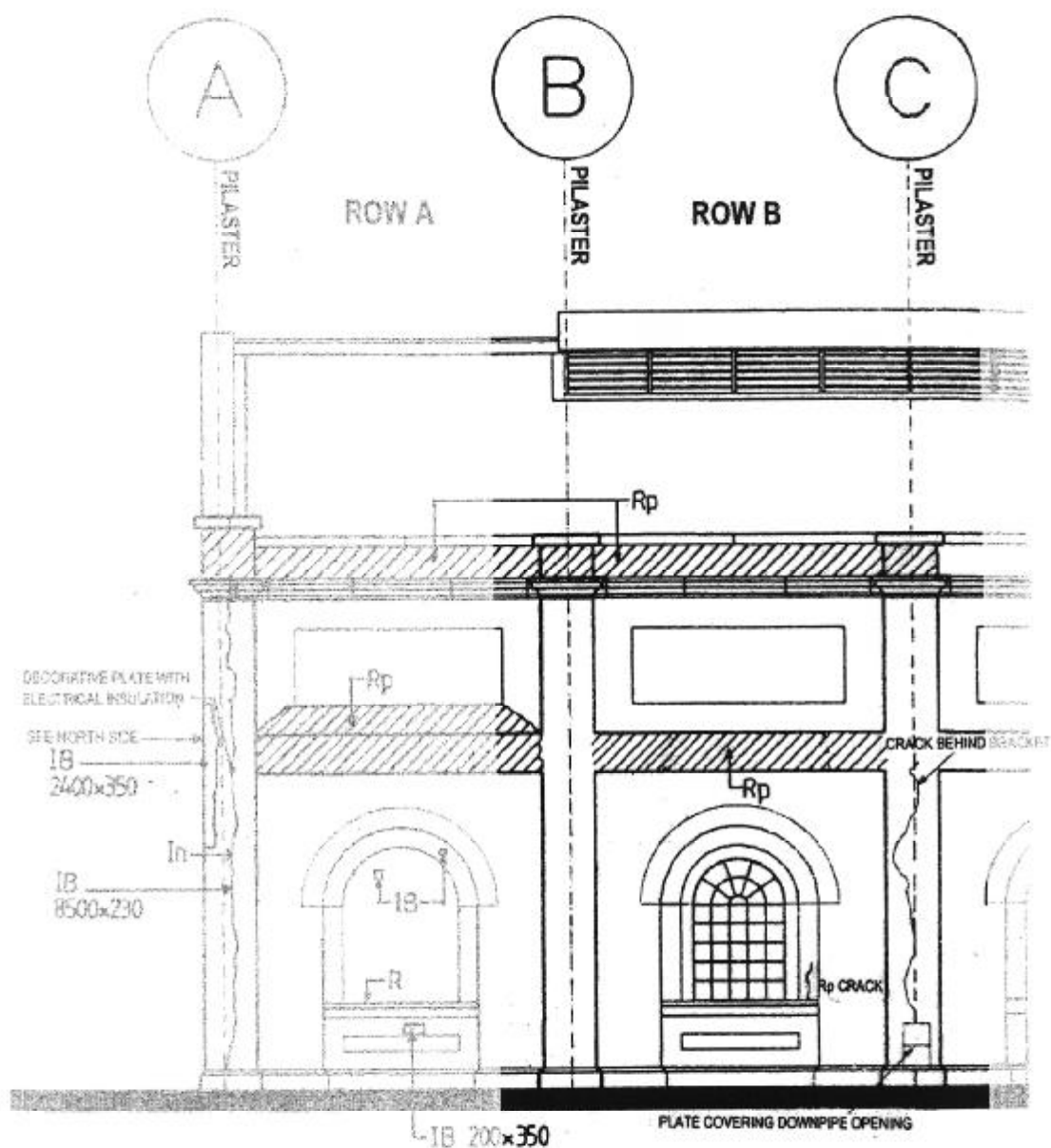
C1 - bad, C2 - poor, C3 - good

R1 - maintain, R2 - urgent work, R3 - repair

Row B/14 west

Record # 2

DESCRIPTION	SIGNIFICANCE	CONDITION	RECTIFICATION	RECOMMENDED WORKS	NOTES
PEDIMENT/PARAPET	S1	C2	R3	Repoint entire parapet and Els joints. Light wash as required.	
STONework					
coping	S1	C2	R3	Els joints. Light wash as required.	
weathering	N/A				
inserts	N/A				
BRICKWORK					
rims	N/A				
panels	S1	C2	R3	Repoint entire parapet. Light wash as required.	
inserts	N/A				
BULLSEYE	N/A				
UPPER WALL	S1	C2	R3	Els cornice joints. Repoint and light wash brickwork as	
STONework					
cornice	S1	C2	R3	Mortar fill & Els joints. Light wash as required.	
BRICKWORK					
rims	S1	C3	R1	Light wash and repoint as required.	
panels	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
WINDOWS	N/A				
LOUVRES	N/A				
LOWER WALL					
BRICKWORK					
rim	S1	C2	R3	Repoint and insert brick as indicated in drawing	
arches	S1	C2	R3	Repoint crack.	
panels	S1	C3	R1	Light wash and repoint as required.	
panel under sill	S1	C3	R1	Light wash and repoint as required.	
inserts	N/A				
STONework					
window sills	S1	C2	R3	Mortar fill and Els joints. Light wash as required.	
plinth	S1	C3	R1		
corbel	N/A				
inserts	N/A				
WINDOWS	S1	C3	R1		
DOOR(S)	N/A				



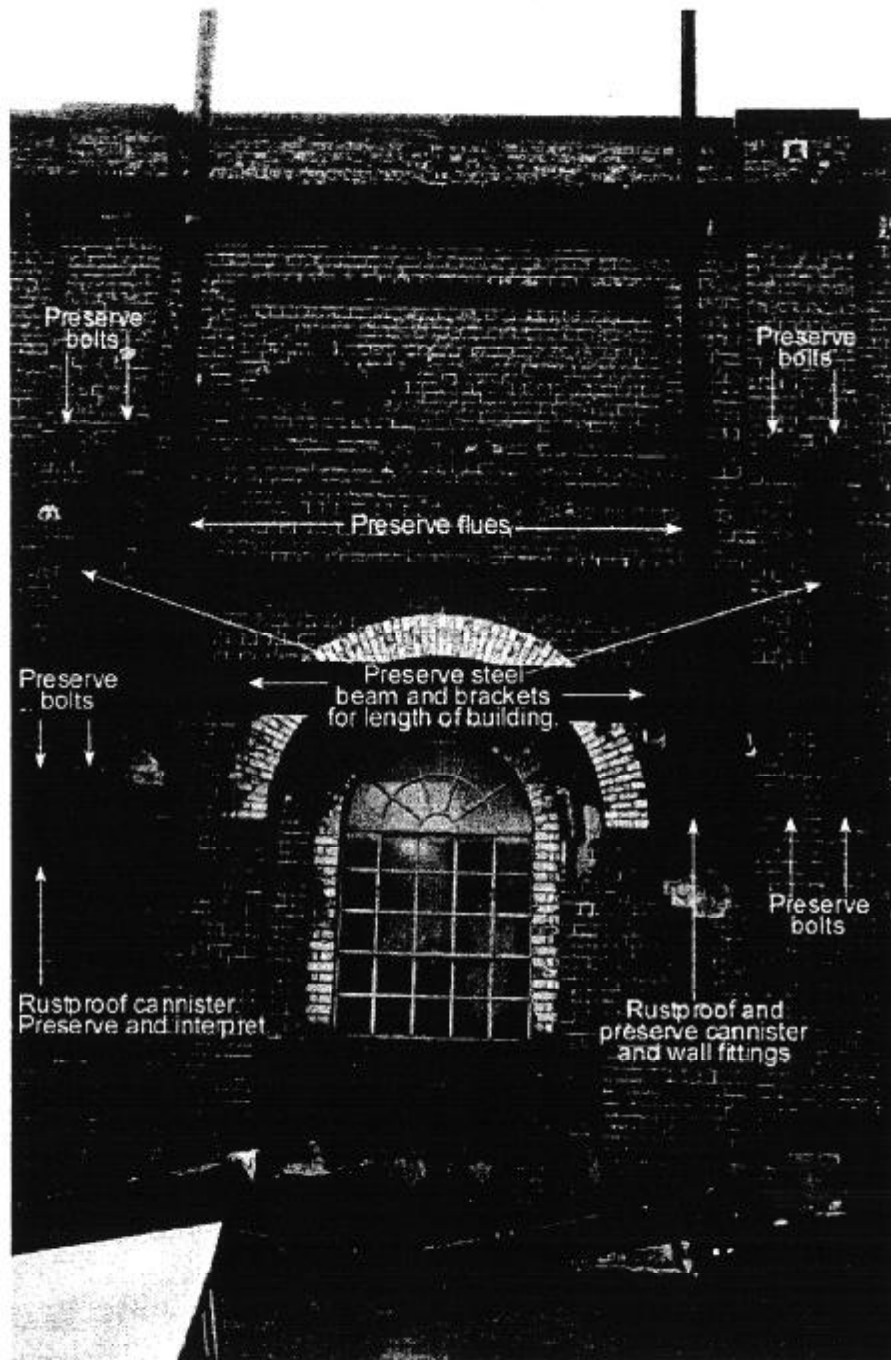
Record # 2

Row B/14 west

NOTE: FILL OPEN JOINTS IN STONE COPING, CORNICE AND SILLS WITH LIME MORTAR & POINT TOP OF JOINT WITH ELASTOMETRIC SEALANT AND BACKING ROD.

- ☐ R replace stone
- ☐ I Indent stone
- ☐ H Hairline jointed stone insert
- ☒ Rp Re point
- ☐ Ci Corroded insert, remove and epoxy patch
- ☐ Ps Small epoxy patch
- ☐ Pr Patch stone with reinforcement
- ☒ IB Insert Brick
- ☐ Els Mortar fill joint, elastometric sealant and backing rod to top

- ☐ In Inject crack with epoxy mixture
- ☐ Rc Apply rust-converter to corroded ferrous metal insert
- ☐ Trme To match existing
- ☐ Zac New Zincalume capping to replace corroded capping
- ☐ Rv Remove vegetation and rake out joints 20mm deep
- ☐ MS Make safe by removing loose stone
- ☐ Pb Patch brickwork
- ☐ Rb Reconstruction of brick surface of wall
- ☐ Ot Other: see "Notes"



LOCATION Row B/14 west

RECORD # 2

☐ BAY  
☒ ROW  
☐ ANNEXE

☐ NORTH  
☐ SOUTH  
☐ EAST  
☒ WEST

☐ URGENT WORK ☒ HP [HIGH PRIORITY] ☐ INTRUSIVE ☒ INTERPRET



COMMENTS

Row A/15 west

Record # 1